

Oro Valley
Oracle Rd. & Suffolk Dr.
Retail Center
Rezone



Andrew S. Call
Thompson Thrift Retail Group
APN – 225-510-18A

December 11, 2020

Oro Valley Oracle Rd. Retail Center
Oro Valley, Arizona

Municipality

Town of Oro Valley
Planning - Milini
Simms
Division 11000
North La Cañada Drive Oro
Valley, Arizona 85737

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Site Analysis Introduction

The proposed rezoning is for approximately 6.69 acres at the northeast and southeast corners of Oracle and Suffolk, APN 225-51-018A, 225-51-4720, 225-51-0190, 225-51-0200, [the “Rezoning Parcels”). The two parcels on the southeast corner (225-51-0190, 225-51-0200) are already developed and no modifications or improvements will occur as part of this rezoning request. The remaining parcels (225-51-018A and 225-51-4720) are currently vacant and are proposed to be a commercial development (the “Future Development”). All of the Rezoning Parcels are included in the required rezoning reports and analyses.

The Future Development is currently being marketed to retail, restaurant and office/medical businesses. The Rezoning Parcels are currently zoned RS (Residential Service District), which permits office, high density residential and some commercial uses (excluding restaurant and some retail uses). A CUP is also being submitted simultaneously with this rezoning to permit a drive thru restaurant.

This proposal is to rezone the Rezoning Parcels to C-1, which is consistent with development opportunities along a major transportation corridor like Oracle and fits within the other commercial/office uses along the corridor. C-1 is required to develop the proposed retail commercial use. The Future Development proposed is a total of five buildings to include three retail/restaurant buildings along Oracle Road – approximately 2,600 SF, 3,500 SF and 8,750 SF multi-tenant buildings - all in Phase 1, and an approximately 4,000 SF and 6,500 SF buildings in Phase 2 (the “Project”). The Future Development is currently being marketed to destination full-service restaurants, medical/office providers, and other retail businesses.

As part of the submittal to the Town, all reports are included to analyze the existing native plants, drainage, and surrounding developments to assure it blends well along Highway 77 (Oracle Road). The landscape plan will take into consideration the healthy existing native plants with ample open space and buffering, exceeding the Town requirements in specific areas. Although the Future Development is not within some of the Town’s view corridor and overlay districts, special attention is being paid to the eastern views of the Santa Catalina Mountains, including Pusch Ridge and Mount Kimball. The fact this Future Development is adjacent to the historic Suffolk Hills neighborhood has also been considered and the development team is working with that neighborhood to mitigate any negative impacts for our eastern neighbors.

The architect has also reviewed the Town requirements and surrounding architecture and is working to incorporate architectural features, materials, and design to respect the adjacent and nearby residential and commercial centers. The architectural elements are reminiscent of the desert ranch style colors and material.

The following Site Analysis and summary meets the Town requirements as outlined in Applications and Guide’s provided by the Town.

Part 1. Inventory and Analysis

1. Existing Land Uses

This section of the Inventory and Analysis identifies existing zoning, land uses and structures onsite and on surrounding properties, as well as proposed developments in the project vicinity.

A. Site Location and Regional Context

Thompson Thrift Development (TTD) is excited about the rezoning of the Rezoning Parcels and potential development of the new retail commercial project for the Future Development. The Rezoning Parcels are currently zoned RS (Residential Service District), which permits office, high density residential and some commercial uses (excluding restaurant and some retail uses).

This proposal is to rezone the Rezoning Property to C-1.

Oracle Road is a major north/south Arizona State Route and has eight lanes directly adjacent to the Rezoning Parcels. There is stoplight at the corner of Oracle and Suffolk. The Future Development site is vacant, and is surrounded by commercial, office and other retail/restaurant uses. The Future Development is consistent with other properties along Oracle to the north, south and west. Transition to the east and the Suffolk Hills neighborhood will be important and the development team is working with the Suffolk Hills Property Association to mitigate concerns. C-1 is required in order to develop the proposed retail commercial use.

See Exhibit I.1.A.1: Regional Context, Exhibit I.1.A.2: Local Context

Exhibit I.1.A.1: Regional Context

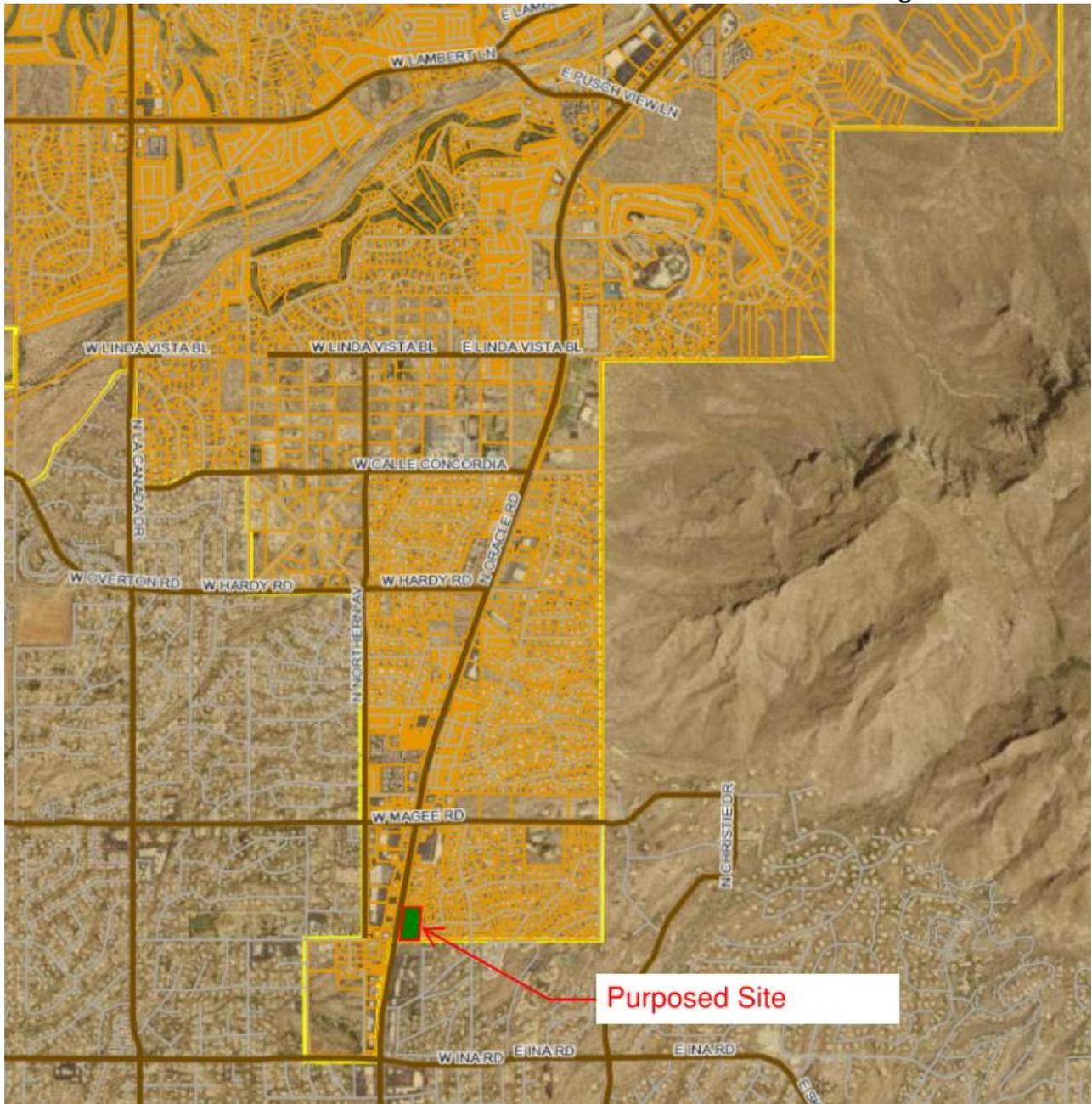


Exhibit I.1.A.2: Local Context



B. Existing On-Site and Off-Site Land Uses

The Rezoning Parcels include an existing office complex with two users – Scarritt Group Inc and Wells Fargo Bank. No modifications are currently being proposed on that portion of the Rezoning Parcels. The Future Development is currently vacant and is being proposed as a commercial project with retail/restaurant and office uses.

According to “Your Voice, Our Future”, the existing general plan land use designation for the property is NCO (Neighborhood Commercial/ Office), which is intended for commercial and office designations with good access to major roadways. NCO includes C-N (Neighborhood Commercial) and C-1 (Commercial).

The land uses of surrounding properties within one-quarter mile, as depicted in *Exhibit I.1.B: Existing Land Uses* are as follows:

- North: Child Care Facility – Neighborhood Commercial
- South: Vacant, Medical Center – County – Neighborhood Commercial
- East: Single Family Residential Suffolk Hills– Low Density Residential
- West: Oracle Crossings Retail Center – Regional Commercial

C. Conditions on Properties within a One-Quarter (1/4) Mile Radius

i. Existing Zoning and Uses

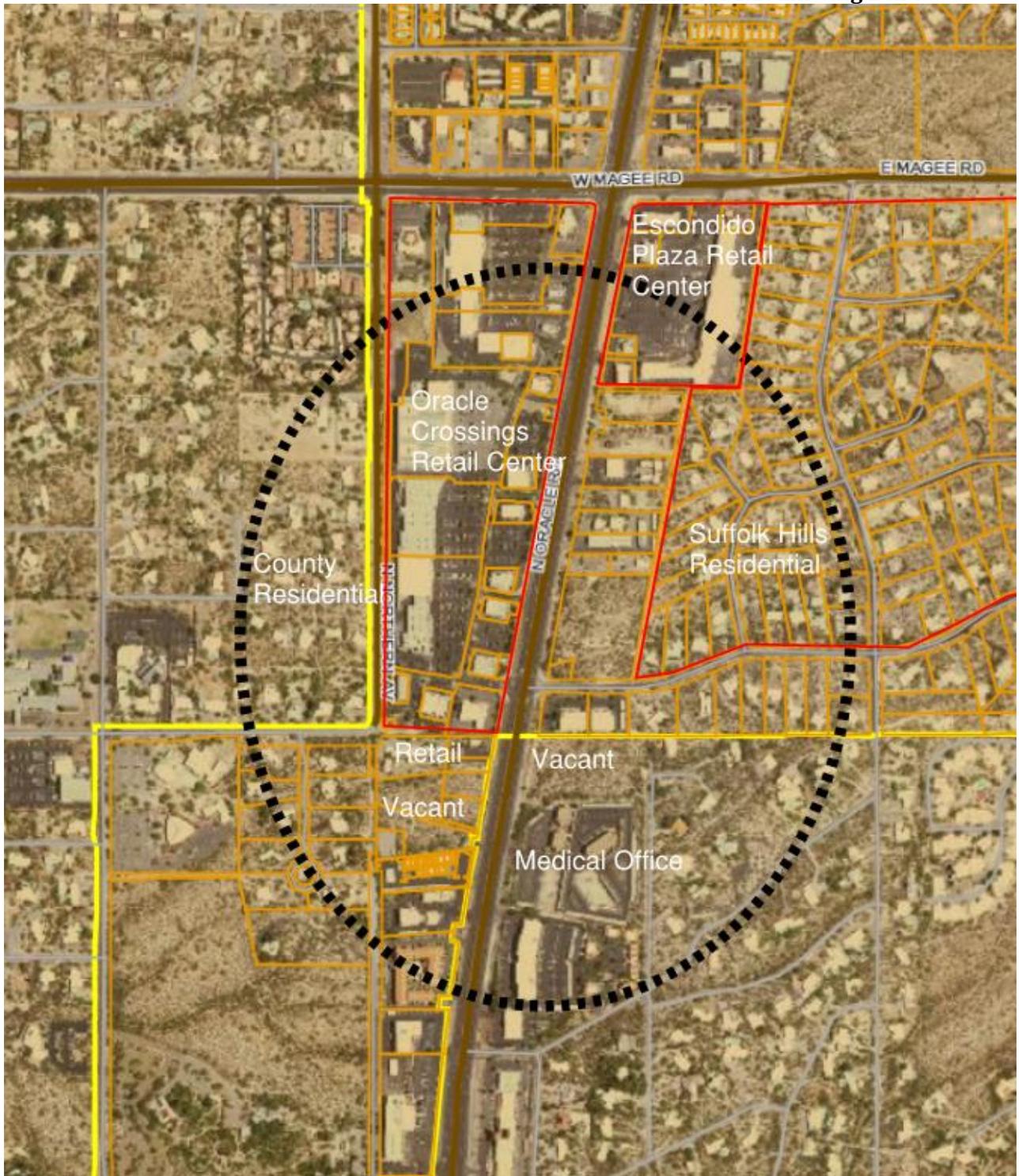
The zoning of surrounding properties, as depicted in *Exhibit I.1.C.i* includes:

- North: R-S, C-N, & C2
- South: County T-R, CR-1, CB-1
- East: R1-36
- West: C-2, C-1, & CR-1

The uses to the north, south and west are all commercial, office, retail, and restaurant consistent with uses adjacent to a major roadway/State Route. To the east is the Suffolk Hills neighborhood, which requires an appropriate transition from uses appropriate adjacent to a

major roadway to a long-standing neighborhood in the region.

Exhibit I.1.B: Existing Land Uses



ii. General Plan Land Use Designations

As noted above the Rezoning Parcels are in an infill area with most surrounding properties already developed. Very few parcels remain vacant along Oracle Road. This corner and its proximity to the nearby commercial centers to the north, south and to the west make this an ideal property to mirror similar zoning to compliment these uses and serve the surrounding communities. As noted in the paragraphs above, the surrounding properties in the General Plan consists of Regional Commercial, Neighborhood Commercial and Low Density Residential. Below is the list of General Plan Land Use Designations as referred to in Exhibit I.1.C.ii.

North: Child Care Facility – Neighborhood Commercial

South: Vacant, Medical Center – County – Neighborhood
Commercial

East: Single Family Residential Suffolk Hills– Low Density
Residential

West: Oracle Crossings Retail Center – Regional Commercial

A Conditional Use Permit (CUP) will be processed concurrently with the rezoning application to allow the restaurant use with a drive-through. The list and exhibits noted above show the surrounding area compliments the Future Development proposal.

iii. Number of Stories of Existing Structures

The developed portion of the Rezoning Parcels are single story, typical height for office buildings. The Future Development portion is vacant.

iv. Pending Rezones

There are no pending or proposed rezoning cases within one-quarter mile of the site.

v. Conditionally Approved Zonings

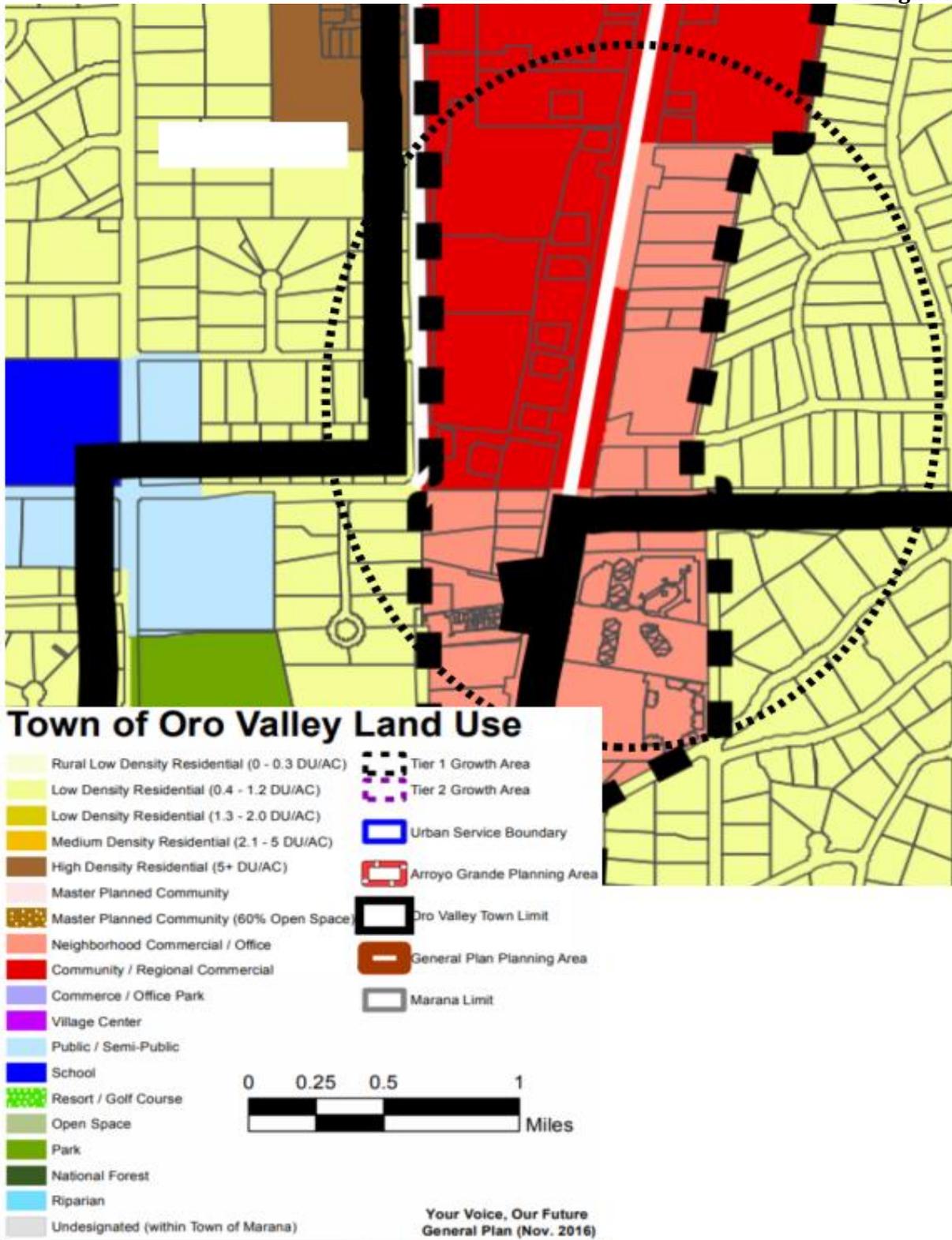
There are no pending conditionally approved zonings of properties within one- quarter mile of the site.

vi. Approved Subdivisions and Development Plans

Approved Subdivisions within a quarter mile radius include:

- Oracle Crossings
 - Suffolk Hills
 - Escondido Plaza
-

Exhibit I.1.C.ii: General Plan Land Use Designations



vii. *Architectural Styles of Adjacent Development*

The existing homes surrounding the subject property are 70's and 80's era ranch style homes comprised primarily of stucco, slump block/ brick.

Similarly, adjacent commercial architecture is comprised primarily of southwestern architecture with stucco, brick and rock. Rooflines vary with architectural features, pop-outs, and tower elements to provide variations in design. Below are a few examples of the nearby commercial and residential buildings.



2. Environmentally Sensitive Lands

A. ESL Conservation Categories

i. Major Wildlife Linkages

There are no major wildlife linkages on the Rezoning Parcels.

ii. Critical Resource Areas

There are no critical resource areas on the Rezoning Parcels.

iii. Core Resource Areas

There are no core resource areas on the Rezoning Parcels.

iv. Resource Management Areas: Tier 1, Tier 2 and Tier 3, this area is also in a growth area, per the General Plan.

There are no Resource Management Areas on the Rezoning Parcels.

B. ESL Conservation Additional Categories

i. Critical Resource Areas:

a. Major Rock Outcrops

There are no major rock outcrops located on the Rezoning Parcels.

b. Distinct Habitat Resources

No distinct habitat resources exist the Rezoning Parcels.

ii. *Core Resource Areas*

a. Distinctive Native Plant Stands

Vegetation concentration occurs along the west property line, primarily within the Oracle Road (Highway 77) right of way and a section along the southern property line Suffolk Drive. Vegetation within this area would be medium density with larger species due to the collection, channelization and backup of stormwater entering the box culvert that crosses Oracle Road. Higher concentrations of *Acacia constricta* (Whitethorn Acacia), *Acacia greggii* (Catclaw Acacia), *Parkinsonia florida* (Blue Paloverde) and Velvet Mesquite (*Prosopis velutina*) can be found along this drainage collection area. Refer to the Site Resource Inventory (SRI) for additional information.

iii. *Resource Management Areas: Tier 1, Tier 2 and Tier 3*

a. Distinctive Individual Native Plants

Majority of distinct vegetation is located offsite within the Oracle Road right of way. Per the SRI, approximately 5 Blue Paloverde, 13 Foothills Paloverde, 6 Velvet Mesquite and 1 Catclaw Acacia may be considered distinct.

b. Minor Rock Outcrops and Boulders

There are no minor rock outcrops or boulders located Rezoning Parcels.

C. Total Acreage of Each On-site Conservation Category

| Conservation Category | Total On-site Acreage |
|---|------------------------------|
| Major Wildlife Linkages | 0 AC |
| Critical Resource Areas | 0 AC |
| Core Resource Areas | 0 AC |
| Resource Management Area Tier 1 | 0 AC |
| Resource Management Area Tier 2 | 0 AC |
| Resource Management Area Tier 3 | 0 AC |
| Developed Area (Non-Wildlife Permeable) | 0 AC |

3. Topography

A. Site Topography

The Future Development site was surveyed to produce one-foot contours throughout. The topography is a gentle hillside with slopes ranging from 2% to 5% in general. The Future Development generally slopes from the northeast to the

southwest (*see Exhibit i.3.C.i.1: Existing Topography Exhibit*). No site topography was done for the already developed portion of the Rezoning Parcels.

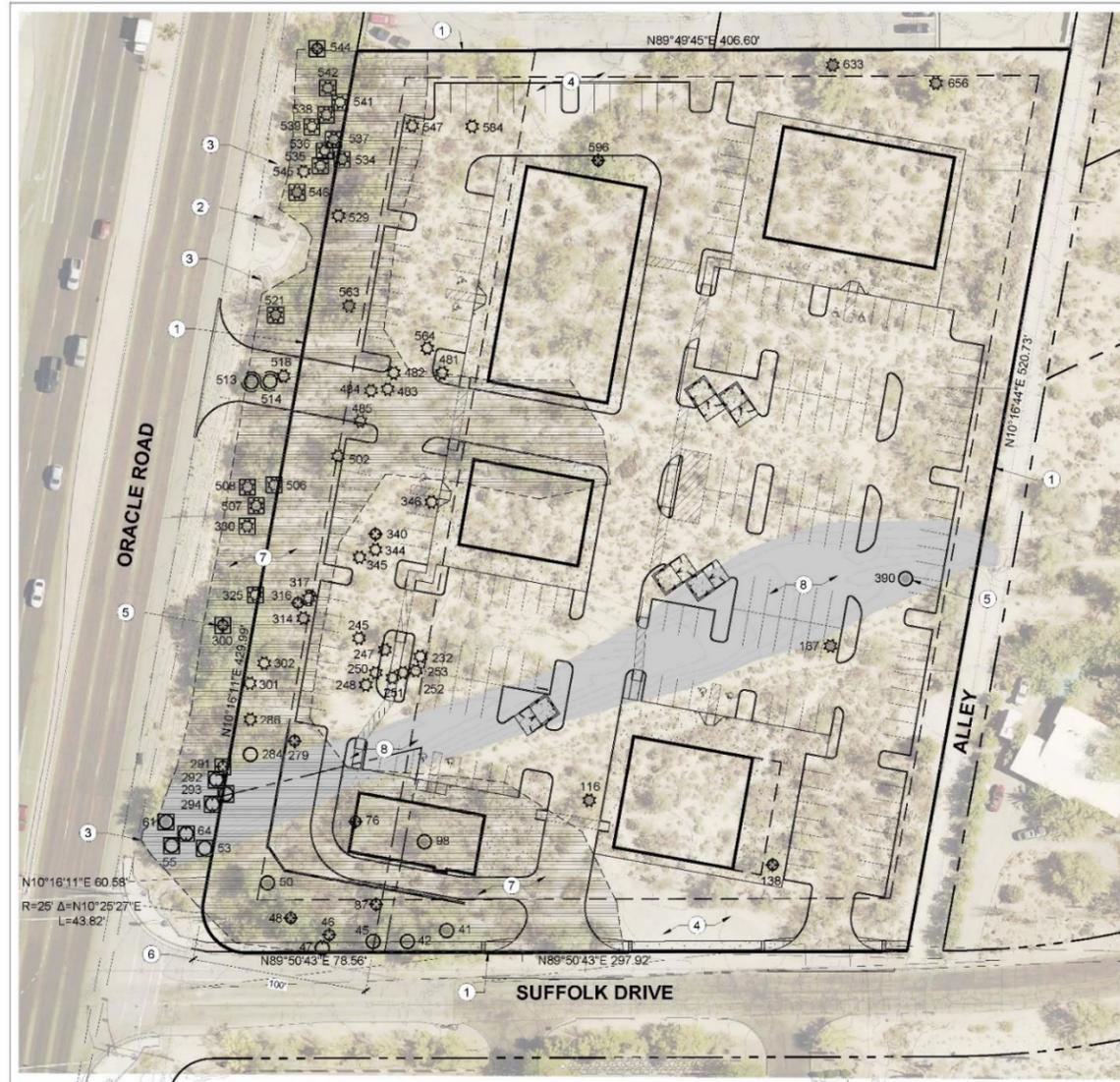
i. Rock Outcrops

There are no significant rock outcrops on the Rezoning Parcels.

ii. All other Significant Topographic Features

There are no other significant topographic features on the Rezoning Parcels.

Exhibit I.2.B: Site Resource Inventory



ABBREVIATIONS:

The following abbreviations were used in the comment column. Number in (#) refer to plant requirements for preserved in place or salvaged

BL broken limbs - tree has significant broken branches
 MU multi-trunk, no single defined trunk
 LB low branch, unable of preserving low branch for salvage or relocate
 DW dead wood significant limb dieback
 IN infestation of insect, damage to main limbs
 MT mistletoe infection of main limbs
 PF poor form tree leaning or structure not supportive of vegetation
 SO soils are loose and rocky, salvage will be difficult
 SZ size of the tree, either spread, caliper or height is not conducive to salvage
 PIP preserved in place
 TOS transplant on site
 RFS remove from site

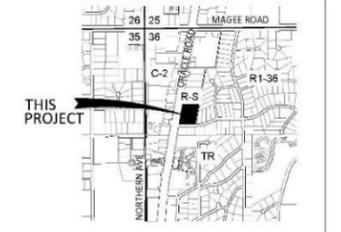
NPP0 LEGEND

- Transplanted on site (TOS)
- Preserve in place (PIP)
- Velvet Mesquite
- Foothill Palo Verde
- Blue Palo Verde
- Whitethorn Acacia
- Catclaw Acacia
- Hackberry
- Saguaro
- Barrel Cactus
- Graythorn
- Significant vegetation
- High density (not present)
- Medium density
- Vegetation facilitates soil stabilization

SITE RESOURCE INVENTORY KEY NOTES

1. Property line
2. Existing Town of Oro Valley monument sign
3. Existing culvert
4. Previous site disturbance
5. Significant vegetation
6. Character corridor vegetation area
7. Medium plant density area
8. Vegetation facilitates soil stabilization

| Number | Scientific Name | Common Name | Size - Height | Size - Caliper | Arms | Viability | Transplantability | Comments | Disposition | Sig. Vegetation |
|--------|-------------------------|---------------------|---------------|----------------|------|-----------|-------------------|----------|-------------|-----------------|
| 41 | Parkinsonia florida | Blue Palo Verde | 24' 14" | - | M | L | SZ | | RFS | YES |
| 42 | Parkinsonia florida | Blue Palo Verde | 24' 14" | - | L | L | SZ/MT/DW | | RFS | YES |
| 45 | Parkinsonia florida | Blue Palo Verde | 24' 14" | - | M | L | SZ/MT/DW | | RFS | YES |
| 46 | Prosopis velutina | Velvet Mesquite | 20' 11" | - | L | L | MT/DW/MU/IN | | RFS | NO |
| 47 | Acacia greggii | Catclaw Acacia | 10' 6" | - | L | L | MU/LB/DW/MT | | RFS | NO |
| 48 | Prosopis velutina | Velvet Mesquite | 23' 14" | - | M | L | MT/DW/SZ | | RFS | YES |
| 50 | Parkinsonia florida | Blue Palo Verde | 24' 14" | - | L | L | SZ/MT/DW/LB/IN | | RFS | YES |
| 53 | Parkinsonia florida | Blue Palo Verde | 22' 10" | - | M | L | DW/LB | | PIP | NO |
| 55 | Parkinsonia florida | Blue Palo Verde | 22' 8" | - | M | L | DW/LB/PD | | PIP | NO |
| 61 | Parkinsonia florida | Blue Palo Verde | 26' 20" | - | M | L | SZ/DW/LB/MT | | PIP | YES |
| 64 | Acacia greggii | Catclaw Acacia | 10' 6" | - | L | L | MU/LB/DW/MT | | PIP | NO |
| 76 | Prosopis velutina | Velvet Mesquite | 21' 13" | - | L | L | MT/DW/SZ/IN | | RFS | YES |
| 87 | Prosopis velutina | Velvet Mesquite | 18' 8" | - | L | L | MT/DW/IN | | RFS | NO |
| 98 | Parkinsonia florida | Blue Palo Verde | 20' 14" | - | M | L | SZ/DW/LB/MT | | RFS | YES |
| 116 | Parkinsonia microphylla | Foothill Palo Verde | 20' 12" | - | M | L | DW/LB/DW | | RFS | YES |
| 138 | Prosopis velutina | Velvet Mesquite | 16' 12" | - | L | L | MT/DW/IN/MU/LB | | RFS | YES |
| 167 | Parkinsonia microphylla | Foothill Palo Verde | 18' 13" | - | M | L | DW/SZ/MU | | RFS | YES |
| 232 | Parkinsonia microphylla | Foothill Palo Verde | 12' 4" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 245 | Parkinsonia microphylla | Foothill Palo Verde | 16' 8" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 247 | Parkinsonia microphylla | Foothill Palo Verde | 14' 8" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 248 | Parkinsonia microphylla | Foothill Palo Verde | 14' 8" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 250 | Parkinsonia microphylla | Foothill Palo Verde | 8' 2" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 251 | Parkinsonia microphylla | Foothill Palo Verde | 8' 2" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 252 | Parkinsonia microphylla | Foothill Palo Verde | 8' 2" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 253 | Parkinsonia microphylla | Foothill Palo Verde | 10' 4" | - | L | L | DW/SO/MT/LB | | RFS | NO |
| 279 | Prosopis velutina | Velvet Mesquite | 16' 8" | - | L | L | LB/DW/MT/MU | | RFS | NO |
| 284 | Parkinsonia florida | Blue Palo Verde | 18' 10" | - | L | L | DW/LB/MU | | RFS | NO |
| 286 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/SO/LB | | RFS | NO |
| 291 | Prosopis velutina | Velvet Mesquite | 18' 10" | - | L | L | LB/DW/MT/MU | | PIP | NO |
| 292 | Acacia greggii | Catclaw Acacia | 12' 2" | - | L | L | MU/LB/DW/MT | | PIP | NO |
| 293 | Parkinsonia florida | Blue Palo Verde | 18' 10" | - | L | L | DW/LB/MU | | PIP | NO |
| 294 | Acacia greggii | Catclaw Acacia | 12' 4" | - | L | L | MU/LB/DW/MT | | PIP | NO |
| 297 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/SO/LB | | PIP | NO |
| 298 | Parkinsonia florida | Blue Palo Verde | 18' 10" | - | L | L | DW/LB/MU | | PIP | NO |
| 300 | Prosopis velutina | Velvet Mesquite | 30' 32" | - | M | L | LB/DW/MT/MU/SZ | | PIP | YES |
| 301 | Parkinsonia microphylla | Foothill Palo Verde | 18' 8" | - | L | L | DW/SO/LB | | RFS | NO |
| 302 | Parkinsonia microphylla | Foothill Palo Verde | 18' 8" | - | L | L | DW/SO/LB | | RFS | NO |
| 314 | Parkinsonia microphylla | Foothill Palo Verde | 10' 2" | - | L | L | DW/SO/LB | | RFS | NO |
| 316 | Prosopis velutina | Velvet Mesquite | 8' 2" | - | M | M | LB/DW | | TOS | NO |
| 317 | Parkinsonia microphylla | Foothill Palo Verde | 10' 2" | - | L | L | DW/SO/LB | | RFS | NO |
| 325 | Parkinsonia microphylla | Foothill Palo Verde | 20' 10" | - | L | L | DW/SO/LB/MT | | PIP | NO |
| 330 | Parkinsonia microphylla | Foothill Palo Verde | 18' 8" | - | L | L | DW/SO/LB | | PIP | NO |
| 340 | Prosopis velutina | Velvet Mesquite | 10' 4" | - | L | L | LB/DW/MU/IN | | RFS | NO |
| 344 | Parkinsonia microphylla | Foothill Palo Verde | 10' 4" | - | L | L | DW/SO/LB | | RFS | NO |
| 345 | Parkinsonia microphylla | Foothill Palo Verde | 10' 4" | - | L | L | DW/SO/LB | | RFS | NO |
| 346 | Parkinsonia microphylla | Foothill Palo Verde | 16' 8" | - | L | L | DW/SO/LB/MT | | RFS | NO |
| 390 | Parkinsonia florida | Blue Palo Verde | 20' 12" | - | M | L | DW/LB/SO | | RFS | YES |
| 481 | Parkinsonia microphylla | Foothill Palo Verde | 10' 6" | - | L | L | DW/LB/MT | | RFS | NO |
| 482 | Parkinsonia microphylla | Foothill Palo Verde | 10' 6" | - | L | L | DW/LB/MT | | RFS | NO |
| 483 | Parkinsonia microphylla | Foothill Palo Verde | 10' 6" | - | L | L | DW/LB/MU | | RFS | NO |
| 484 | Parkinsonia microphylla | Foothill Palo Verde | 10' 6" | - | L | L | DW/LB/MU | | RFS | NO |
| 485 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/LB/MU/MT | | RFS | NO |
| 502 | Parkinsonia microphylla | Foothill Palo Verde | 12' 6" | - | L | L | DW/LB/MU | | RFS | NO |
| 506 | Parkinsonia microphylla | Foothill Palo Verde | 12' 10" | - | L | L | DW/LB/MU | | PIP | NO |
| 507 | Parkinsonia microphylla | Foothill Palo Verde | 12' 6" | - | L | L | DW/LB/MU | | PIP | NO |
| 508 | Parkinsonia microphylla | Foothill Palo Verde | 12' 10" | - | L | L | DW/LB/MU/LB/MT | | PIP | NO |
| 510 | Parkinsonia microphylla | Foothill Palo Verde | 12' 8" | - | L | L | DW/LB/MU/LB/MT | | PIP | NO |
| 513 | Parkinsonia florida | Blue Palo Verde | 10' 4" | - | M | M | DW/LB | | TOS | NO |
| 514 | Parkinsonia florida | Blue Palo Verde | 14' 4" | - | M | M | DW/LB/MU | | TOS | NO |
| 518 | Parkinsonia microphylla | Foothill Palo Verde | 8' 4" | - | L | L | DW/LB/MT | | RFS | NO |
| 521 | Parkinsonia microphylla | Foothill Palo Verde | 20' 14" | - | M | L | DW/LB/MU | | PIP | YES |
| 529 | Parkinsonia microphylla | Foothill Palo Verde | 20' 10" | - | L | L | DW/LB/MU/MT | | RFS | NO |
| 534 | Parkinsonia microphylla | Foothill Palo Verde | 16' 12" | - | L | L | DW/LB/MU/MT | | PIP | YES |
| 535 | Parkinsonia microphylla | Foothill Palo Verde | 14' 10" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 536 | Parkinsonia microphylla | Foothill Palo Verde | 10' 4" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 537 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 538 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 539 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 541 | Parkinsonia microphylla | Foothill Palo Verde | 12' 6" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 542 | Parkinsonia microphylla | Foothill Palo Verde | 18' 10" | - | L | L | DW/LB/MU/MT | | PIP | NO |
| 544 | Prosopis velutina | Velvet Mesquite | 20' 14" | - | M | L | DW/LB/MU | | PIP | YES |
| 545 | Parkinsonia microphylla | Foothill Palo Verde | 10' 4" | - | L | L | DW/LB/MU/PF | | PIP | NO |
| 546 | Parkinsonia microphylla | Foothill Palo Verde | 18' 14" | - | M | L | DW/LB/MU | | PIP | YES |
| 547 | Parkinsonia microphylla | Foothill Palo Verde | 12' 6" | - | L | L | DW/LB/MU | | RFS | NO |
| 563 | Parkinsonia microphylla | Foothill Palo Verde | 20' 14" | - | L | L | DW/LB/MT | | RFS | YES |
| 564 | Parkinsonia microphylla | Foothill Palo Verde | 12' 7" | - | L | L | DW/LB/IN | | RFS | NO |
| 584 | Parkinsonia microphylla | Foothill Palo Verde | 12' 8" | - | M | M | DW/LB | | TOS | NO |
| 596 | Prosopis velutina | Velvet Mesquite | 20' 14" | - | M | L | DW/LB/MT | | RFS | YES |
| 633 | Parkinsonia microphylla | Foothill Palo Verde | 21' 14" | - | L | L | DW/LB/MT | | RFS | YES |
| 656 | Parkinsonia microphylla | Foothill Palo Verde | 22' 14" | - | M | L | DW/LB/MT | | RFS | YES |



IN THE SW 1/4 OF THE NW 1/4 OF SECTION 36, T. 12 S., R. 13 E., G. & S. R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP

3" = 1 MILE

EXISTING VEGETATION SUMMARY:

During the month of June of 2020, a site field study was performed for the proposed development at the Northeast corner of Oracle Road and Suffolk Drive. All native plant materials were surveyed per the Town of Oro Valley standards, as this plan highlights only the significant vegetation and character corridor vegetation due to the proximity of Oracle Road. The remaining native plant inventory will be provided following the Rezoning process.

The site is bound by major highway Oracle Road on the west, collector street Suffolk Drive on the south, alley and single family residential neighborhood on the east, and commercial development on the north.

These surrounding improvements have marginally impacted the site and existing vegetation. The largest impact has been made by the grading of roadside drainage adjacent to Oracle Road on the west end of the site. This area receives more water than the surrounding areas and has created a very densely vegetated area. Health may be higher, but the proximity between plants will pose a high risk from survival of proposed transplant trees. A major culvert is located under Oracle Road near the southern end of the west property line. This area has also increased collection of water, with the addition of higher concentration of sandy soils making the ability to transplant a rootball suitable for survival very difficult.

Overall, vegetation is uniform through out regarding species variation, density and concentration of plant materials accounting for disturbances and impacts noted above. The added concentration of flow has not appeared to enhance much of the existing vegetation due to existing terrain and velocity of flows coming off mountain, road and through the culvert. No significant bank can be found with this relatively new drainage structure. Some larger trees can be found along the west and south property lines where it appears road work has directed run-off and aiding in retention of some flow improving plant development.

No major rock out-cropping occur on site and surface rock appears to be foreign material brought in for erosion control at the culvert. Site soil is alluvial, refer to additional information provided by civil and soils reports.

Core Resource Areas and Distinct Native Plant Stands have been defined by The Town of Oro Valley as the character corridor setback along Oracle Road. The following species are found on site:

- | | |
|--------------------------|-----------------------------------|
| Acacia constricta | Whitethorn acacia |
| Acacia greggii | Catclaw acacia |
| Carnegiea gigantea | Saguaro |
| Celtis pallida | Desert hackberry |
| Ferocactus wislizenii | Barrel cactus |
| Parkinsonia florida | Blue paloverde |
| Parkinsonia micophylla | Foothill's paloverde |
| Prosopis velutina | Velvet mesquite |
| Ziziphus obtusifolia | Graythorn |
| Ambrosia deltoidea | Triangle leaf bursage |
| Ericameria laricifolia | Turpentine bush |
| Eucelesia farinosea | Brittlebush |
| Opuntia sp | Cholla/ Prickly pear |
| Psilostrophe cooperi | Paper Flower |
| and other upland Sonoran | Desert scrub perennials and forbs |

No Ironwoods were found on site. 15 saguaros were found, 13 of the 15 are under 5' tall. The associated plan identifies all protected plant materials per Oro Valley's Native plant preservation requirements. We found 21 trees to be considered as significant vegetation with potentially 15 found within the tentative development plan improvement areas. Additional evaluation and mitigation shall be completed with the native plant preservation submittal during final design review.

site address:
 PARCEL #225-51-018A & 225-51-4720
 TUCSON, ARIZONA 85704

legal description:
 BEING A DEVELOPMENT OF LOT 7 OF SUFFOLK HILLS, LOTS 1-44, 1A, 1B, BLOCKS A AND B, AS RECORDED IN MAPS AND PLATS 1318, LOCATED IN SECTION 36, T12S, R13E, G&S&B&M, PIMA COUNTY, ARIZONA

project description:
NEC ORACLE & SUFFOLK

ARC STUDIOS
 3117 E. Flower Street
 Tucson, Arizona 85716
 phone: 520.882.9955
 www.arcstudios.com

landscape architecture urban design
 environmental services irrigation design

PRELIMINARY NOT FOR CONSTRUCTION

date:
 2020.07.10
 project # -
 01-20034

SITE RESOURCE INVENTORY

SRI

1 of 1 Sheets

B. Sloped Area Analysis

Although the Future Development generally slopes gently as described above, there are two braided wash areas through the site that exhibit greater slopes along the banks. These areas exhibit slopes up to 25% but because of the wash banks being only several feet high these areas do not comply with the requirements of the Hillside Area Category as stated in Section 27.10.D.3.g.ii of the Town of Oro Valley Zoning Code. No slope analysis was performed for the proposed Rezone Parcels to the south as it will remain as-is.

C. Slope Area Analysis Map - Two (2) Foot Contour Intervals:

There are no slopes on the subject Rezoning Parcels that require a Sloped Area Analysis per the Hillside Area requirements.

iii. Sloped Area Analysis Table

| Slope Categories | Square Feet |
|---|--------------------|
| a. 15% to less than 18% | <i>0 sf</i> |
| b. 18% to less than 20% | <i>0 sf</i> |
| c. 20% to less than 25% | <i>0 sf</i> |
| d. 25% to less than 33% | <i>0 sf</i> |
| e. 33% or greater | <i>0 sf</i> |
| f. Ridgelines with elevation greater than 25 feet or more | <i>0 sf</i> |
| g. Rock outcrops and boulders | <i>0 sf</i> |

There are no other significant topographic features on the property.

4. Cultural, Archaeological and Historic Resources

A. Report from Arizona State Museum (ASM), State Historic Preservation Office (SHPO), qualified archaeologist or a professional architect

- i. Determine whether site has been field surveyed for cultural resources*
No cultural resources discovered on Rezoning Parcels.
- ii. Previously recorded archaeological or historic resources*
The Rezoning Parcels have not been subject to an archaeological survey and no records found.
- iii. Probability of buried archaeological or historic resources discovered on the site*
Based on our findings the probability of resources found below surface and currently non-visible are low.

B. Cultural Resources Survey and Inventory Report

The ASM report identifies no archaeological sites on the Rezoning Parcels.

- i. Significant Cultural Resources based on Local Criteria*
No significant cultural resources based on local criteria are expected.
- ii. Significant Cultural Resources based on National Register Criteria*
No significant cultural resources based on national register criteria are expected.

C. Description of Resources and Recommendations of Significance

No significant cultural resources based on national register criteria are expected.

D. Treatment Plan (if required)

No treatment plan is recommended. Although it is noted that all ground-disturbing activities have the potential to inadvertently expose human remains and other cultural items. Pursuant to the Arizona Revised Statute 41-865, if human remains, associated funerary objects, unassociated funerary objects, objects of cultural patrimony, or sacred objects are encountered anywhere in the project area during ground-disturbing activities, all such activity shall cease in the area of the discovery and the Director of the Arizona State Museum immediately notified.

5. Hydrology

The following hydrology information was analyzed and prepared by Cypress Civil Development. All hydrology information is for planning purposes only and is subject to verification/modification via the Drainage Report with supporting calculations based on the existing and proposed conditions at the time of subdivision platting. This portion of the analysis was accomplished for the Future Development portion of the Rezoning Parcels since the southern area is already developed and is not proposed for any modifications.

A. Off-Site Watersheds

There are several offsite watersheds impacting the Future Development. The largest offsite watershed, denoted E1.3 on the Offsite Watershed Map, arrives onsite at the midpoint of the eastern boundary as a natural watercourse through a low density, suburban neighborhood. This watershed is 77 acres in size and generates up to 400cfs during a 100-year storm event. Once the stormwater enters the site it flows southwest and is directed toward an existing 6' x 5' reinforced concrete box culvert (RCBC) located at the northeast quadrant of the intersection of Oracle Road with Suffolk Drive (which then conveys the stormwater west under Oracle and into the commercial development on the west side of the road). A berm along the left bank directs the flow directly to the culvert. Offsite watershed E1.1 is 2.4 acres in size and generates up to 19.2cfs from Suffolk Drive and surrounding terrain including the commercial development to the south. This runoff arrives onsite at the south and southeast corner of the site, at multiple low points in the adjacent roadway. Offsite watershed E1.2 is 1 acre in size with an estimated 7.8cfs of flow generated during a 100-year storm event. Stormwater runoff from this watershed arrives at the eastern boundary at a dip section within the adjacent dirt road/alley. This runoff flows westward, on the south side of the berm toward a 24" culvert at the northeast corner of Oracle Road with Suffolk Drive (which then conveys the stormwater south and under Suffolk Drive). Offsite watershed E1.4 is runoff from the north, adjacent commercial development. A total runoff of 10cfs arrives at 5 different points along the northern boundary, at low points and/or curb openings (*see Exhibit 1.5.F.ii: Existing Conditions Watershed Map*).

B. Balanced and Critical Basins

Per Section 11.3 of the Oro Valley Drainage Criteria Manual, "all basins within the Town of Oro Valley shall be considered Critical Basins." As a result of this Critical Basin designation, the 100-year flood stormwater flows exiting the Future Development in the proposed condition are required to match the existing condition flows, or be reduced by means of detention and/or other rainwater harvesting techniques.

C. Significant Off-site Features (Natural or Man-made) that May Affect or be Affected by the Site

There are no significant off-site features that affect the Rezoning Parcels.

D. Area in Acres of Upstream Off-Site Watersheds with 100-Year Discharges Greater than 100 cfs.

The wash that passes through the Future Development has been determined to have a 100-year peak discharge of 400cfs where it arrives at the center of the eastern site boundary.

E. Location and Ownership of Wells/Well Sites within 100 Feet

According to the Arizona Department of Water Resources (ADWR), there are no wells registered on or within 100 feet of the Rezoning Parcels.

F. On-Site Hydrology

The Rezoning Parcel lies within an area of predominantly desert brush and cactus ground cover vegetation and dense mature trees. The northern 2/3 of the Future Development site (north of the existing wash through the site) is on a gentle hillside that slopes from northeast to southwest with slopes averaging in the 2%-4 % range. The lower 1/3 of the site (south of the wash) slopes from east to west with an average slope of approximately 2.5%. Soils within the Future Development site are 100% hydrologic soil group “D”, as classified by the Natural Resource Conservation Service (NRCS).

According to the Federal Emergency Management Agency Flood Insurance Rate Map Panel FM04019C1680L, dated June 16, 2011, the Future Development site is located in un-shaded Zone X, which is an area determined to be outside the 500-year floodplain.

The Future Development site was analyzed as a single watershed since all runoff reports to the culvert just outside of the southwest corner of the site. This site is 4.7 acres and generates up to 30.6cfs of stormwater runoff during a 100-year storm event.

The following table summarizes the existing conditions hydrology for the Future Development site:

| Rainfall Event | Flow rate (cfs) |
|----------------|-----------------|
| 2-Year | 7.1 |

| | |
|----------|------|
| 10-Year | 15.9 |
| 25-Year | 21.4 |
| 50-Year | 25.8 |
| 100-Year | 30.6 |

Total onsite runoff from the Future Development site is 30.6cfs (*see Exhibit I.5.F.ii: Existing Conditions Watershed Map*), excluding the aforementioned 400cfs conveyed through the site in the un-named watercourse, as well as the other contributing offsite watersheds.

G. Existing Drainage Conditions Along Downstream Property Boundary

All runoff from the Future Development onsite and offsite, a combined total of 468cfs arrives at the box culvert as previously described at the southwest corner of the site. The box culvert has the capacity to convey 300cfs. The remaining stormwater overtops Suffolk Drive, which is in a sump condition just east of the intersection, where some pooling occurs within the street as it flows south across the street and into the road-side ditch within the Oracle Road corridor, where it continues south. Flow through the box culvert is conveyed under Oracle Road, outlets briefly on the west side of Oracle Road and immediately enters into another box culvert under a commercial development, and then continues westward.

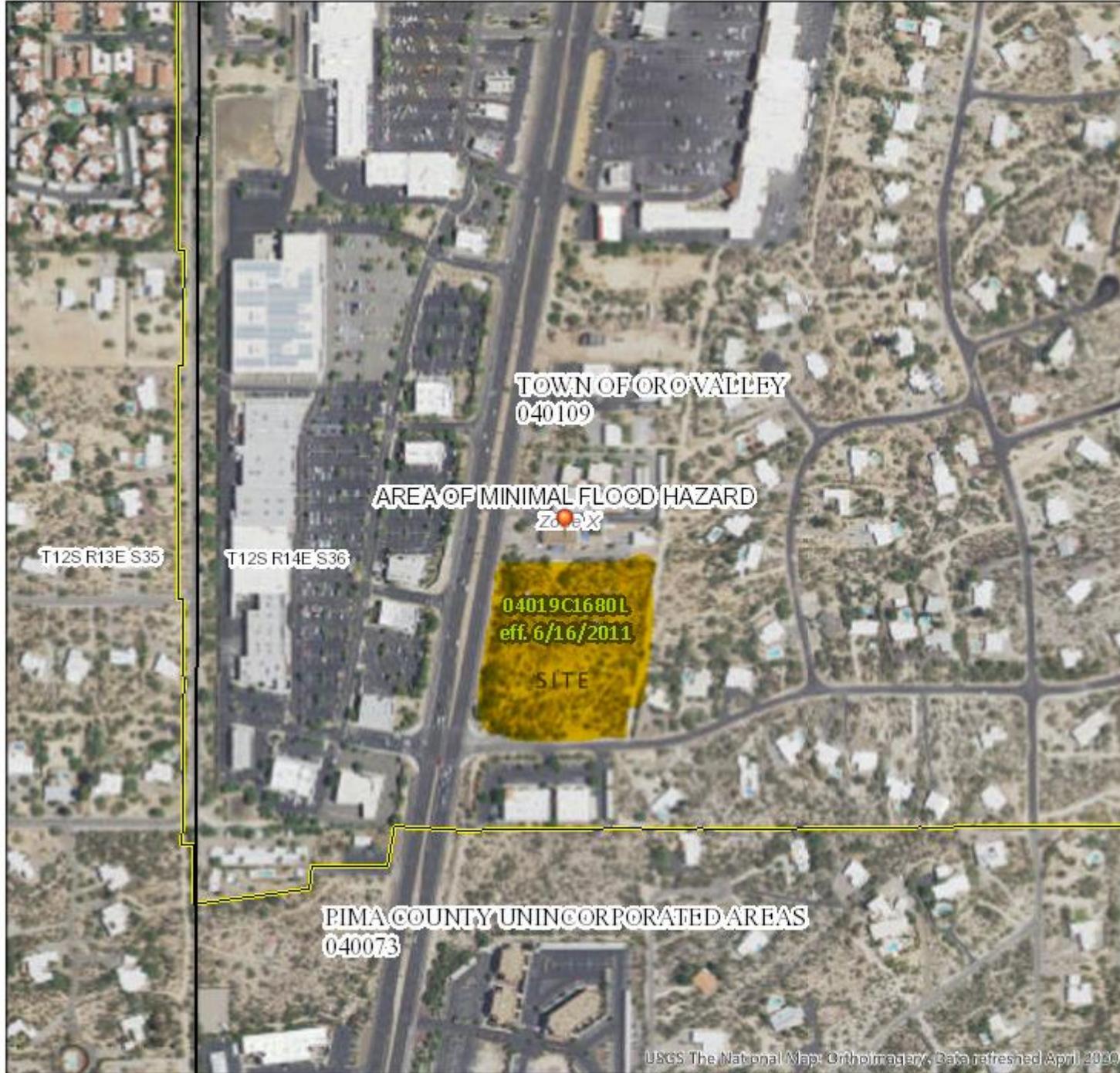
Exhibit I.5.A: Existing Conditions Watershed Map



National Flood Hazard Layer FIRMette



110°58'49"W 32°21'4"N



USGS The National Map: Orthoimagery, Data refreshed April 2020

110°58'12"W 32°20'33"N

0 250 500 1,000 1,500 2,000 Feet 1:6,000

6. Vegetation

A. Describe and Map

i. *Vegetative Communities and Associations On-Site*

The Future Development site was inventoried on June 2020 to address the requirements of rezoning, site resource inventory and preliminary native plant preservation. The southern portion of the Rezoning Parcels is already developed so is not part of this portion of the analysis. The Future Development site is bound by residential development to the east, Suffolk Road to the south, Oracle Road (Highway 77) to the west and retail/ office development to the north. Vegetation consists of Arizona Upland Subdivision, Palo Verde- Mixed Cactus Series.

Some wildcat dumping has occurred along the east property line and one invasive *Rhus lancea* (African Sumac) exists. Vegetation transitions from open sporadic plantings to more dense plant groupings from east to west due to Oracle road and drainage structures found at the southwest corner of the site. Mesquite, Whitethorn and Catclaw Acacia, Blue and Foothills paloverde are the predominate tree species. Understory vegetation consists of: prickly pear, triangle leaf bursage, turpentine bush, brittle bush and other seasonal forbs and grasses. Site contains a high level of Mistletoe contamination impacting the quality and soil conditions are not favorable for plant salvage.

ii. *Significant Cacti and Groups of Trees and Federally Listed Threatened or Endangered Species*

Site was inventoried in June 2020 to identify significant vegetation. 21 trees were identified with 15 located within the site development. 15 saguaros were found with 2 over 5' in height. Refer to the SRI for chart and identifications of species within the development.

As shown in Exhibit I.2.B, we've outlined the plants that are significant. Significant vegetation that would survive 5 years must be preserved in place, transported onsite or mitigated per Table 27-1.

iii. *Vegetative Densities by Percentage of Plant Cover*

The Future Development site was inventoried in June 2020 to identify significant vegetation. Twenty-one trees were identified with 15 located within the Future Development site. Fifteen saguaros were found with 2 over 5' in height. Refer to the SRI for chart and identifications of species within the development.

7. Wildlife

A. Letter from Arizona Game and Fish Department Habitat Specialist

i. Presence of any State-listed Threatened or Endangered Species

According to the Arizona Game and Fish Department, according to the Department's Heritage Data Management System (HDMS)'s Online Environmental Tool report, the Sonoran Desert Tortoise have been reported within a three-mile radius.

ii. High Densities of a Given Species or Unusually High Species Diversity

According to the Arizona Game and Fish Department, there is no evidence that high densities of a given species exist.

iii. Aquatic or Riparian Ecosystems

According to the Arizona Game and Fish Department, there are no aquatic or riparian ecosystems found within a three-mile radius.

B. Arizona Game and Fish Department Wildlife Environmental Review

NE & SE Corners of Oracle Road & Suffolk Drive
Important Areas



- | | | |
|--------------------------------------|--|------------------------------------|
| Project Boundary | Wildlife Movement Area - Riparian/Wash | Project Size (acres): 6.45 |
| Buffered Project Boundary | Wildlife Connectivity | Lat/Long (DD): 32.3456 / -110.9752 |
| County Stakeholder Assessment | Important Connectivity Zones | County(s): Pima |
| Wildlife Crossing Area | Pinal County Riparian | AGFD Region(s): Tucson |
| Wildlife Movement Area - Diffuse | Critical Habitat | Township/Range(s): T12S, R13E |
| Wildlife Movement Area - Landscape | Important Bird Areas | USGS Quad(s): TUCSON NORTH |

Exhibit I.7.B: AGFD Online Environmental Review

Arizona Environmental Online Review Tool Report



*Arizona Game and Fish Department Mission
To conserve Arizona's diverse wildlife resources and manage for safe, compatible outdoor recreation opportunities for current and future generations.*

Project Name:

NE & SE Corners of Oracle Road & Suffolk Drive

User Project Number:

2020P00248

Project Description:

The property includes APN 225-51-018A, 225-51-4720, 225-51-0190, and 225-51-0200. A commercial center is planned for APN 225-51-018A and 225-51-4720. APN 225-51-0190 and 225-51-0200 have already been developed with existing buildings, infrastructure, and businesses, with no improvements planned.

Project Type:

Development Within Municipalities (Urban Growth), Commercial/industrial (mall) and associated infrastructure, New construction

Contact Person:

Scott Hart

Organization:

WestLand Resources, Inc.

On Behalf Of:

PRIVATE

Project ID:

HGIS-11584

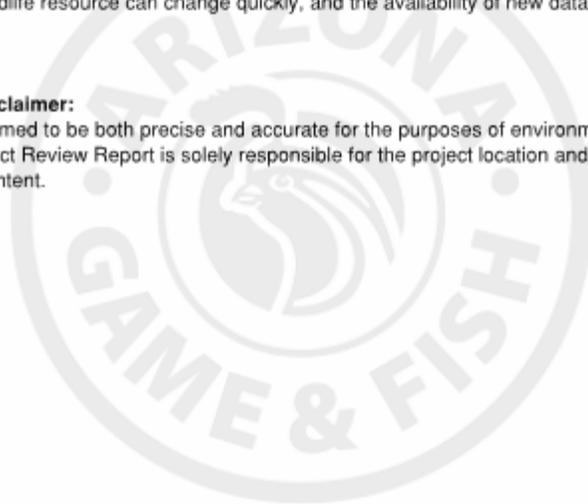
Please review the entire report for project type and/or species recommendations for the location information entered. Please retain a copy for future reference.

Disclaimer:

1. This Environmental Review is based on the project study area that was entered. The report must be updated if the project study area, location, or the type of project changes.
2. This is a preliminary environmental screening tool. It is not a substitute for the potential knowledge gained by having a biologist conduct a field survey of the project area. This review is also not intended to replace environmental consultation (including federal consultation under the Endangered Species Act), land use permitting, or the Departments review of site-specific projects.
3. The Departments Heritage Data Management System (HDMS) data is not intended to include potential distribution of special status species. Arizona is large and diverse with plants, animals, and environmental conditions that are ever changing. Consequently, many areas may contain species that biologists do not know about or species previously noted in a particular area may no longer occur there. HDMS data contains information about species occurrences that have actually been reported to the Department. Not all of Arizona has been surveyed for special status species, and surveys that have been conducted have varied greatly in scope and intensity. Such surveys may reveal previously undocumented population of species of special concern.
4. HabiMap Arizona data, specifically Species of Greatest Conservation Need (SGCN) under our State Wildlife Action Plan (SWAP) and Species of Economic and Recreational Importance (SERI), represent potential species distribution models for the State of Arizona which are subject to ongoing change, modification and refinement. The status of a wildlife resource can change quickly, and the availability of new data will necessitate a refined assessment.

Locations Accuracy Disclaimer:

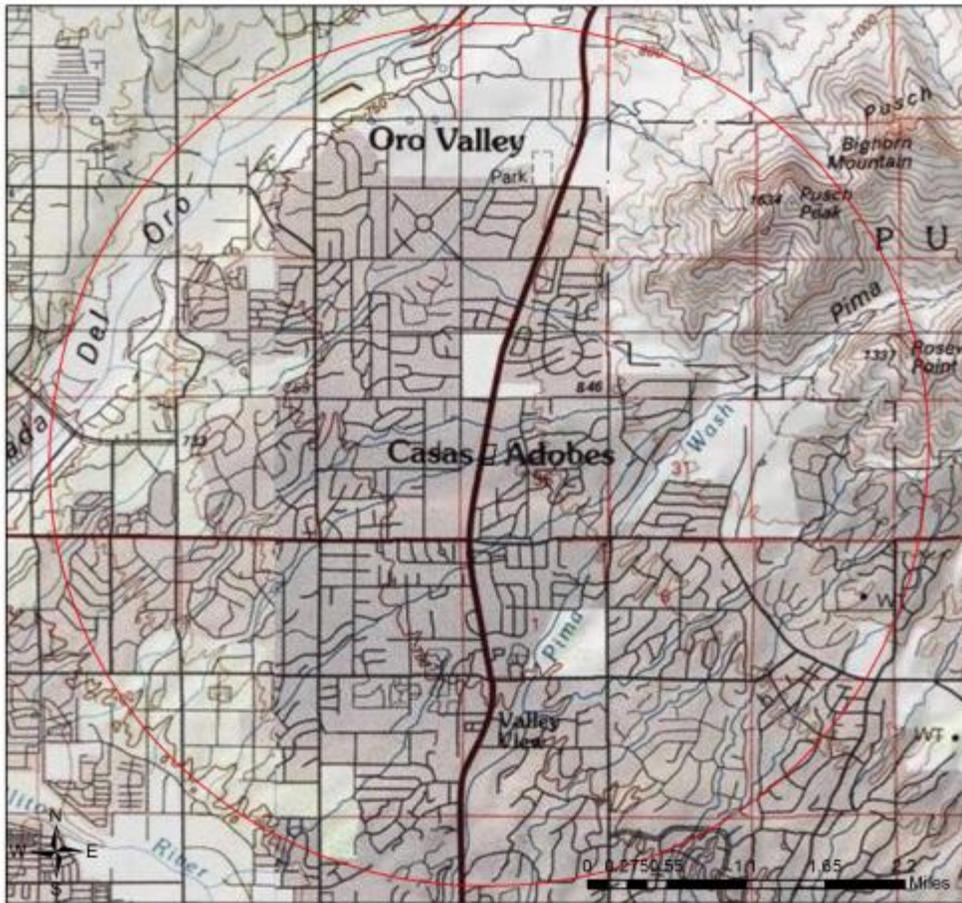
Project locations are assumed to be both precise and accurate for the purposes of environmental review. The creator/owner of the Project Review Report is solely responsible for the project location and thus the correctness of the Project Review Report content.



Recommendations Disclaimer:

1. The Department is interested in the conservation of all fish and wildlife resources, including those species listed in this report and those that may have not been documented within the project vicinity as well as other game and nongame wildlife.
2. Recommendations have been made by the Department, under authority of Arizona Revised Statutes Title 5 (Amusements and Sports), 17 (Game and Fish), and 28 (Transportation).
3. Potential impacts to fish and wildlife resources may be minimized or avoided by the recommendations generated from information submitted for your proposed project. These recommendations are preliminary in scope, designed to provide early considerations on all species of wildlife.
4. Making this information directly available does not substitute for the Department's review of project proposals, and should not decrease our opportunity to review and evaluate additional project information and/or new project proposals.
5. Further coordination with the Department requires the submittal of this Environmental Review Report with a cover letter and project plans or documentation that includes project narrative, acreage to be impacted, how construction or project activity(s) are to be accomplished, and project locality information (including site map). Once AGFD had received the information, please allow 30 days for completion of project reviews. Send requests to:
Project Evaluation Program, Habitat Branch
Arizona Game and Fish Department
5000 West Carefree Highway
Phoenix, Arizona 85086-5000
Phone Number: (623) 236-7600
Fax Number: (623) 236-7366
Or
PEP@azgfd.gov
6. Coordination may also be necessary under the National Environmental Policy Act (NEPA) and/or Endangered Species Act (ESA). Site specific recommendations may be proposed during further NEPA/ESA analysis or through coordination with affected agencies

NE & SE Corners of Oracle Road & Suffolk Drive
 USA Topo Basemap With Locator Map



- Project Boundary
- Buffered Project Boundary

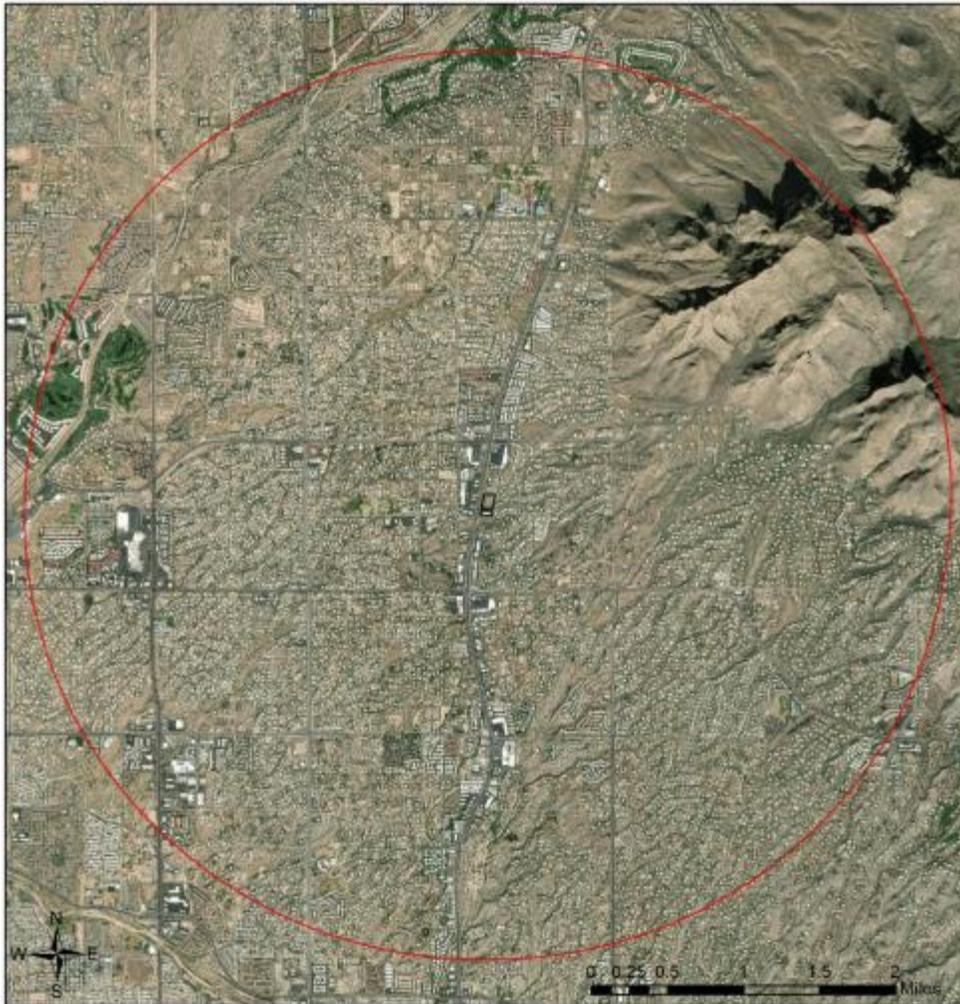
Project Size (acres): 6.45
 Lat/Long (DD): 32.3456 / -110.9752
 County(s): Pima
 AGFD Region(s): Tucson
 Township/Range(s): T12S, R13E
 USGS Quad(s): TUCSON NORTH

Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap



NE & SE Corners of Oracle Road & Suffolk Drive

Web Map As Submitted By User

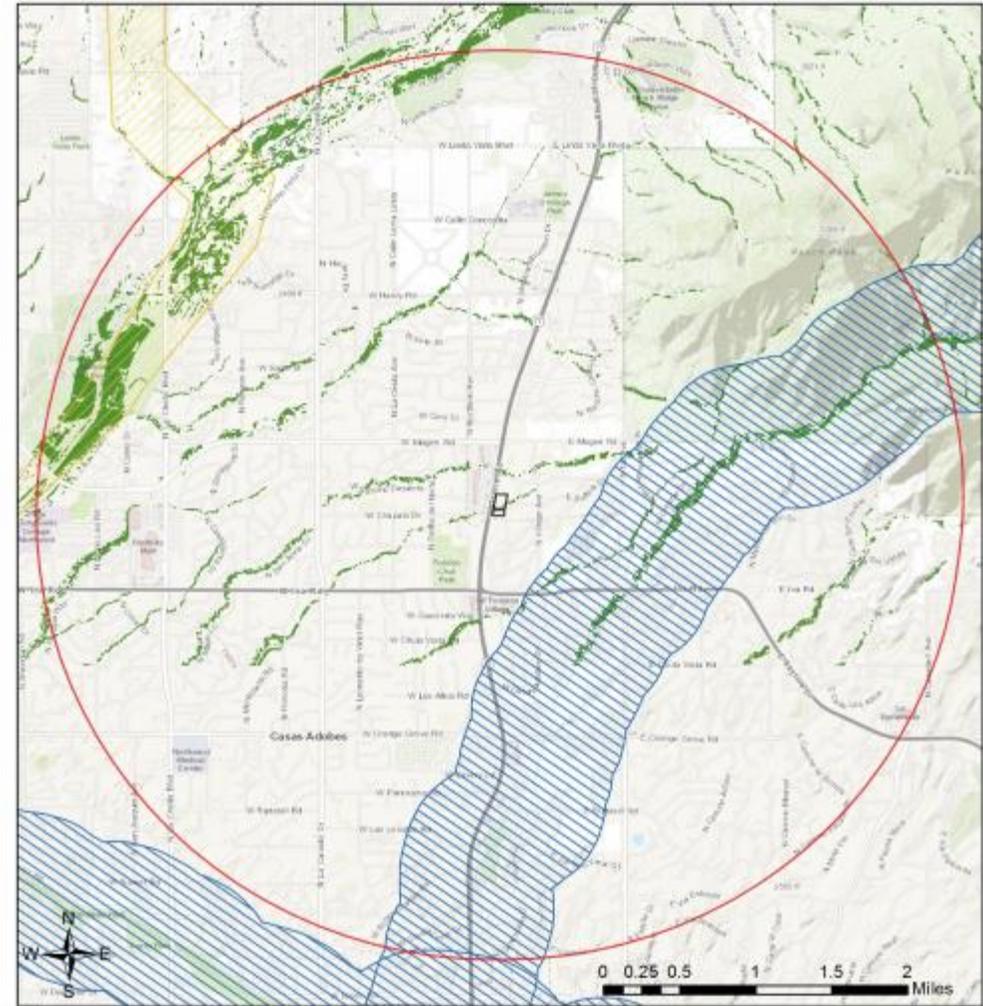


- Project Boundary
- Buffered Project Boundary

Project Size (acres): 6.45
Lat/Long (DD): 32.3456 / -110.9752
County(s): Pima
AGFD Region(s): Tucson
Township/Range(s): T12S, R13E
USGS Quad(s): TUCSON NORTH

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

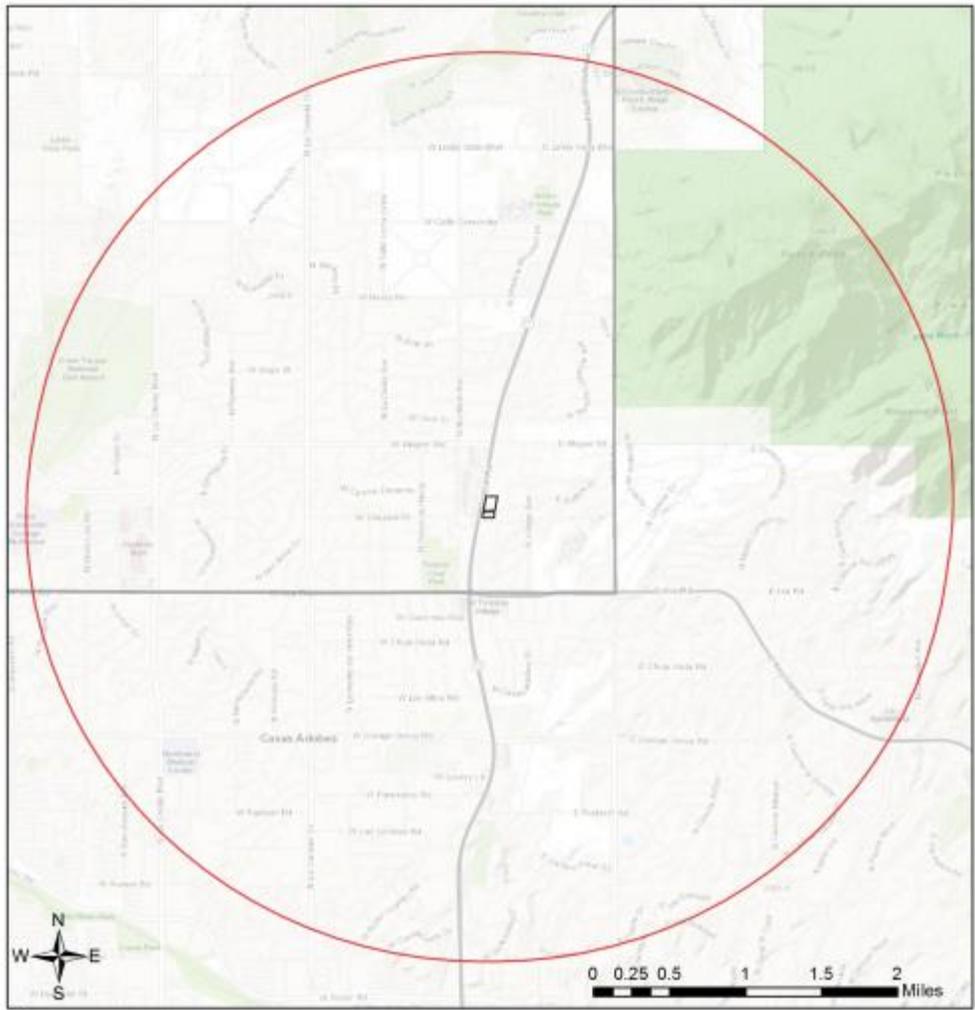
NE & SE Corners of Oracle Road & Suffolk Drive
Important Areas



- | | | |
|--------------------------------------|--|------------------------------------|
| Project Boundary | Wildlife Movement Area - Riparian/Wash | Project Size (acres): 6.45 |
| Buffered Project Boundary | Wildlife Connectivity | Lat/Long (DD): 32.3456 / -110.9752 |
| County Stakeholder Assessment | | County(s): Pima |
| Wildlife Crossing Area | Important Connectivity Zones | AGFD Region(s): Tucson |
| Wildlife Movement Area - Diffuse | Pinal County Riparian | Township/Range(s): T12S, R13E |
| Wildlife Movement Area - Landscape | Critical Habitat | USGS Quad(s): TUCSON NORTH |
| | Important Bird Areas | |

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Karteler NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

NE & SE Corners of Oracle Road & Suffolk Drive
Township/Ranges and Land Ownership



- | | | |
|---------------------------|------------------------|------------------------------------|
| Project Boundary | Military | Project Size (acres): 6.45 |
| Buffered Project Boundary | Mixed/Other | Lat/Long (DD): 32.3456 / -110.9752 |
| Township/Ranges | National Park/Mon. | County(s): Pima |
| Land Ownership | | AGFD Region(s): Tucson |
| AZ Game & Fish Dept. | Private | Township/Range(s): T12S, R13E |
| BLM | State & Regional Parks | USGS Quad(s): TUCSON NORTH |
| BOR | State Trust | |
| Indian Res. | US Forest Service | |
| | Wildlife Area/Refuge | |

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kantam, NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

Special Status Species Documented within 3 Miles of Project Vicinity

| Scientific Name | Common Name | FWS | USFS | BLM | NPL | SGCN |
|--------------------------------------|---------------------------|-----|------|-----|-----|------|
| <i>Abutilon parishii</i> | Pima Indian Mallow | SC | S | S | SR | |
| <i>Choeronycteris mexicana</i> | Mexican Long-tongued Bat | SC | S | S | | 1C |
| <i>Danaus plexippus</i> | Monarch | | | S | | |
| <i>Falco peregrinus anatum</i> | American Peregrine Falcon | SC | S | S | | 1A |
| <i>Gopherus morafkai</i> | Sonoran Desert Tortoise | CCA | S | S | | 1A |
| <i>Heloderma suspectum suspectum</i> | Reticulate Gila Monster | | | | | 1A |
| <i>Heloderma suspectum</i> | Gila Monster | | | | | 1A |
| <i>Lasiurus xanthinus</i> | Western Yellow Bat | | S | | | 1B |
| <i>Leptonycteris yerbabuenae</i> | Lesser Long-nosed Bat | SC | | | | 1A |
| <i>Opuntia versicolor</i> | Stag-horn Cholla | | | | SR | |
| <i>Terrapene ornata luteola</i> | Desert Box Turtle | | | S | | 1A |
| <i>Tumamoca macdougalli</i> | Tumamoc Globeberry | | S | S | SR | |

Note: Status code definitions can be found at <https://www.azgfd.com/wildlife/planning/wildlifeguidelines/statusdefinitions/>

Special Areas Documented within the Project Vicinity

| Scientific Name | Common Name | FWS | USFS | BLM | NPL | SGCN |
|-----------------|---------------|-----|------|-----|-----|------|
| Riparian Area | Riparian Area | | | | | |

Note: Status code definitions can be found at <https://www.azgfd.com/wildlife/planning/wildlifeguidelines/statusdefinitions/>

Species of Greatest Conservation Need Predicted within the Project Vicinity based on Predicted Range Models

| Scientific Name | Common Name | FWS | USFS | BLM | NPL | SGCN |
|---|-------------------------------|-----|------|-----|-----|------|
| <i>Aix sponsa</i> | Wood Duck | | | | | 1B |
| <i>Anaxyrus retiformis</i> | Sonoran Green Toad | | | S | | 1B |
| <i>Antrostomus ridgwayi</i> | Buff-collared Nightjar | | S | | | 1B |
| <i>Aspidoscelis stictogramma</i> | Giant Spotted Whiptail | SC | S | | | 1B |
| <i>Aspidoscelis xanthonota</i> | Red-backed Whiptail | SC | S | | | 1B |
| <i>Athene cucularia hypugaea</i> | Western Burrowing Owl | SC | S | S | | 1B |
| <i>Chilomeniscus stramineus</i> | Variable Sandsnake | | | | | 1B |
| <i>Coluber bilineatus</i> | Sonoran Whipsnake | | | | | 1B |
| <i>Corynorhinus townsendii pallescens</i> | Pale Townsend's Big-eared Bat | SC | S | S | | 1B |
| <i>Cynanthus latirostris</i> | Broad-billed Hummingbird | | S | | | 1B |
| <i>Eumops perotis californicus</i> | Greater Western Bonneted Bat | SC | | S | | 1B |
| <i>Falco peregrinus anatum</i> | American Peregrine Falcon | SC | S | S | | 1A |
| <i>Glaucidium brasilianum cactorum</i> | Cactus Ferruginous Pygmy-owl | SC | S | S | | 1B |
| <i>Gopherus morafkai</i> | Sonoran Desert Tortoise | CCA | S | S | | 1A |
| <i>Incilius alvarius</i> | Sonoran Desert Toad | | | | | 1B |
| <i>Lasiurus xanthinus</i> | Western Yellow Bat | | S | | | 1B |

Species of Greatest Conservation Need Predicted within the Project Vicinity based on Predicted Range Models

| Scientific Name | Common Name | FWS | USFS | BLM | NPL | SGCN |
|-------------------------|---------------------------|-----|------|-----|-----|------|
| Leopardus pardalis | Ocelot | LE | | | | 1A |
| Lithobates yavapaiensis | Lowland Leopard Frog | SC | S | S | | 1A |
| Melanerpes uropygialis | Gila Woodpecker | | | | | 1B |
| Melospiza lincolni | Lincoln's Sparrow | | | | | 1B |
| Melospiza aberti | Abert's Towhee | | S | | | 1B |
| Micruroides euryxanthus | Sonoran Coralsnake | | | | | 1B |
| Myotis occultus | Arizona Myotis | SC | | S | | 1B |
| Panthera onca | Jaguar | LE | | | | 1A |
| Progne subis hesperia | Desert Purple Martin | | | S | | 1B |
| Sphyrapicus nuchalis | Red-naped Sapsucker | | | | | 1C |
| Tadarida brasiliensis | Brazilian Free-tailed Bat | | | | | 1B |
| Vireo bellii arizonae | Arizona Bell's Vireo | | | | | 1B |

Species of Economic and Recreation Importance Predicted within the Project Vicinity

| Scientific Name | Common Name | FWS | USFS | BLM | NPL | SGCN |
|---------------------|-------------------|-----|------|-----|-----|------|
| Callipepla gambelii | Gambel's Quail | | | | | |
| Odocoileus hemionus | Mule Deer | | | | | |
| Pecari tajacu | Javelina | | | | | |
| Puma concolor | Mountain Lion | | | | | |
| Zenaidura macroura | White-winged Dove | | | | | |
| Zenaidura macroura | Mourning Dove | | | | | |

Project Type: Development Within Municipalities (Urban Growth), Commercial/Industrial (mall) and associated infrastructure, New construction

Project Type Recommendations:

Minimization and mitigation of impacts to wildlife and fish species due to changes in water quality, quantity, chemistry, temperature, and alteration to flow regimes (timing, magnitude, duration, and frequency of floods) should be evaluated. Minimize impacts to springs, in-stream flow, and consider irrigation improvements to decrease water use. If dredging is a project component, consider timing of the project in order to minimize impacts to spawning fish and other aquatic species (include spawning seasons), and to reduce spread of exotic invasive species. We recommend early direct coordination with Project Evaluation Program for projects that could impact water resources, wetlands, streams, springs, and/or riparian habitats.

Based on the project type entered, coordination with Arizona Department of Water Resources may be required (<https://new.azwater.gov/>).

The Department requests further coordination to provide project/species specific recommendations. please contact Project Evaluation Program directly at PEP@azgfd.gov.

Project Location and/or Species Recommendations:

HDMS records indicate that one or more native plants listed on the **Arizona Native Plant Law and Antiquities Act** have been documented within the vicinity of your project area. Please contact:

Arizona Department of Agriculture

1688 W Adams St.

Phoenix, AZ 85007

Phone: 602.542.4373

<https://agriculture.az.gov/sites/default/files/Native%20Plant%20Rules%20-%20AZ%20Dept%20of%20Ag.pdf> starts on page 44

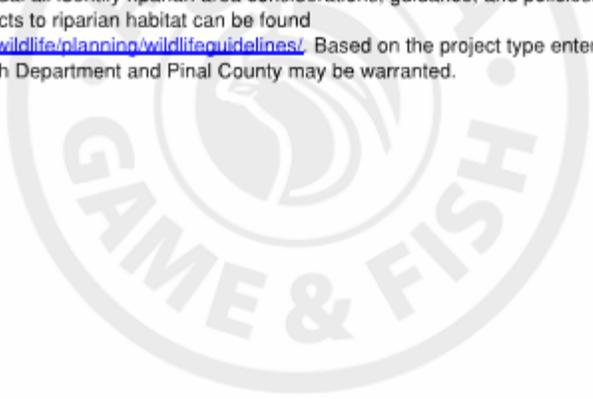
HDMS records indicate that **Lesser Long-nosed Bats** have been documented within the vicinity of your project area.

Please review the Lesser Long-nosed Bat Management Guidelines

at: <https://s3.amazonaws.com/azofd-portal->

[wordpress/Portallimages/files/wildlife/planningFor/wildlifeFriendlyGuidelines/FINALecuyeHabitatGdln.pdf](https://s3.amazonaws.com/azofd-portal-wordpress/Portallimages/files/wildlife/planningFor/wildlifeFriendlyGuidelines/FINALecuyeHabitatGdln.pdf)

This review has identified **riparian areas** within the vicinity of your project. During the planning stage of your project, avoid, minimize, or mitigate any potential impacts to riparian areas identified in this report. Riparian areas play an important role in maintaining the functional integrity of the landscape, primarily by acting as natural drainages that convey water through an area, thereby reducing flood events. In addition, riparian areas provide important movement corridors and habitat for fish and wildlife. Riparian areas are channels that contain water year-round or at least part of the year. Riparian areas also include those channels which are dry most of the year, but may contain or convey water following rain events. All types of riparian areas offer vital habitats, resources, and movement corridors for wildlife. The Pinal County Comprehensive Plan (i.e. policies 6.1.2.1 and 7.1.2.4), Open Space and Trails Master Plan, Drainage Ordinance, and Drainage Design Manual all identify riparian area considerations, guidance, and policies. Guidelines to avoid, minimize, or mitigate impacts to riparian habitat can be found at <https://www.azofd.com/wildlife/planning/wildlifeguidelines/>. Based on the project type entered, further consultation with the Arizona Game and Fish Department and Pinal County may be warranted.





July 17, 2020

Andrew Call
Thompson Thrift
2398 E. Camelback Rd, Suite 210
Phoenix, Arizona 85016

Re: Review of the Oracle Rd. and Suffolk Dr. Commercial Center project

Dear Mr. Call:

The Arizona Game and Fish Department (Department) reviewed your Project Evaluation Request dated July 13, 2020, regarding the commercial development of two parcels (APN 225-51-018A and 225-51-4720) in the Town of Oro Valley, Pima County, Arizona. As seen on the Department's Heritage Data Management System (HDMS)'s Online Environmental Tool report you created on July 13, 2020, Sonoran desert tortoise (*Gopherus morafkai*) have been reported within a three mile radius of your proposed project.

Based on the information provided, the Department offers the following general recommendations:

- The trees and/or vegetation within the project area may provide nesting opportunities for avian species that are regulated under the Migratory Bird Treaty Act (MBTA). A qualified biologist should conduct a survey for nesting birds within the project area prior to removal or trimming of trees/vegetation during the breeding season. Breeding season for birds is generally March through late August, depending on the species and habitat, and for raptors it is generally January through late June. If you anticipate your project will not be in compliance with MBTA, the Department recommends you contact the U.S. Fish and Wildlife Service (USFWS) for their Technical Assistance. The USFWS will provide options to comply with the MBTA.
- If proposed ground disturbance (both temporary and permanent), in areas with native vegetation, will meet or exceed 0.25 acre, please comply with the Arizona Native Plant Law regulations. Please determine if a Native Plant Inventory should be conducted to identify, record, and coordinate plant salvage efforts for species that are Protected under the Arizona Native Plant Law. In addition, the applicable land management agencies should be consulted regarding guidelines for revegetation efforts.
<https://agriculture.az.gov/plantsproduce/native-plants>
<http://riester-az-agriculture.pantheonsite.io/sites/default/files/Native%20Plant%20Rules%20-%20AZ%20Dept%20of%20Ag.pdf>

azgfd.gov | 602.942.3000

5000 W. CAREFREE HIGHWAY, PHOENIX AZ 85086

GOVERNOR: DOUGLAS A. DUCEY COMMISSIONERS: CHAIRMAN KURT R. DAVIS, PHOENIX | LELAND S. "BILL" BRAKE, ELGIN
JAMES E. COUGHNOUR, PAYSON | TODD G. CEILER, PRESCOTT | ERIC S. SPARKS, TUCSON DIRECTOR: TY E. GRAY DEPUTY DIRECTOR: TOM P. FINLEY

Andrew Call
July 17, 2020
Page 2

- Minimize the potential introduction or spread of exotic invasive species, including aquatic and terrestrial plants, animals, insects and pathogens. Precautions should be taken to wash and/or decontaminate all equipment utilized in the project activities before entering and leaving the site. See the Arizona Department of Agriculture website for a list of prohibited and restricted noxious weeds at <https://www.invasivespeciesinfo.gov/unitedstates/az.shtml> and the Arizona Native Plant Society <https://aznps.com/invas> for recommendations on how to control. To view a list of documented invasive species or to report invasive species in or near your project area visit iMapInvasives - a national cloud-based application for tracking and managing invasive species at <https://imap.natureserve.org/imap/services/page/map.html>.
 - To build a list: zoom to your area of interest, use the identify/measure tool to draw a polygon around your area of interest, and select "See What's Here" for a list of reported species. To export the list, you must have an account and be logged in. You can then use the export tool to draw a boundary and export the records in a csv file.
- If trenching will occur, trenching and backfilling crews should be close together to minimize the amount of open trenches at any given time. Avoid leaving trenches open overnight. Where trenches cannot be back-filled immediately, escape ramps should be constructed at least every 90 meters. Escape ramps can be short lateral trenches or wooden planks sloping to the surface. The slope should be less than 45 degrees (1:1). Trenches that have been left open overnight should be inspected and animals removed prior to backfilling.
- Suitable habitat for the Sonoran desert tortoise may be present within the project area. While work is being conducted within suitable Sonoran Desert tortoise habitat, construction crews should refer to the *Guidelines for Handling Sonoran Desert Tortoises Encountered on Development Projects* should a tortoise be encountered.
<https://s3.amazonaws.com/azgfd-portal-wordpress/PortalImages/files/wildlife/2014%20Tortoise%20handling%20guidelines.pdf>

The Department appreciates the opportunity to provide an evaluation of impacts to wildlife or wildlife habitats associated with the Oracle Rd. and Suffolk Dr. Commercial Center project. If you have any questions regarding this letter, please contact me at (623) 236-7615, and visit our website for additional guidelines at <https://www.azgfd.com/wildlife/planning/wildlifeguidelines/>.

Sincerely,



Cheri A. Bouchér
Project Evaluation Program Specialist, Habitat Branch
Arizona Game and Fish Department

cc: Ginger Ritter, Project Evaluation Program Supervisor
John Windes, Habitat Program Manager, Region V

AGFD# M20-07134513

8. Viewsheds

A. Viewshed Analysis

The Rezoning Parcels are not within the Tangerine Road Corridor Overlay District and/ or Oracle Road Scenic Corridor Overlay District. Therefore, the information per Section 27.10.D.3.f.iv.a.1 is not required.

B. View Preservation Plan (VPP)

The Rezoning Parcels are not within the Tangerine Road Corridor Overlay District and/ or Oracle Road Scenic Corridor Overlay District. Therefore, a View Preservation Plan per Section 27.10.D.3.f.iv.2 is not required.

C. Corridor Character Vegetation (CCV)

The Rezoning Parcels are not within the Tangerine Road Corridor Overlay District and/ or Oracle Road Scenic Corridor Overlay District. Therefore, a map identifying all Core Character Vegetation (CVV) per Section 27.10.D.3.f.iv.b is not required.

9. Traffic

Inventory and Analysis Traffic

The current conditions of the roadway system surrounding the Rezoning Parcels is below. For the portion of the Rezoning Parcels already developed, those traffic counts are included with the existing conditions. For the Future Development, the new traffic has been analyzed as required by the Town in the Traffic Impact Analysis. The Rezoning Parcels are located within the Suffolk Hills (1-44, 1A & 1B & Blocks A and B) subdivision in Oro Valley. Access to the Future Development will be via three new driveways, two on Suffolk Drive and one on Oracle Road (State Route 77 or SR 77). Access to the portion of the Rezoning Parcels that are already developed for office uses is from two access points onto Suffolk.

SR 77 is under the jurisdiction of the Arizona Department of Transportation. The remaining roads, generally within a mile of the Rezoning Parcels, are mostly within Oro Valley's jurisdiction. SR 77 is classified as a Major Arterial. Suffolk Drive is classified as a Local Street. Other roads and the required features are provided in Exhibit A.

A. Existing and Proposed Off-Site Streets

Off-site streets within one-mile of the Rezoning Parcels include:

- a. SR 77 (Major Arterial, 6-lane)
- b. Suffolk Drive (Local Street, 2-lane)
- c. Magee Road (Minor Arterial west of SR 77, 4-lane; Major Collector east of SR 77 4-lane)
- d. Ina Road (Major Arterial, 4-lane)
- e. Northern Avenue (Local Street, 2-lane)
- f. Paseo del Norte (Local Street, 2 lane)
- g. Cool Drive (Local Street, 2-lane)
- h. Mountain Vista Drive (Local Street, 2-lane)
- i. Catalina Shadows Boulevard (Local Street, 2-lane)
- j. Several local residential streets east and west of SR 77.

All local streets are two-lane roadways providing access to residential and some commercial uses. There are no proposed off-site streets.

B. Arterial Streets within One (1) Mile

i. Existing and Proposed Rights-of-Way

The existing right-of-way on SR 77 is generally around 200 feet in the vicinity of the Rezoning Parcels. The existing right-of-way on Suffolk Drive west of SR 77 along the frontage is 60 feet. Magee Road's right-of-way is 150 feet on both sides of SR 77. Ina Road's right-of way width is 140 feet on both sides of SR 77.

ii. Conformance to Oro Valley Minimum Requirements

All existing Oro Valley streets conform to Oro Valley minimum standards.

iii. Ownership (Public/Private)

The ownership of all existing arterial roadways, and the adjacent local road Suffolk Drive, is either Oro Valley, ADOT or Pima County.

- Oro Valley: Suffolk Drive, Magee Road (Northern Avenue to 1st Avenue), Ina Road (West of SR 77 to Paseo del Norte)
- ADOT: SR 77
- Pima County: Ina Road (East of SR 77)

iv. Continuous and Not Continuous Right-of-Way

Most of the arterial rights-of-way on the around the Rezoning Parcels are continuous.

v. Number of Travel Lanes, Capacity, and Design Speeds for Existing Streets

shows these elements of the study area roadways (See ROADWAY INVENTORY TABLE).

| Street Name | From | To | Average Daily Trip (ADT) Volume | Data Source | Data Year | Roadway Classification | R/W Width (ft) | Travel Lanes | Daily Capacity (vpd)* | Speed Limit | Bike Facilities** | Pedestrian Facilities |
|------------------------------|------------------------|---------------------|---------------------------------|-------------|-----------|------------------------|----------------|--------------|-----------------------|-------------|--------------------|-----------------------|
| Oracle Road (State Route 77) | North of Suffolk Drive | | 37,039 | ADOT/PAG | 2019,2020 | Major Arterial | 200 | 6 | 59,900 | 50 | BRw/SS | None |
| Oracle Road (State Route 77) | South of Suffolk Drive | | 38,027 | ADOT | 2020 | Major Arterial | 200 | 6 | 59,900 | 50 | BRw/SS | None |
| Suffolk Drive | Oracle Road | 1st Avenue | 900 | PAG | 2019 | Local Street | 60 | 2 | 10,660 | 25 | Residential Street | None |
| Magee Road | Oracle Road | West of Oracle Road | 13,700 | PAG | 2019 | Minor Arterial | 150 | 4 | 29,160 | 35 | BRw/SS | Sidewalk, South Side |
| Magee Road | Oracle Road | East of Oracle Road | 1,363 | PAG | 2019 | Major Collector | 150 | 2 | 10,660 | 25 | BRw/SS | Sidewalk, South Side |
| Ina Road | Oracle Road | West of Oracle Road | 30,030 | PAG | 2019 | Major Arterial | 140 | 4 | 29,160 | 45 | BRw/SS | Sidewalk, both sides. |
| Ina Road | Oracle Road | East of Oracle Road | 39,679 | PAG | 2019 | Major Arterial | 140 | 4 | 29,160 | 45 | BRw/SS | Sidewalk, both sides. |

*LOS D Capacities from Florida DOT 2012 Level of Service Handbook Tables.

**Designations from the Tucson Bike Map

Note: Some volumes estimated from intersection peak hour volumes (PAG).

vi. Present Average Daily Traffic (ADT) for Existing Streets

provides recent daily volumes for the existing streets.

vii. Surface Condition of Existing Streets Providing Access to the Site

Suffolk Drive is distressed with many cracks and potholes in the vicinity of the Rezoning Parcels. SR 77 has fair surface conditions, and ADOT has programmed a pavement preservation project for SR 77 from Calle Concordia to River Road to begin in 2020.

viii. Roadway and Intersection Improvements

Both Oro Valley and ADOT participate as PAG member jurisdictions in the PAG Transportation Improvement Program (TIP), the five-year capital improvement program of regional transportation projects and programs. The SR 77 preservation project indicated before is a project within the current TIP.

ix. Existing and Proposed Intersections

Access to the Rezoning Parcels is and will be via the following intersections on arterials within one mile:

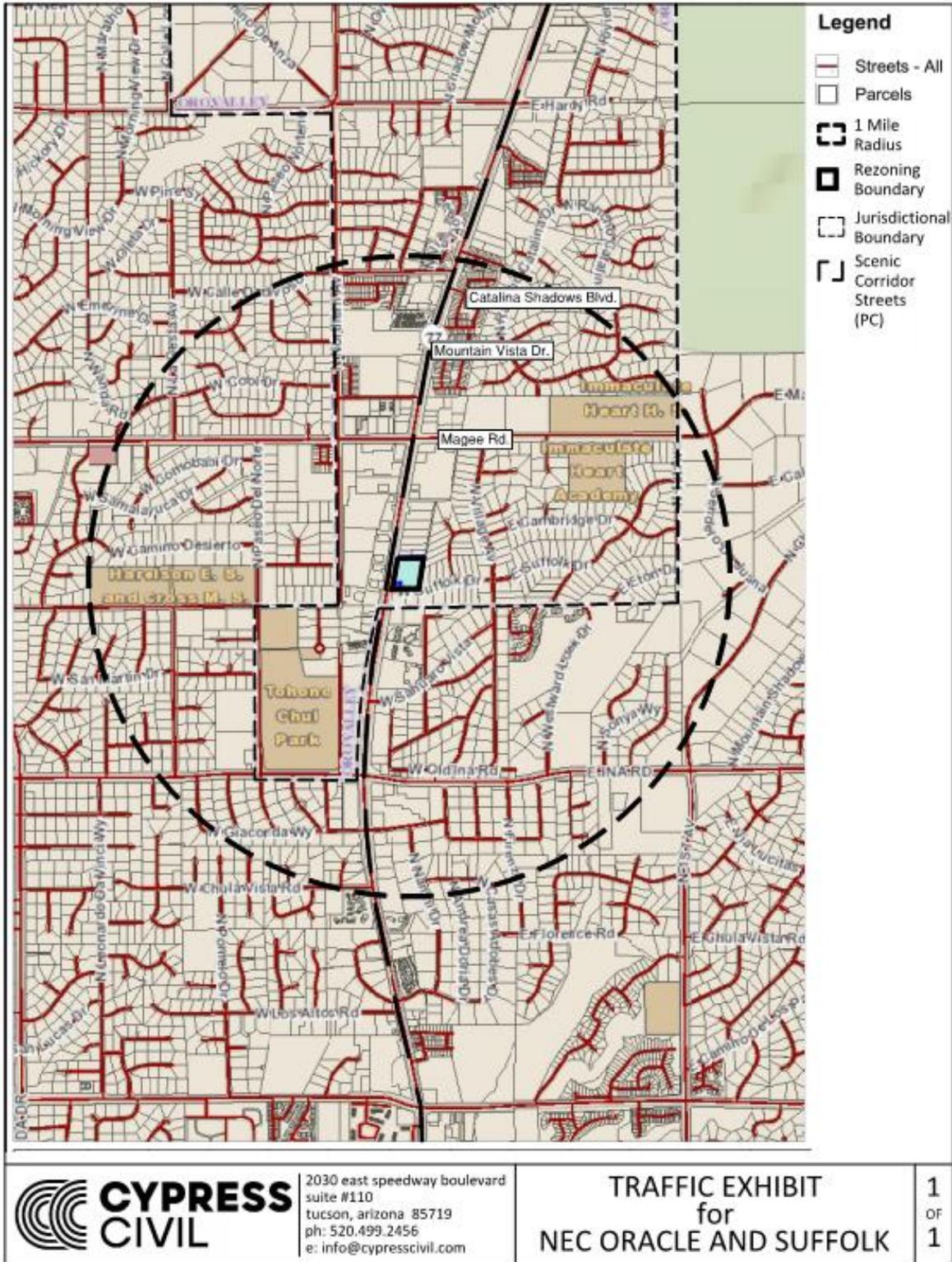
- SR 77/Magee Road
- SR 77/Suffolk Drive
- SR 77/Ina Road

Each intersection is maintained by ADOT and is signalized.

x. Existing Bicycle and Pedestrian Ways Adjacent to the Site and Their Connection with Arterial Streets, Parks and Schools

All the roadways described in the Roadway Inventory table are bike routes. There are no sidewalks on the segments of SR 77 and Suffolk Drive that are adjacent to the Rezoning Parcels. There are no schools in the immediate vicinity. The nearest school is Harrelson Elementary, which is about ½ mile west of the project. The closest recreational area is the Coronado National Forest, which is approximately two miles northeast of the Rezoning Parcels.

Exhibit I.9.A: Traffic



10. Recreation and Trails

A. Trails, Parks and Recreation Areas within One (1) Mile

The Town of Oro Valley boasts of a dynamic trail system for hikers, bikers, inline skaters, runners, equestrians and other users. It is comprised of several types of surfaces, including paved paths (shared use paths), “smooth” trails, and more “primitive” trails. The Town is responsible for approximately 30 miles of the trails within Town limits. Sixty-four percent of the trail system is on private land and 86 percent of Oro Valley Trail System consists of Shared-Use trails. Other existing trails may fall under the jurisdiction of an HOA or private developer.

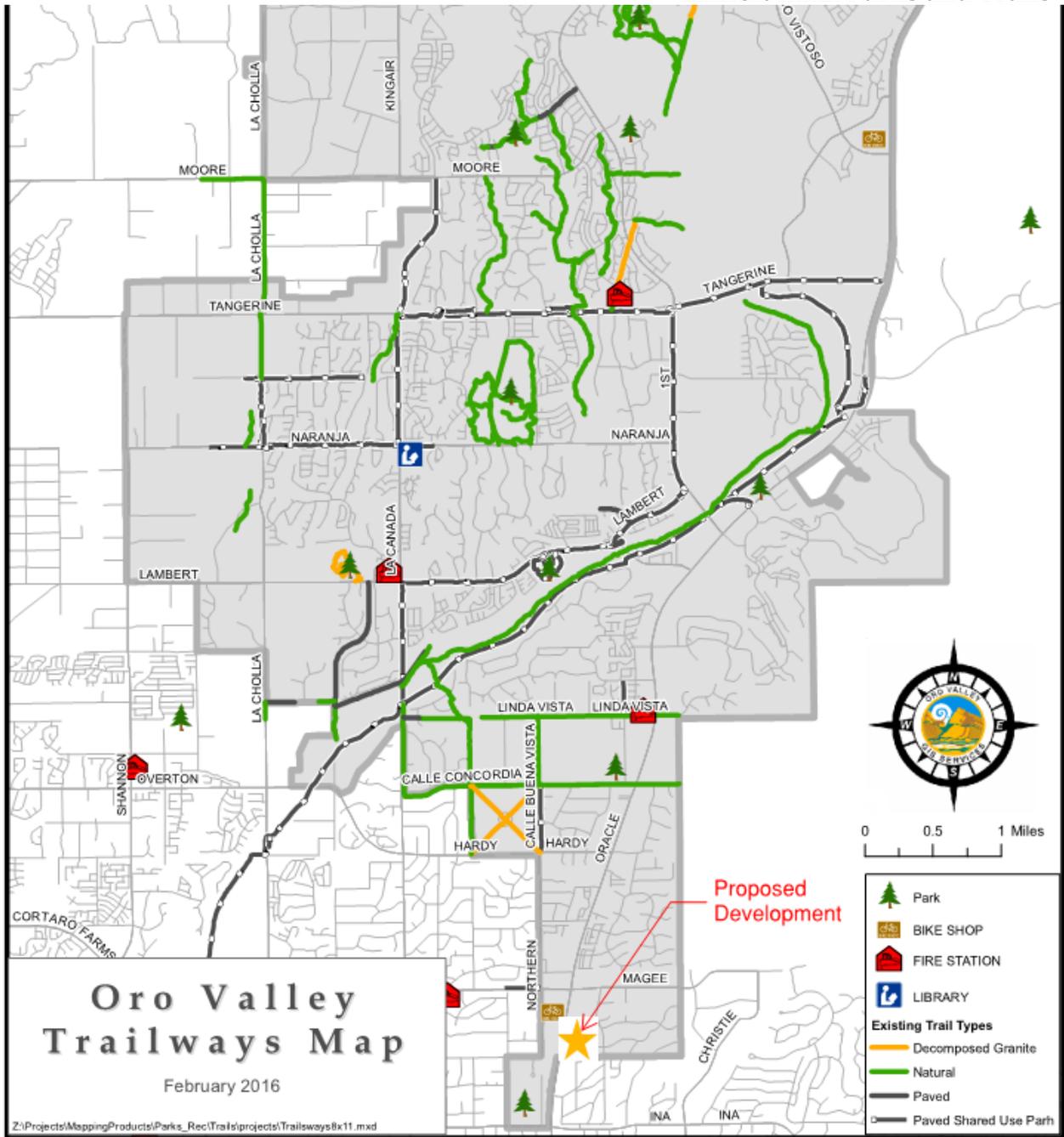
According to the Town of Oro Valley Trails Map, within one mile of of the Rezoning Parcels are the following trails, parks and recreation areas:

- Paved Shared Use path at Magee Rd. & Northern Ave.
- Tohono Chul Park

B. Acreage of Parks and Recreation Areas

The Tohono Chul Park (meaning Desert Corner) is approximately one mile in driving distance to the Southwest of the Rezoning Parcels (see *Exhibit I.10.B: Trails, Parks and Recreation Areas Within One Mile*). The 49-acre park embraces the beauty of the Sonoran Desert while infusing nature, art and culture within the park. Awarded “One of the Worlds Ten Best Botanical Gardens”, by Travel +Leisure Magazine. The Park boasts of several trails, botanical gardens and exhibits, as well as a bistro and souvenir shops.

Exhibit II.I.1: Parks and Trails



11. Schools

A. Existing and Proposed Schools within One (1) Mile

This section does not apply to commercial developments.

B. Existing and Proposed Schools Serving the Site Not within One (1) Mile

This section does not apply to commercial developments.

12. Water

A. Contact Person for Water Service Provider

Table I.12.A: Water Service Provider Contact information

| | |
|----------|--|
| Name: | Tucson Water - Ray Munoz |
| Address: | 201 North Stone Avenue, 2nd Floor Tucson, Arizona 85701 |
| Phone: | 520-837-2207 |

B. Domestic Water Supply if Not Within a Defined Water Service Area

The Rezoning Parcels are located within the defined Water Service Area of Tucson Water.

13. Sewers

A. Location of Existing Public Sewer

Public Sewer at the Rezoning Parcels is owned by the Pima County Regional Wastewater Reclamation Department. There is an existing 8” VCP sewer main located in the Suffolk Drive right-of-way immediately south of the Future Development, which serves the existing office development that is part of the Rezoning Parcels. There is also an existing 8” VCP sewer main in the public alley immediately east of the Future Development.

Exhibit I.13.A.1: RWRD & Water Capacity Letter

JACKSON JENKINS
DIRECTOR



PH: (520) 724-6500
FAX: (520) 724-9635

June 8, 2020

Theresa Hadley
CYPRESS CIVIL DEVELOPMENT, LLC
2030 E SPEEDWAY BOULEVARD, SUITE 110
Tucson, Arizona 85719

Capacity Response No. P20WC00116 Type II

RE: **NEC Oracle Road & Suffolk Drive, Parcels 22551018A, 225514720
Estimated Flow 16,775 gpd (ADWF).**

Greetings:

The above referenced project is tributary to the Tres Rios Wastewater Reclamation Facility via the Canada Del Oro Interceptor

Capacity is currently available for a project this size in the public sewer S-125, downstream from manhole 8662-02.

This letter is not a reservation or commitment of treatment or conveyance capacity for this project. It is not an approval of point and method of connection. It is an analysis of the system as of this date. Allocation of capacity is made by the Type III Capacity Response.

If further information is needed, please feel free to contact us at (520) 724-6488.

Reviewed by: Mirela Hromatka, Planner Sr.



July 8, 2020

Cypress Civil Development
2030 E. Speedway Blvd #110
Tucson, AZ 85710

Attn: Theresa Hadley

**SUBJECT: Water Availability for Project: NEC Oracle Rd & Suffolk Dr., APN: 22551018A,
Case #: WA3164, T-12 R-13 S-36, Lots: 9999, Location Code: ORO, Total Area: 4.70ac, Zoning: R-S**

WATER SUPPLY

Tucson Water will provide water service to this project based on the subject zoning of the above parcels. Tucson Water has an assured water supply (AWS) designated from the State of Arizona Department of Water Resources (ADWR). An AWS designation means Tucson Water has met the criteria established by ADWR for demonstration of a 100-year water supply - it does not mean that water service is currently available to the subject project.

WATER SERVICE

The approval of water meter applications is subject to the current availability of water service at the time an application is received. The developer shall be required to submit a water master plan identifying, but not limited to: 1) Water Use; 2) Fire Flow Requirements; 3) Offsite/Onsite Water Facilities; 4) Loops and Proposed Connection Points to Existing Water System; and 5) Easements/Common Areas.

Any specific area plan fees, protected main/facility fees and/or other needed facilities' cost, are to be paid by the developer. If the existing water system is not capable of meeting the requirements of the proposed development, the developer shall be financially responsible for modifying or enhancing the existing water system to meet those needs.

This letter shall be null and void two years from the date of issuance.

Issuance of this letter is not to be construed as agency approval of a water plan or as containing construction review comments relative to conflicts with existing water lines and the proposed development.

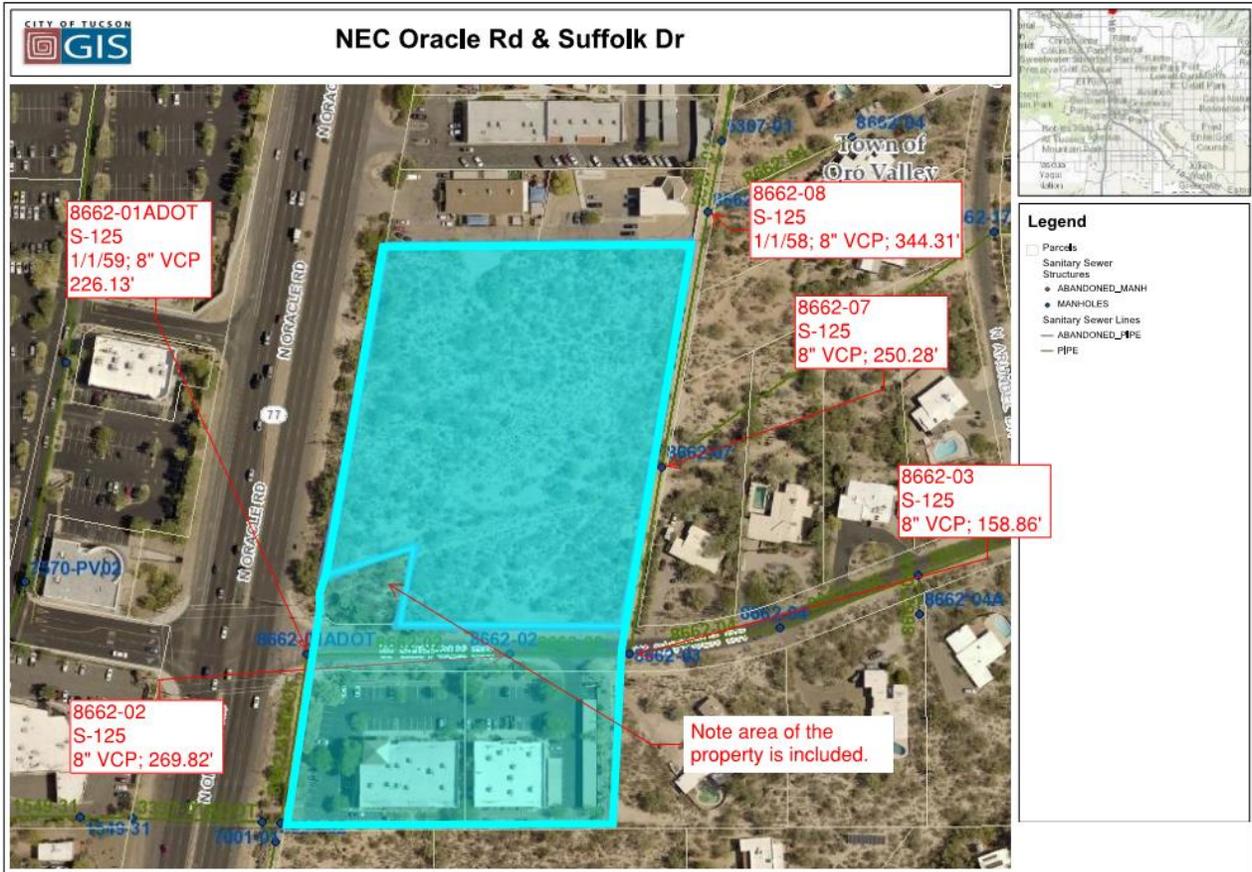
If you have any questions, please call New Development at 791-4718.

Michael Mourreale, P.E.
Engineering Manager
Tucson Water Department

MM:ka
cc: 22551018A.docx

P.O. Box 27210 • Tucson, AZ 85726-7210
520.791.4718 • tucsonaz.gov/water   

Exhibit I.13.A.2: Existing Public Sewers



14. McHarg Composite Map

A. Composite Map

Below you will find the McHarg Composite Map, which per the Town requirements combine the topography, hydrology, vegetation, wildlife and views (not applicable) in *Exhibit I.14.A*. This exhibit shows the overlap and/or interaction of the following spatial characteristics.

Topography: Note: There are none of these features on the Rezoning Parcels.

- A. *"Hillside Natural Areas"*
- B. *Rock outcrops*
- C. *Slopes equal or greater than 15%*

Hydrology:

- i. *100-year floodplains with discharge equal or greater than 50 cfs.*
- ii. *Areas of sheet flooding deeper than one (1) foot*
- iii. *Federally mapped floodways and floodplains*

Vegetation:

- i. *Areas of medium and high vegetation density*
- ii. *Federally listed Threatened or Endangered Species*
- iii. *Saguaros and other visually prominent cacti*
- iv. *Areas where vegetation facilitates soil stabilization*

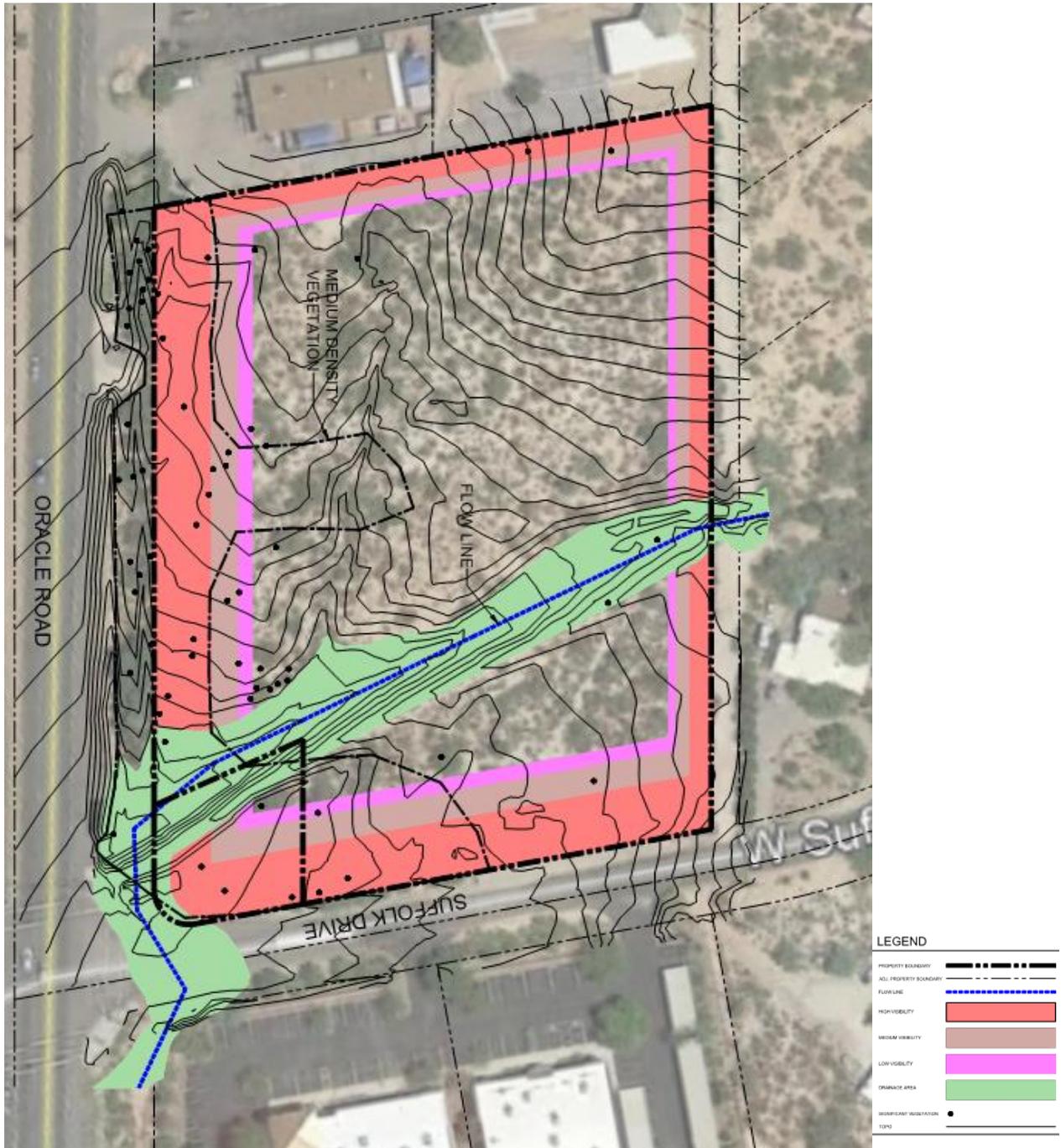
Wildlife:

- i. *Wildlife habitat as identified in Oro Valley Zoning Code Revised Section 27.4*

Viewsheds:

- i. *Areas on-site that are highly visible from off-site locations.*

Exhibit I.14.A: McHarg Composite Map



Part II – Land Use Proposal

1. Project Overview

A. Tentative Development Plan

This rezoning request to C-1 (from R-S) and concurrent Conditional Use Permit (CUP) request is to develop an infill, commercial/retail project that is complimentary to the surrounding area and appropriate along the established retail business Highway 77 (Oracle Rd). The Rezoning Parcels include approximately 6.69 acres at the northeast and southwest corners of Oracle and Suffolk. The two parcels on the southeast corner (225-51-0190, 225-51-0200) are already developed, and there are no current plans to modify the uses or the buildings. The Future Development portion of the Rezoning Parcels is north of Suffolk and is envisioned as a combination of retail, restaurant and office/ medical retail businesses. The development team is working with the Suffolk Hills Property Association leadership to mitigate concerns about the Future Development for their neighborhood to the east.

i. Proposed Land Use, Principal and Accessory Uses, Square Footage, Height and Floor Area Ratio (FAR)

The Future Development is intended to be a mix of full-service restaurant, retail and medical/office. The current Future Development vision is a total of five buildings to include three retail/restaurant buildings along Oracle Road – approximately 2,600 SF, 3,500 SF and 8,750 SF multi-tenant buildings - all in Phase 1, and an approximately 4,000 SF and 6,500 SF buildings in Phase 2 (the “Project”). A Conditional Use Permit is being processed concurrently for the drive-thru restaurant located in the far southwest corner of the Future Development – over 250 feet from the neighborhood on the east.

The height permitted in C-1 is 25 feet. The proposed heights of the buildings will be meet the required code heights, plus the parapets and screening for mechanical equipment. We’ve designed the site with the required setbacks to building height requirements as shown in the plans. The buildings on the east could be 2-story office buildings at 25 feet but have not been designed. Note that if any building is over 16.6 feet high, the setback to the east will be over 50 feet at a 3:1 ratio of setback to building height.

The Floor Area Ratio for the Future Development is .12.

The portion of the Rezoning Parcels south of Suffolk is already existing with an office and bank use.

ii. Conformity with General Plan and the General Plan Future Land Use Map

The proposed rezoning is in conformance with Your Voice, Our Future. The existing land use designation for the Rezoning Parcels is Residential Service District (RS). The proposed C-1 rezoning and Conditional Use Permit is consistent with the existing uses along Oracle Rd. According to “Your Voice, Our Future”, the existing general plan land use designation for the property is NCO (Neighborhood Commercial/ Office), which is intended for commercial and office designations with good access to major roadways. NCO includes C-N (Neighborhood Commercial) and C-1 (Commercial).

- iii. *Proposed Flexible Development Provisions or Conservation Subdivision Design*
The proposed tentative development plan meets all Oro Valley development regulations. This proposal is for a commercial development. No requested flexible design options are requested as there is no ESOS present.

B. General Plan Future Land Use Designations

As noted above, this proposed rezoning to C-1 is in conformance with the current General Plan. The General Plan designates C-1 within the Related Zoning Designations on page 49 of the General Plan. A Conditional Use Permit (CUP) will be processed concurrently with this application for the drive thru. *Exhibit I.1.C.ii: General Plan Land Use Designations.*

C. Proposed Land Uses, Principal and Accessory Uses

As shown on *Exhibit II.1.A: Tentative Development Plan*, the Future Development proposes a neighborhood commercial retail center consisting of retail, restaurant, medical and other office uses and medical retail. The restaurant and retail is focused closer to Oracle Road with the office uses most likely on the eastern portion. All of these uses conform to the C-1 zoning proposal. The portion of the Rezoning Parcels south of Suffolk are already developed with an office and banking use.

D. Proposed buildings

The Future Development is proposed with five buildings. Three are located closer to Oracle and are being marketed for the retail/restaurant uses. Two are located more to the east and will most likely be constructed in a second phase. Although the specific uses for each building are not determined, each building will conform to the height, setback, use and other Town Code requirements.

The portion of the Rezoning Parcels south of Suffolk are already developed as a single-story office and bank use. No changes are currently proposed to that portion of the Rezoning Parcels.

2. Existing Land Uses

A. Zoning and Existing Land Uses on Adjacent Properties

Zoning of surrounding properties is depicted in Exhibit I.1.C.i in Part 1 - Inventory and Analysis and includes:

North: Child Care Facility – Zoned R-S

South: Vacant, Pima Pain Medical Center - County T-R, CR-1, CB-1

East: Single Family Residential Suffolk Hills– Zoned R1-36

West: Oracle Crossings Retail Center – Zoned C-2

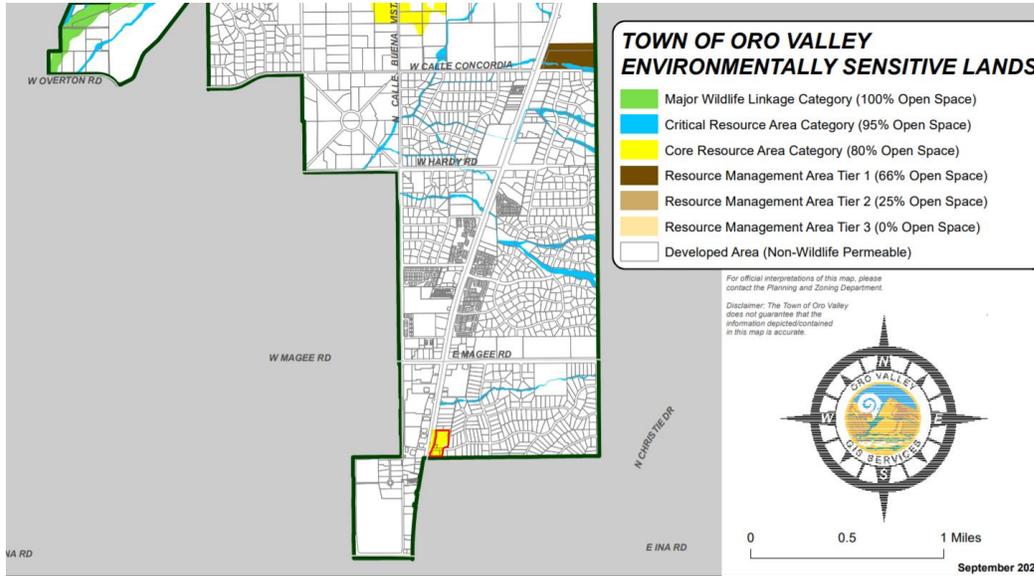
B. Effect of Proposed Development on Existing Land Uses On-site and Off-site

The majority of the property along Highway 77 (Oracle Rd.) has been developed and is predominantly commercial retail centers, smaller retail, and office. Residential uses are located in this area generally further west and east of Oracle Road with the commercial/office uses buffering those residential uses from Oracle Road. This rezoning request is consistent with the surrounding development, the Town's general plan and acknowledges the appropriate uses along Oracle Road. The portion of the Rezoning Parcel south of Suffolk will remain office and bank use with no proposed changes to uses or building. The Future Development is currently vacant and is proposed for development as part of the rezoning. The Future Development will conform to the Town codes as to handling the native vegetation, water harvesting and other Town requirements for development including setbacks, heights and uses in C-1.

The development team is working with the leadership of the Suffolk Hills Property Association to incorporate conditions of the rezoning that will assist in mitigating concerns such as noise, traffic, light, architectural compatibility, etc. Although this has not been finalized and we are in the middle of discussions with the Association. Once discussions are finalized, we will include the mitigation measurements in our Conditions of Approval. Also, please refer to the Public Outreach Plan that is part of this application for more detail.

3. Environmentally Sensitive Lands

According to the Town of Oro Valley Environmentally Sensitive Lands Map, the Rezoning Parcels are mapped but shown classified as a developed area (non-wildlife permeable).



4. Topography

A. Tentative Development Plan’s Response to Site Topography

The Tentative Development Plan shows the Future Development layout overlaid with the existing topography. The Future Development follows existing grades as close as possible. There will be cut and fill in order to level the site for the building pad areas. It is not anticipated that any significant retaining elements will be needed for development. The after-condition of the Future Development will still slope generally east to west.

B. Areas of Encroachment onto Slopes

There are no slopes on the that require a Sloped Area Analysis per the Hillside Area requirements in Section 27.10.D.3.g.ii. Therefore, there is no encroachment into Slope Area Analysis areas.

C. “Hillside Conservation Areas”

There are no Hillside Conservation Areas.

D. On-site Grading

The Future Development area is to be fully developed, although in a phased manner as previously explained. The approximate area of disturbance (onsite and offsite) is 4.9 acres (see *Exhibit II.4.D: Preliminary Grading Plan*).

5. Cultural/Archeological/Historic Resources

No treatment plan is recommended. Although it is noted that all ground-disturbing activities have the potential to inadvertently expose human remains and other cultural items. Pursuant to the Arizona Revised Statute 41-865, if human remains, associated funerary objects, unassociated funerary objects, objects of cultural patrimony, or sacred objects are encountered anywhere in the project area during ground-disturbing activities, all such activity shall cease in the area of the discovery and the Director of the Arizona State Museum immediately notified.

6. Hydrology

A. Tentative Development Plan Response to Hydrologic Conditions

Because no modifications are proposed for the portion of the Rezoning Parcels south of Suffolk, this section only addresses the Future Development. In the developed condition, the offsite watersheds remain primarily unchanged. Offsite flow entering the site from the northern end of the site will be accepted onto the site and allowed to exit the site unrestricted. Runoff from the south will be accepted onto the site through scuppers and directed to the existing culvert as it currently does. The watercourse that enters the site midway along the eastern boundary will be collected into a 2-cell 8'x5' RCBC with the outlet at the southwest corner of the site where up to 300cfs will flow through the existing box culvert with excess flow overtopping and flowing southward as it currently does as described above.

The proposed onsite runoff will closely match existing conditions. There will be multiple points of discharge along the western property boundary. All runoff will be directed to a detention basin or water-harvesting basin that will be designed to detain runoff such that the outflow is less than or equal to existing conditions runoff. Outflow from these basins will flow to the southwest corner of the site and exit following the current drainage pattern.

In addition to the western detention basins, there will be water harvesting throughout the site. All stormwater will flow through a "first flush" filtering system before exiting the site.

Total developed runoff from the site in the developed condition will be 47.8cfs prior to being detained (*see Exhibit II.6.A: Proposed Conditions Drainage Map*).

Exhibit II.4.D: Proposed Conditions Drainage Map



CYPRESS PROJECT NO: 20.031
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
cypresscivil.com



EXHIBIT ii.6.A
PROPOSED CONDITIONS
DRAINAGE MAP
for SEC ORACLE RD & SUFFOLK DR

B. Substantiate any Modification of Drainage Patterns

Developed runoff from the site remains much like existing conditions. Exit points are at similar locations and detention basins detain the flow to less-than existing conditions. Developed runoff still combines and is conveyed downstream through the existing box culvert that restricts runoff to 300cfs for a 100-year event.

C. Drainage Impact to Off-site Land Uses

Runoff leaving the Future Development maintains existing flow rates, existing flow patterns, and is conveyed downstream through the existing box culvert that restricts runoff to 300cfs for a 100-year event. The 168cfs that overtops Suffolk Drive follows existing patterns southward in the Oracle Road channel.

D. Drainage Mitigation

As a result of the Critical Basin designation for the Future Development Site, the 100-year flood stormwater flows exiting the site in the proposed condition are required to match the existing condition flows, or be reduced by means of detention and/or other rainwater harvesting techniques. This will be achieved by means of stormwater harvesting in landscaped areas as described below and by means of detention basins.

To satisfy detention/retention requirements, multiple (10) detention basins have been incorporated into the drainage scheme. Refer to Proposed Conditions Drainage Map for potential areas where basins will be incorporated. At this stage in analysis it is predicted that 20,400 cubic feet of stormwater storage will be required to reduce developed conditions runoff to less-than existing conditions. Basin size and location are subject to change during the design process. The information is to provide a perception of parameters that may be encountered.

The total site imperviousness in the developed condition has been calculated to be 119,539 sf, representing 61% of the site. In conformance with the Town of Oro Valley's Drainage Criteria Manual and Rainwater Harvesting Plan requirements, the site is required to have 8,100 gallons, or 1082 cubic feet, of available volume for rainwater harvesting purposes (based on the requirement of 3,000 gallons per acre of imperviousness).

This project is also subject to First Flush (FF) requirements. Runoff from the site directed through filtering systems, whether it be through natural vegetation and/or filter systems install at the curb opening(s) and/or catchbasins. The filtering systems

will have oils and other pollutants associated with developed surfaces to be filtered and/or settled out before the stormwater exits the site.

E. Tentative Development Plan Conformance

The Future Development portion of this rezoning conforms to the Town policies and stormwater management plans by:

1. Incorporating detention into the project to reduce stormwater runoff to less than existing conditions to minimize potential for flooding downstream of the site.
2. Providing retention and water harvesting into the development to maintain and preserve natural desert landscape surrounding the site and benefiting the proposed landscape.
3. Incorporate First Flush to minimize pollutants within stormwater improving environmental impacts to floodplains and streams.
4. Erosion Control to dissipate energy and restore stormwater to existing velocities. Riprap fill slopes to protect from erosion and dissipate energy from stormwater runoff.

7. Vegetation

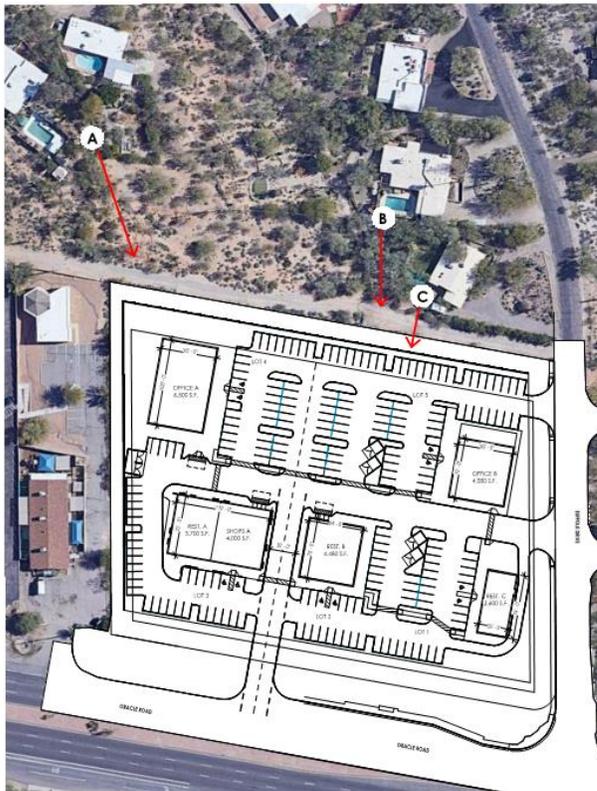
This Future Development site contains significant and native vegetation. Vegetation will be preserved, transplanted or mitigated per Section 27.6.B of the OVZC. The site is estimated to be graded to address site drainage. Vegetation impacted shall be salvaged and or mitigated per OVZC upon project completion. The portion of the Rezoning Parcels south of Suffolk will remain in the current condition with the existing conditions.

8. Wildlife

Per the AZGFD Online Report and Letter, suitable habitat for the Sonoran desert tortoise may be present within the Rezoning Parcels. However, a high level of development exists between the Rezoning Parcels and the and the nearest likely potentially suitable tortoise habitat, located to the east on the slopes of the Santa Catalina Mountains. If a tortoise is encountered while work is being conducted within suitable Sonoran Desert tortoise habitat, construction crews will refer to the *Guidelines for Handling Sonoran Desert Tortoises Encountered on Development Projects* as recommended by the AZGFD. <https://s3.amazonaws.com/azgfd-portal-wordpress/PortallImages/files/wildlife/2014%20Tortoise%20handling%20guidelines.pdf>

9. Viewsheds

Due to the relatively flat character of the Rezoning Parcels, the perimeter areas are the only locations of high visibility from adjacent roadways and properties. The areas of higher vegetations densities along the site perimeter to reduce visibility, into and across the property. Below are snapshots of the renderings and views of the site. Full size renderings have also been provided.



VIEW FROM POINT A



VIEW FROM POINT B



VIEW FROM POINT C



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHEAST CORNER

A. Describe how DP mitigates Impacts to:

- i. As shown on the proposed landscape and site plan, we have designed the proposed plan to mitigate the views from surrounding properties with trash enclosure locations, pick-up/ drop off bays, delivery bays strategically placed as discussed with the City Staff and Association. We also oriented the drive through the furthest away from the residential properties and placed it on the parcel closest to the intersection. We added additional landscape and buffers. We also placed the retail along highway 77 and the proposed office use closer to the residential. We plan to stay within the codes height requirements to stay consistent with the existing surrounding developments.
- ii. Given the existing topography and surrounding views, minimal impact will occur to areas of high visibility.
- iii. The proposed Development Plan grading and site plan diagram the proposed construction and demonstrate the mitigated impact to the existing views, terrain and drainage.

B. Oracle Road Scenic Overlay District (ORSCOD) Additional Information

This section is not applicable per Town of Oro Valley requirements.



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



10. Traffic

A. Traffic Analysis Report

A Traffic Impact Analysis (TIA) report is provided with the rezoning materials. The following provides a summary of required information that is included in the Traffic Impact Analysis. As stated previously, the portion of the Rezoning Parcels south of Suffolk will remain in existing conditions and that traffic is part of the existing traffic system. The recommendations in the TIA are related to the Future Development.

- i. *The proposed internal circulation and access to/from arterial streets, explaining location and rationale for placement.*

There are three access locations shown for the Future Development: one on SR 77 and two on Suffolk Drive. The access on SR 77 is to be right-in, right-out only because of the raised median on SR 77. The east Suffolk Drive access is also to be right-in, right-out only to reduce the impact of the project to the neighborhood to the east. Based on the location of the SR 77 driveway as shown on the site plan, the corner clearance from Suffolk Drive to the driveway on SR 77 is about 325 feet, and the corner clearance from this driveway to the next driveway to the north is about 212 feet.

Based on the location of the driveways on Suffolk Drive, the corner clearance from SR 77 to the west Suffolk Drive is approximately 225 feet. The two Suffolk driveways are spaced about 120 feet apart and are opposite two existing driveways on the south side of Suffolk Drive.

There is a traffic light currently located at Suffolk at SR 77.

- ii. *If off-site road improvements are required, indicate which roads and time frame for improvements.*

As documented in the accompanying TIS, the total new trips generated by the project are 169 trips during the am peak hour, 159 trips during the pm peak hour and 2,282 trips during the day.

The adjacent roadways and roadways within one mile of this project can accommodate the projected traffic from this parcel. The estimated level of service (LOS) D daily capacity of a two-lane roadway like Suffolk Drive is about 10,660 vehicles per day (vpd).

A left turn lane is warranted at the west Suffolk Drive driveway for eastbound access into the project. It may be necessary to construct this lane to less than standard lengths due to the driveway's proximity to the SR 77/Suffolk Drive intersection.

Based on the project northbound right turn volume on SR 77 into the project driveway, a right turn lane on SR 77 will be warranted. ADOT’s turn lane warrant guidelines are based on the projected peak hour right turn volume into a driveway and the through volume on the roadway and are shown below. During both am and peak hours, the northbound volume on SR 77 at Suffolk Drive is expected to be well above 1,400 vehicles per hour (1,558 vph during the am peak hour and 2,599 vph during pm peak hour), and the projected right turning volume into the project will be over 10 vehicles per hour (37 and 50 right turns during the am and pm peak hours, respectively).

The existing northbound right turn lane at the SR 77/Suffolk Drive intersection currently warrants a right turn lane. ADOT has suggested that ADOT, the Town of Oro Valley and the developer should work together on a Joint Project Agreement (JPA) to determine responsibilities for constructing the turn lane.

ADOT has also requested that the southbound left turn lane at SR 77/Suffolk Drive be extended to meet ADOT minimum turn lane design standards. ADOT has suggested a JPA for this lane also.

Turn lane design criteria are included in the accompanying TIA.

Right-Turn Lane Warrants

| Peak Hour Traffic Volume on the Highway in Advancing Direction | Minimum Peak Hour Right-turn Traffic Volume | | | | |
|--|---|-----------------------|-----------------------|-----------------------|------------|
| | # of thru lanes per direction | | | | |
| | 1 | | 2 | | 3 |
| | < 45 MPH Posted Speed | ≥ 45 MPH Posted Speed | ≤ 45 MPH Posted Speed | ≥ 45 MPH Posted Speed | All Speeds |
| ≤ 200 | | | | | |
| 201 – 300 | - | 30 | - | - | - |
| 301 – 400 | - | 19 | - | 55 | - |
| 401 – 500 | 85 | 14 | - | 30 | - |
| 501 – 600 | 58 | 12 | 140 | 25 | - |
| 601 – 700 | 27 | 9 | 80 | 18 | - |
| 701 – 800 | 20 | 8 | 53 | 15 | - |
| 801 – 900 | 12 | 7 | 40 | 12 | - |
| 901 – 1000 | 9 | 6 | 30 | 11 | - |
| 1001 – 1100 | 8 | 5 | 23 | 9 | 18 |
| 1101 – 1200 | 7 | 5 | 18 | 8 | 16 |
| 1201 – 1300 | 6 | 4 | 14 | 8 | 15 |
| 1301 – 1400 | 6 | 4 | 11 | 6 | 12 |
| 1400+ | 5 | 3 | 8 | 6 | 10 |

The time frame for improvements should be based on the preparation and acceptance of the development plans for the parcel.

- iii. *Projected ADT for internal circulation system at build out and level of service to all streets. Include a projection of traffic volumes and capacity analysis for intersections.*

The accompanying TIA includes the required information. The analysis results indicate that there are LOS E and LOS F conditions during the morning and afternoon peak hours under existing and future “without project” conditions for some of the turning movements. The addition in site trips for the years 2021 and 2024 will moderately increase vehicle delays at each intersection.

- iv. *Impact to existing development abutting off-site streets*

The impact of the Future Development to existing development is not expected to be substantial. The driveways on Suffolk Drive will be opposite existing driveways for the office building on the south side of Suffolk Drive. The development team is working with the Suffolk Hills Property Association leadership to mitigate traffic going east into the neighborhoods. The location of the driveway on SR 77 will be approximately 220 feet from the next driveway to the north.

- v. *Capacity analyses for proposed internal and off-site streets, including right-of-way and pavement widths, geometrics, design speeds and traffic control improvements needed.*

The preliminary capacity analysis, design speeds and improvements are provided in the TIA. The existing right-of-way and pavement width on Suffolk Drive are documented in the Inventory and Analysis subsection of the rezoning report.

- vi. *A description of improvements required for those streets described in subparagraph v. above.*

The following improvements may be necessary based on the findings in the TIA:

1. SR 77/Suffolk Drive:

- a. Adjust signal timing if needed to optimize safe operating conditions.

Remove split phasing on the east and west approaches, and remove one of the left turn lanes on the west leg of the intersection. Extend the southbound left turn lane to meet ADOT minimum standards. Construct a currently warranted right turn lane on the northbound approach.

2. SR 77/Driveway 1

a. Construct a northbound right turn lane for access into the driveway if found warranted following turn lane warrant analysis at development plan stage. Turn lane design to follow ADOT criteria.

vii. The party/agency suggested that the applicant believes to be responsible for making necessary improvements.

The developer will be required to share in the costs of the recommended improvements.

viii. Evidence that proposed turning movements will meet safety standards in relationship to traffic volumes.

Turn lane queues at the project driveways and at SR 77/Suffolk Drive can be accommodated by the planned or existing turn lane storage lengths. It may be necessary to construct the left turn lane on Suffolk Drive so that it does not conflict with westbound intersection traffic at SR 77/Suffolk Drive. There are no indications that the proposed turning movements will not meet safety standards in relationship to traffic volumes.

B. Describe proposed on-street rights-of-way, including typical roadway section, and indicate proposed ownership.

There are no public roads within the Rezoning Parcels other than the existing Suffolk Drive.

C. Describe proposed bicycle and pedestrian pathways within the development and indicate whether they are connected to external pathways, arterial streets, parks and schools.

The Future Development is designed to permit access for bicycle and pedestrian movements at the proposed driveway locations. Internal pedestrian linkages will be provided through the parking lot as required by Town code. Access to external bicycle and pedestrian linkages are provided to the adjacent roadways.

11. Recreation/Trails

A. Access to off-site Trails

As shown on the Future Development plans, there will be clear pedestrian access and paths of travel to offsite walks which then follow the existing sidewalks along the existing streets.

B. Ownership of Natural and Modified Open Space

Natural and modified open space within the development will be owned and maintained by the property owner through a cohesive management association for the Future Development.

12. Schools

A. Number of Students Generated by Rezoning

This Future Development will not generate students; it is commercial and has no residential component.

B. Remaining Capacity in Schools

This Future Development will not affect school capacity.

C. School Capacity Letter

A school capacity letter is not required for the Future Development.

13. Water

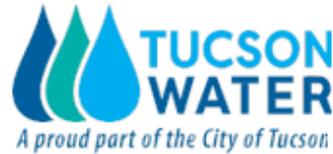
A. Demand Generated from Rezoning

The Future Development will generate domestic water demand for the proposed five (5) office/ medical/ restaurant/retail buildings and that required to facilitate fire flow. The Future Development will require a new public water main looped through the site and low water-use, drought tolerant landscaping, irrigated to maximize efficient water use onsite.

B. Assured Water Supply Letter

An assured water supply letter from the City of Tucson Water is inserted into this document on the following page. It discusses the utility's ability to provide water to the property, conditions under which capacity will be provided and the process and submittal requirements for obtaining water service.

Exhibit II.13.B: Assured Water Supply Letter



July 8, 2020

Cypress Civil Development
2030 E. Speedway Blvd #110
Tucson, AZ 85710

Attn: Theresa Hadley

**SUBJECT: Water Availability for Project: NEC Oracle Rd & Suffolk Dr., APN: 22551018A,
Case #: WA3164, T-12 R-13 S-36, Lots: 9999, Location Code: ORO, Total Area: 4.70ac, Zoning: R-S**

WATER SUPPLY

Tucson Water will provide water service to this project based on the subject zoning of the above parcels. Tucson Water has an assured water supply (AWS) designated from the State of Arizona Department of Water Resources (ADWR). An AWS designation means Tucson Water has met the criteria established by ADWR for demonstration of a 100-year water supply - it does not mean that water service is currently available to the subject project.

WATER SERVICE

The approval of water meter applications is subject to the current availability of water service at the time an application is received. The developer shall be required to submit a water master plan identifying, but not limited to: 1) Water Use; 2) Fire Flow Requirements; 3) Offsite/Onsite Water Facilities; 4) Loops and Proposed Connection Points to Existing Water System; and 5) Easements/Common Areas.

Any specific area plan fees, protected main/facility fees and/or other needed facilities' cost, are to be paid by the developer. *If the existing water system is not capable of meeting the requirements of the proposed development, the developer shall be financially responsible for modifying or enhancing the existing water system to meet those needs.*

This letter shall be null and void two years from the date of issuance.

Issuance of this letter is not to be construed as agency approval of a water plan or as containing construction review comments relative to conflicts with existing water lines and the proposed development.

If you have any questions, please call New Development at 791-4718.

Michael Mourreale, P.E.
Engineering Manager
Tucson Water Department

July 8, 2020

Cypress Civil Development
2030 E. Speedway Blvd #110
Tucson, AZ 85710



Attn: Theresa Hadley

SUBJECT: Water Availability for Project: NEC Suffolk Dr & Oracle Rd., APN: 225514720 Case #: WA3165, T-12 R-13 S-36, Lots: 9999, Location Code: ORO, Total Area: .20ac, Zoning: R-S

Tucson Water is unable to provide water service to this parcel due to the fact that it does not conform to the requirements of the Tucson Water Service Area Policy. Please contact the Arizona Corporation Commission at 520-628-6550 for information regarding other potential water sources. If you have any questions, please call New Development at 520-791-4718

Sincerely,

A handwritten signature in blue ink that reads "Michael Mourreale".

Michael Mourreale, P.E.
Engineering Manager
Tucson Water Department

MM:ka
CC: 225514720.docx

14. Sewer

A. Sewer Service

There is an existing 8" VCP sewer main located in the Suffolk Drive right-of-way immediately south of the Future Development. There is also an existing 8" VCP sewer main in the public alley immediately east of the site. It is anticipated that the proposed development will connect to the existing public main in Suffolk Drive via a new 6" or 8" private sewer main that will serve the site.

B. RWRD Capacity & Service Letter

See *Exhibit II.14.B: RWRD Capacity & Service Letter*.

15. Buffer Yards

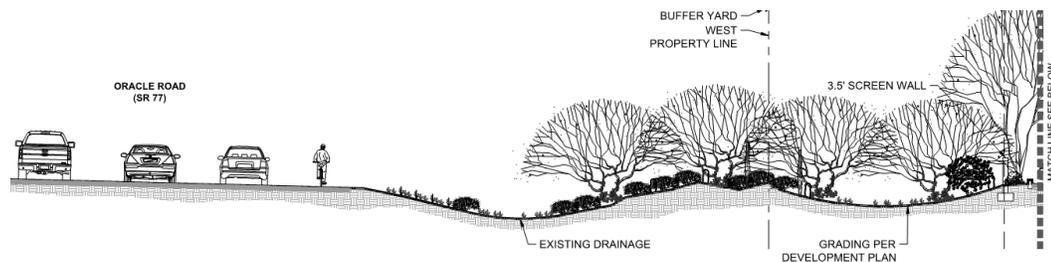
A. Techniques for Mitigating Sound, Visibility, Exterior Lighting and Traffic

Buffer yards will be constructed, at a minimum, to Town of Oro Valley standards and requirements. The preservation in place of vegetation on the eastern and northern property boundaries will be utilized as natural landscape buffers where feasible within the grading scheme. The western and southern property boundary will be re-vegetated and work in cohesive efforts in the drainage scheme. The development team is working with the Suffolk Hills Property Association leadership on the location and species of vegetation in the eastern buffer and potential enhancements to that buffer yard approach.

B. Buffer yard Cross Sections

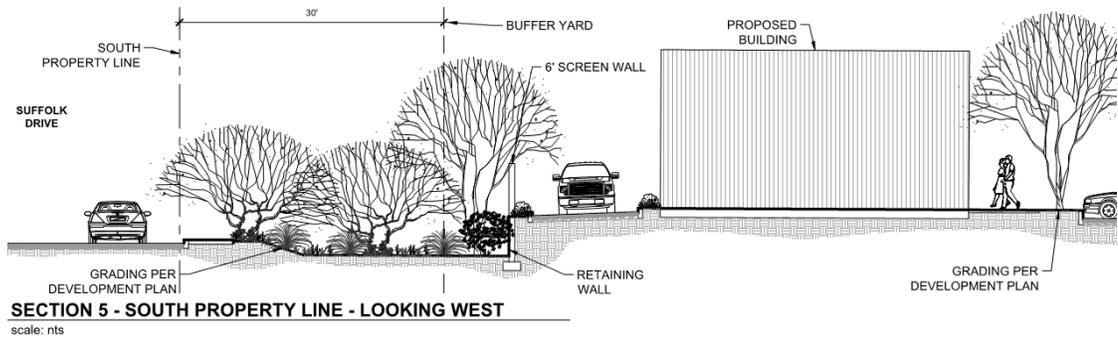
Buffer yard widths for the Future Development varies across the proposed development depending on location, street frontages, and or adjacent uses. Widths will meet, and in some cases exceed Town standards. Parking and PAAL areas will be screened by a minimum 42" wall to prevent the trespass of car headlights. The drive thru will have the required screening per Town code, including the 6-foot wall along Oracle and Suffolk. Below are exhibits taken from the Buffer Yard plans provided in the resubmittal. The plans show wall heights at the property, including eastern edge. Based on the plans provided in 2nd submittal, below is the bufferyard distances and wall heights.

- North – 15' bufferyard w/ 5' screen wall
- East – 20' bufferyard w/ 5' screen wall
- South – 30' bufferyard w/ 6' screen wall at drive-thru
- West – 30' bufferyard w/ 3.5' screen wall



SECTION 3 - WEST PROPERTY LINE - LOOKING NORTH

scale: nts



Buffer yard plantings will consist of plants native to the Sonoran Desert and may include species such as Ironwood, Mesquite, Ash, Agave, Ocotillo, and Saguaro. The buffer yards will be composed through the use of an upper level or tree level, a middle shrub level and a groundcover level. The upper level will be comprised of species that grow between fifteen and thirty feet tall when fully grown. The shrub level will be comprised of species that grow between three feet and fifteen feet when fully grown and the groundcover plane will be less than three feet tall. All set back requirements will minimally meet Town of Oro Valley standards.