

DEVELOPMENT PLAN
FOR
EXTRA SPACE – ORO VALLEY
2402615

GENERAL NOTES:

1. THE ADMINISTRATIVE/SITE ADDRESS IS 8710 N ORACLE RD.
2. ASSESSOR'S PARCEL NUMBER(S) 225-14-169A, -166D, -166E.
3. THE AREA OF THE SITE IS 9.05 ACRES.
THE AREA OF DISTURBANCE IS 228,648 S.F. (5.24 ACRES)(SWPPP IS REQUIRED).
4. THE MAXIMUM FLOOR AREA RATIO IS 0.25.
THE PROPOSED FLOOR AREA RATIO IS 0.23.
5. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
6. THIS SITE IS SUBJECT TO REZONING FROM C-2 TO PAD 20 (CASE #2202429 & 2300553).
7. ASSURANCES FOR WATER SERVICES, SITE STABILIZATION, AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES:

8. EXISTING ZONING IS EXTRA SPACE STORAGE PLANNED AREA DEVELOPMENT.
PROPOSED ZONING IS EXTRA SPACE STORAGE PLANNED AREA DEVELOPMENT.
9. HEIGHT
MAXIMUM PERMITTED: 30'
MAXIMUM PROPOSED: 29.5'
10. THE PROPERTY IS SUBJECT TO THE ORACLE ROAD SCENIC CORRIDOR DISTRICT (ORSCD) OVERLAY ZONE.
11. THE PROJECT MEETS THE CRITERIA OUTLINED IN SECTION 27.10, ENVIRONMENTALLY SENSITIVE LANDS (ESL), OF THE ORO VALLEY ZONING CODE REVISED (OVZCR). ALL LOTS ARE DESIGNED TO COMPLY WITH THIS REGULATION.
12. THIS PROJECT WILL BE COMPLETED IN 1 PHASE.
13. OPEN SPACE
TOTAL REQUIRED: 39,933 SF
TOTAL PROVIDED: 71,563 SF
14. LANDSCAPED COMMON AREAS:
TOTAL PROVIDED: 41,852 SF
15.

LANDSCAPE BUFFERYARDS	
FRONT	30'
SIDE	15'
NORTHEAST	15'

16. BUILDING SETBACK
PER PAD-20, THE AVERAGE FRONT SETBACK OF 120' IS USED FOR THIS PROJECT
FRONT (ORACLE ROAD SCENIC PRESERVATION) = 300'
SIDE AND REAR: 50' OR 3 X 29.5' = 88.5'
MULTIFAMILY RESIDENTIAL OR NON-RESIDENTIAL = 25'
17. VEHICLE SPACES
TOTAL REQUIRED: 1 SPACE/50 UNITS X 400 UNITS = 8 SPACES
REGULAR PARKING PROVIDED: = 7 SPACES
ACCESSIBLE PARKING REQUIRED: = 1 SPACE
ACCESSIBLE PARKING PROVIDED: = 1 SPACE
RV PARKING PROVIDED = 68 SPACES
ACCESSIBLE RV PARKING REQUIRED: = 3 SPACES
ACCESSIBLE RV PARKING PROVIDED: = 3 SPACES
BICYCLE PARKING REQUIRED (SECTION 27.7.F): 1 SPACE/20 REQ'D PARKING (2 MIN) = 2 SPACES
BICYCLE PARKING PROVIDED: = 2 SPACES
18. ALL PROPOSED OPEN SPACE WILL BE MAINTAINED BY THE OWNER OF THE PROPERTY.
19. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEERING NOTES:

20. THE DESIGN SPEED FOR THE PARKING LOT WILL BE 10 MPH.
21. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
22. BASIS OF BEARING: ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SECTION 25, TOWNSHIP 12, RANGE 13 EAST BEING S89°22'07"W WITH A DISTANCE OF 2749.28 FEET
23. BASIS OF ELEVATION: PCDOT CONTROL POINT "12S13E_R23" BEING A "X" IN CONCRETE OF AN ELECTRIC TRANSFORMER, SOUTH OF CIRCLE K AT 8280 N ORACLE RD. SAID ELEVATION BEING 2638.02 (NAVD88)
24. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF ROADWAY SURFACE.
25. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

DRAINAGE GENERAL NOTES:

26. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. PARCELS AFFECTED BY REGULATORY FLOODPLAIN MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER, IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
27. DRAINAGE MUST BE COLLECTED AND RELEASED FROM THE A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
28. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH AND FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
29. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
30. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENT, OR PARKING AREAS.
31. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
32. THE SUBJECT PROPERTY IS AFFECTED BY THE TOWN OF ORO VALLEY FLOODPLAIN REGULATIONS.
33. A FLOODPLAIN USE PERMIT AND/OR FINISHED FLOOR ELEVATION CERTIFICATES ARE REQUIRED FOR THIS LOT.

OWNER/DEVELOPER
EXTRA SPACE STORAGE
2795 E COTTONWOOD PKWY
SALT LAKE CITY, UT 84121
CONTACT: CLINT KLEPPE
PHONE: (480) 266-5263
EMAIL: CKLEPPE@EXTRASPACE.COM

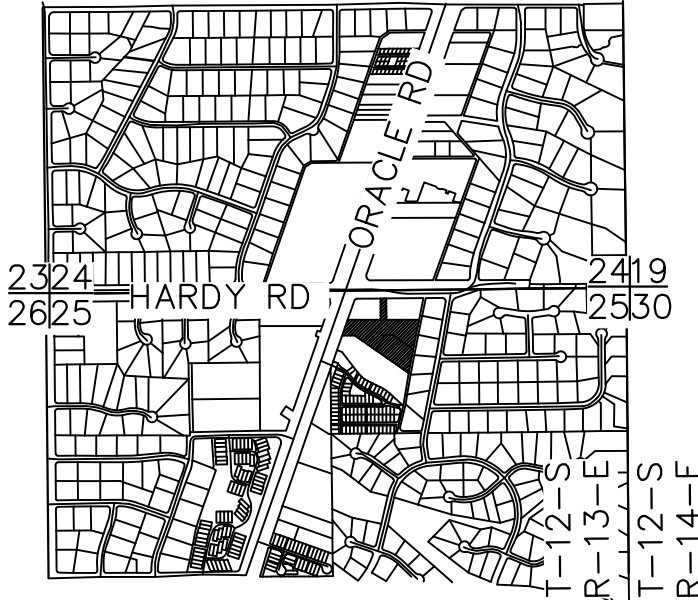
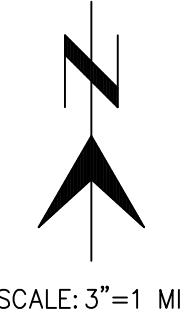
ARCHITECT
ARC SERVICES, INC.
14010 N SUSSEX PL
FOUNTAIN HILLS, AZ 85268
CONTACT: PHILIP GOLLON
PHONE: (480) 837-0761
EMAIL: PGOLLON@ARCSERVICESINC.COM

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
3300 E SUNRISE DR, SUITE 130
TUCSON, AZ 85718
CONTACT: CHRIS LEON, PE
PHONE: (520) 615-9181
EMAIL: CHRIS.LEON@KIMLEY-HORN.COM
REG. NUMBER: 73340

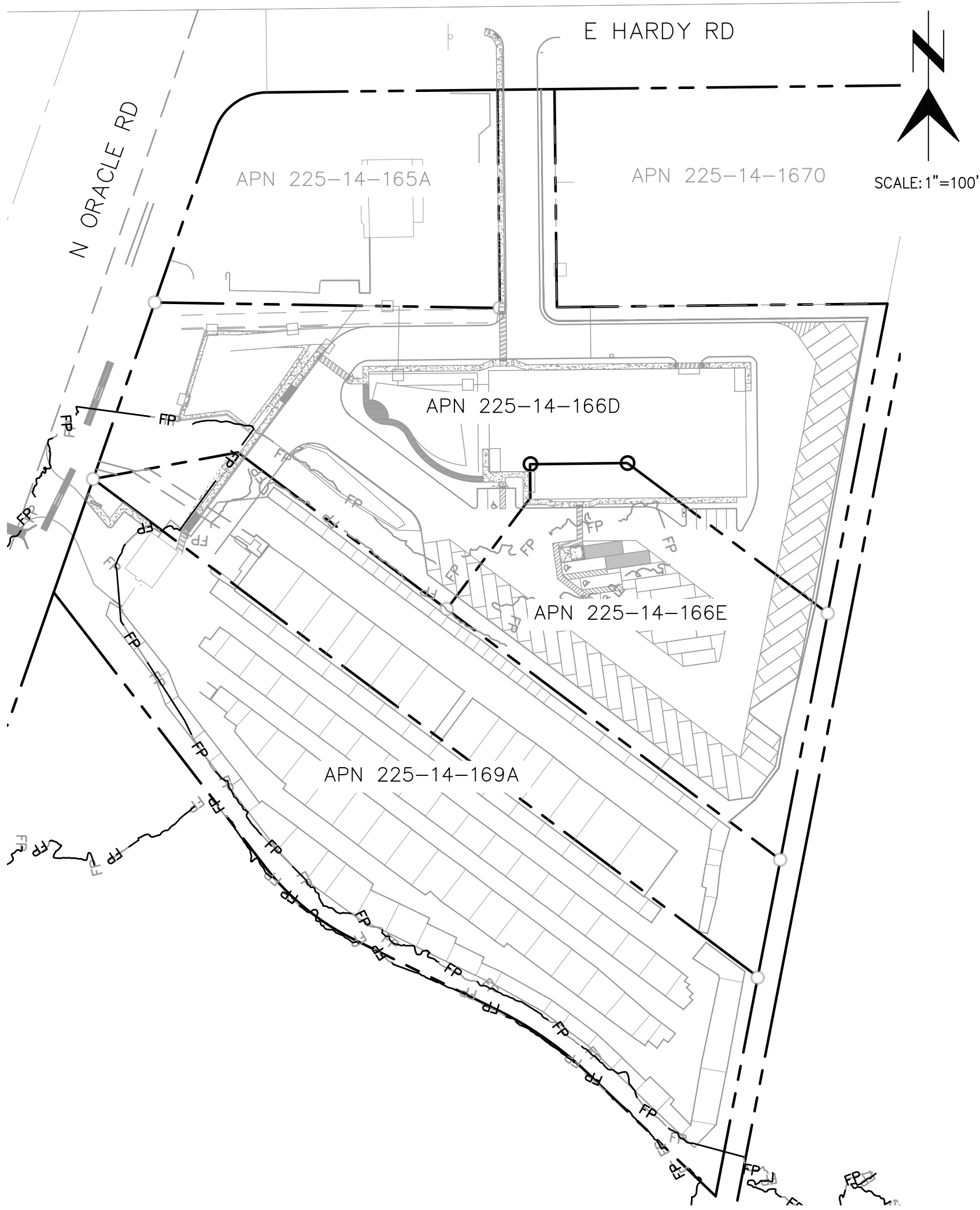
GEOTECHNICAL ENGINEER
NINYO & MOORE
1991 E AJO WAY, STE 145
TUCSON, AZ 85713
CONTACT: MAREK KASZALSKI, PE
PHONE: (520) 577-7500
EMAIL: NMINQUIRES@NINYOANDMOORE.COM
REG. NUMBER: 44704

LAND SURVEYOR
ATWELL, LLC
4700 E SOUTHERN AVE
MESA, AZ 85206
CONTACT: JAMES SPRING, RLS
PHONE: (480) 218-8831
REG. NUMBER: 22282

LANDSCAPE ARCHITECT
GRS LANDSCAPE ARCHITECTS, LLC
35974 S DESERT SUN DR
TUCSON, AZ 85739
CONTACT: GREG SHINN, RLA
PHONE: (520) 909-4678
EMAIL: GREGS@GRSLANDSCAPEARCHITECTS.COM
REG. NUMBER: 50732



LOCATION MAP
SECTION 25
T12S R13E, G&SRB&M
CITY OF TUCSON, AZ
SCALE: 3"=1 MI



Sheet List Table	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	OVERALL SITE PLAN
04	SITE PLAN
05	SITE PLAN
06	GRADING PLAN
07	GRADING PLAN
08	UTILITY SHEET
09	DETAIL SHEET
10	DETAIL SHEET
11	DETAIL SHEET

LEGEND

---	EXISTING SITE
---	PROPERTY BOUNDARY
---	EX FLOODPLAIN
FP	PROP FLOODPLAIN
W	EXISTING WATER LINE
E	EXISTING ELECTRIC LINE
F	EXISTING FIRE LINE
G	EXISTING GAS LINE
S	EXISTING SEWER LINE
W	PROPOSED WATER LINE
E	PROPOSED ELECTRIC LINE
F	PROPOSED FIRE LINE
G	PROPOSED GAS LINE
S	PROPOSED SEWER LINE
■■■■■■■■■■	ZONING BOUNDARY
▨	PROPOSED STRIPING
▨	EXISTING STRIPING
▨	PROPOSED SIDEWALK
▨	EXISTING SIDEWALK
XX	EXISTING GRADE
XX	EDGE OF PAVEMENT
XX	GRADE
XX	FINISHED GRADE
XX	FLOW LINE GRADE
XX	BOTTOM OF WALL GRADE
XX	TOP OF WALL GRADE
XX	SLOPE ARROW
●	BASIS OF ELEVATION

APPROVAL BLOCK	
TOWN ENGINEER _____	DATE _____
PLANNING AND ZONING ADMINISTRATOR _____	DATE _____
<i>Chris Q. Leon</i> WATER UTILITY DIRECTOR	10/08/2025 DATE



CUT/FILL:
CUT: 12,049 CY
FILL: 3,662 CY
NET: 8,387 CY (CUT)

COVER SHEET	C/I: N/A		CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY
SCALE: N/A			EXTRA SPACE STORAGE FACILITY 0814
Kimley»Horn			ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD
C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9181			REF: CASE #202429, PROJECT #08082, #2402615
PLAN NO.2402615			01 OF 11

UTILITIES NOTE:

- 1. THE WATER PROVIDER FOR THIS DEVELOPMENT IS TUCSON WATER.
- 2. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

GOLDER RANCH FIRE NOTES:

- 3. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
- 4. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
- 5. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
- 6. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
- 7. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

TRAILS NOTES:

- 8. THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN DOES NOT SHOW ANY TRAILS ON OR ADJACENT TO THE DEVELOPMENT SITE.

UNMAPPED EASEMENTS:

NO UNMAPPED EASEMENTS HAVE BEEN IDENTIFIED BY SURVEY FOR THIS PROPERTY.

BUILDING PLAN NOTES:


- 1. THE NEAREST FIRE HYDRANT IS LOCATED WITHIN THE SITE.
- 2. MAIL IS TO BE DELIVERED TO THE EXISTING PARCEL TO THE SOUTH OF THE PROPERTY.
- 3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED FOR THIS PROJECT.


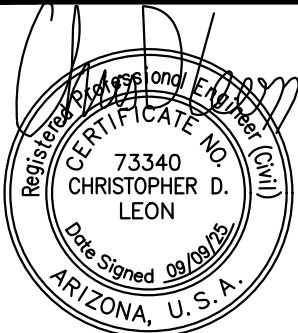
THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

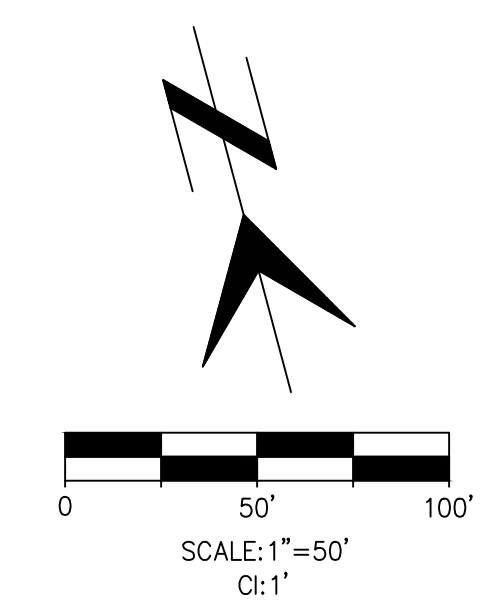
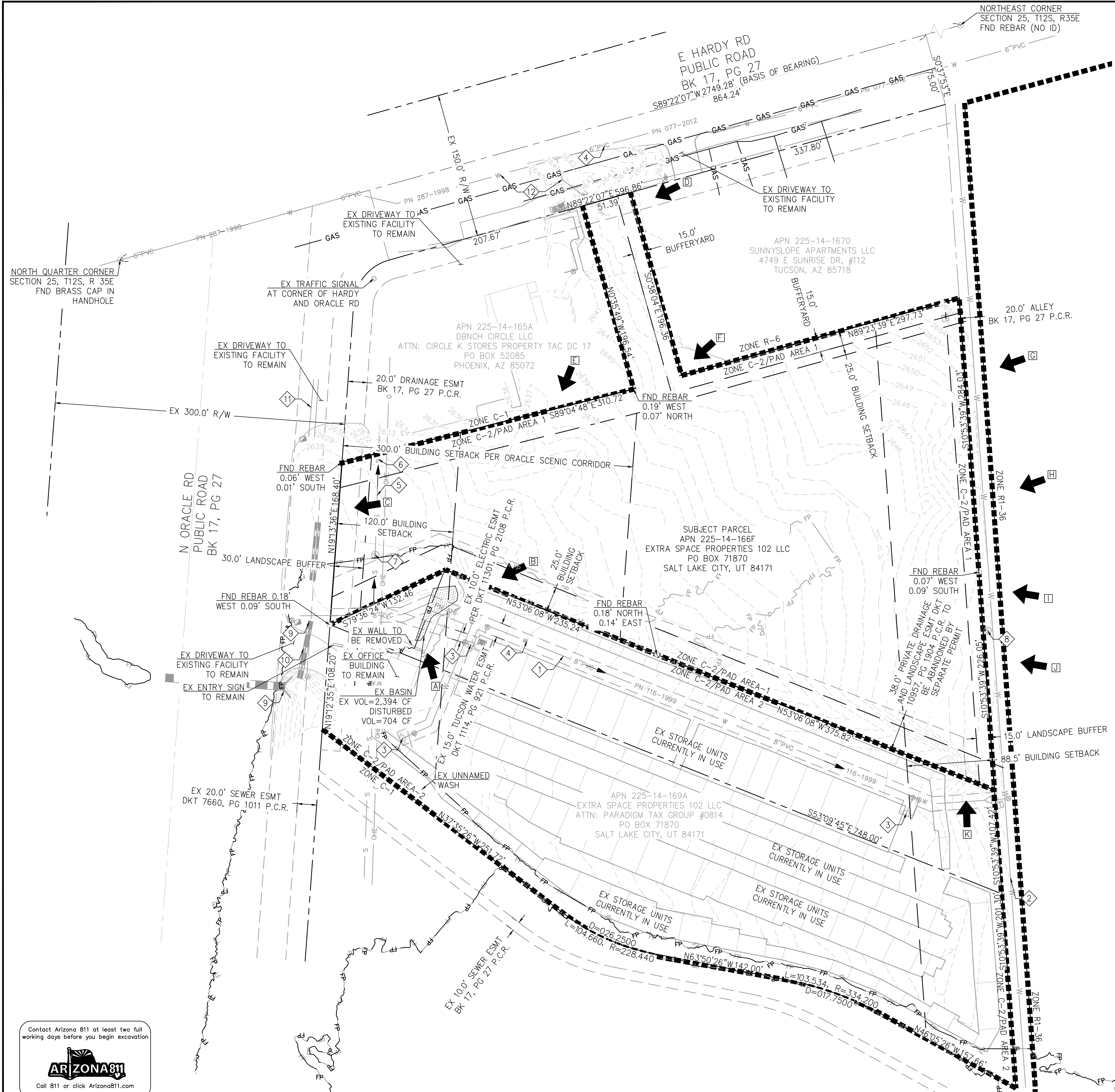
- 1. INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
- 2. NATIONAL ELECTRICAL CODE
- 3. ADA STANDARDS FOR ACCESSIBLE DESIGN
- 4. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- 5. TOWN OF ORO VALLEY POOL CODE
- 6. PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- 7. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 8. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- 9. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- 10. ORO VALLEY TOWN CODE, CURRENT REVISED



Contact Arizona 811 at least two full working days before you begin excavation


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C/I: N/A	
NOTES SHEET	SCALE: N/A
<div> C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191</div>	
	
CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY	
EXTRA SPACE STORAGE FACILITY 0814	
ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD	REF: CASE #2022429, PROJECT #030043, #2402615, #2402615
PLAN NO.2402615	02 OF 11



- LEGEND**
- EXISTING SITE (TO REMAIN)
 - PROPERTY BOUNDARY
 - EXISTING FLOODPLAIN LIMITS
 - PROP FLOODPLAIN LIMITS
 - RIGHT-OF-WAY CENTERLINE
 - RIGHT-OF-WAY
 - ZONING BOUNDARY
 - EXISTING EASEMENT
 - EXISTING TUCSON WATER LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING OVERHEAD TEP
 - ELECTRIC LINE
 - SECTION TIE
 - SET MONUMENT (AS DESCRIBED)
 - EXISTING MONUMENT (AS DESCRIBED)
 - EXISTING FIRE HYDRANT
 - EXISTING LIGHT POLES

- EXISTING UTILITIES**
- 1 EXISTING 8" PVC WATER MAIN (PN 116-1999)
 - 2 EXISTING 6" CA WATER MAIN (PN 012-1979)
 - 3 EXISTING FIRE HYDRANT (TO REMAIN)
 - 4 PROPOSED WATER CONNECTION POINT, SEE SHEET 10 FOR MORE DETAILS
 - 5 EXISTING 8" VCP SEWER MAIN, S=0.34% (S-422)
 - 6 PROPOSED SEWER CONNECTION POINT, SEE SHEET 10 FOR MORE DETAILS
 - 7 EX SEWER MANHOLE #5232-02, INV(SW)=26.71, INV(NE)=17.66
 - 8 EX SEWER MANHOLE #4827-12, INV (S)=42.73, INV (N)=42.73, INV (E)=44.00
 - 9 EX STORM CULVERTS TO REMAIN
 - 10 2-35" CMP STORM PIPES TO REMAIN
 - 11 2-24" CMP STORM PIPES TO REMAIN
 - 12 EX 6" PVC WATER MAIN (PN 287-1998)

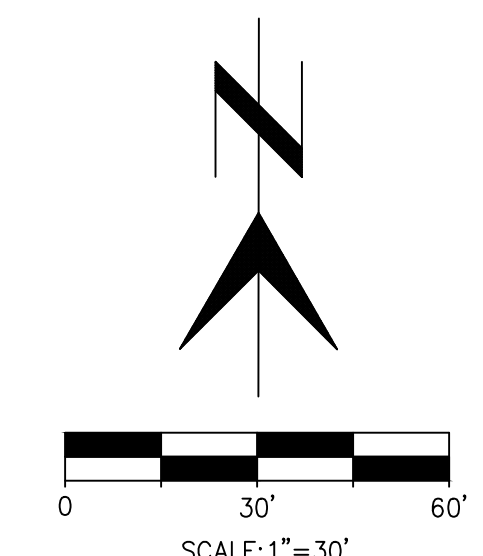
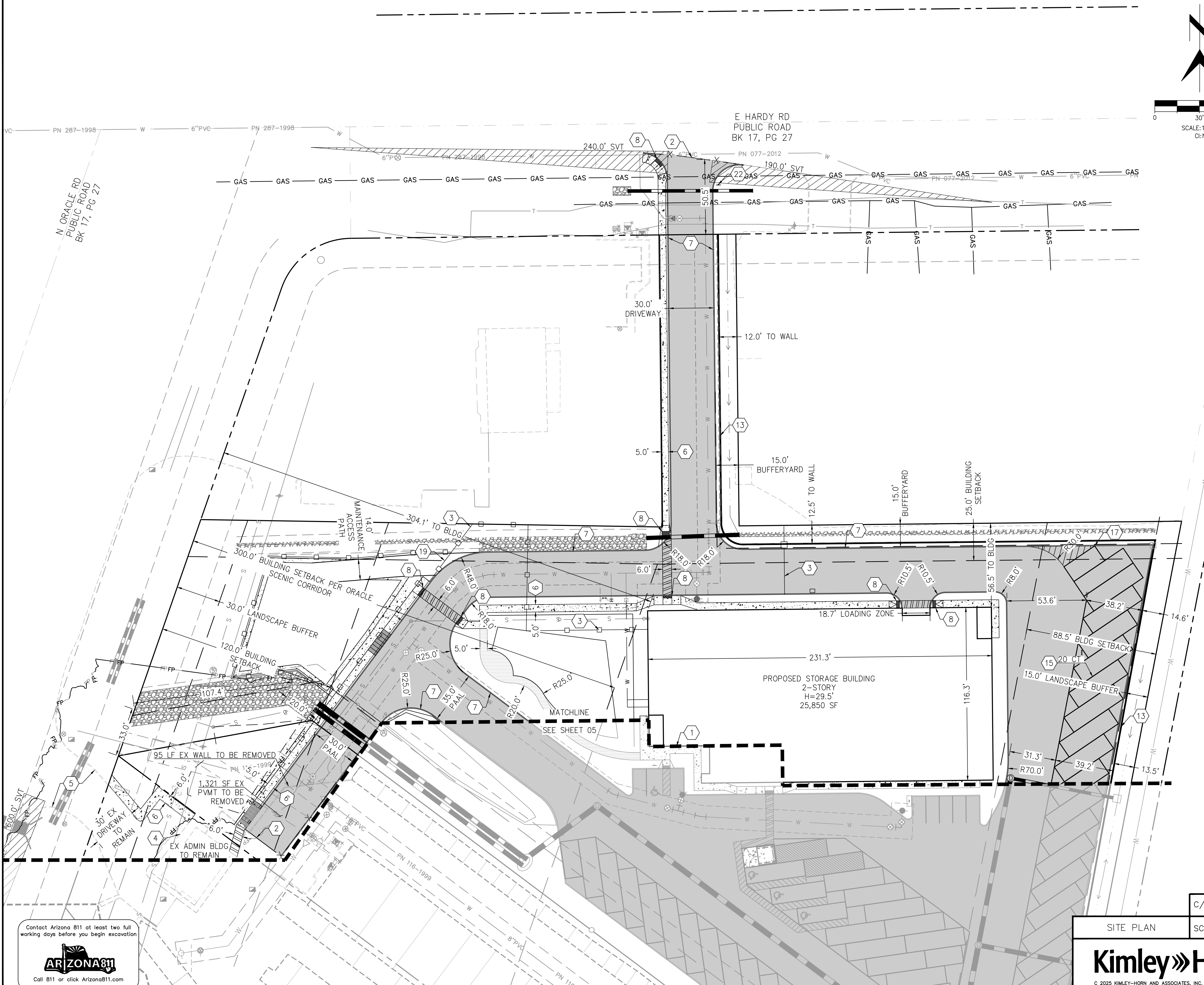
DRAINAGE TABLE		
WATERSHED ID	AREA (AC)	Q ₁₀₀ (CFS)
A	4.4	33
B	3.4	19
C	1.3	8
D	1.3	10
E	0.2	2
F	6.5	49
G	0.7	6
H	3.4	26
I	13.6	80
J	0.5	3
K	1.9	13

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ARIZONA811

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OVERALL SITE PLAN		C/I: N/A
SCALE: 1" = 50'		
Kimley»Horn		
C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191		
CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE - ORO VALLEY		
EXTRA SPACE STORAGE FACILITY 0814		
ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD		REF: CASE #202426 PROJECT #2402615 #2402615
PLAN NO.2402615		03 OF 11



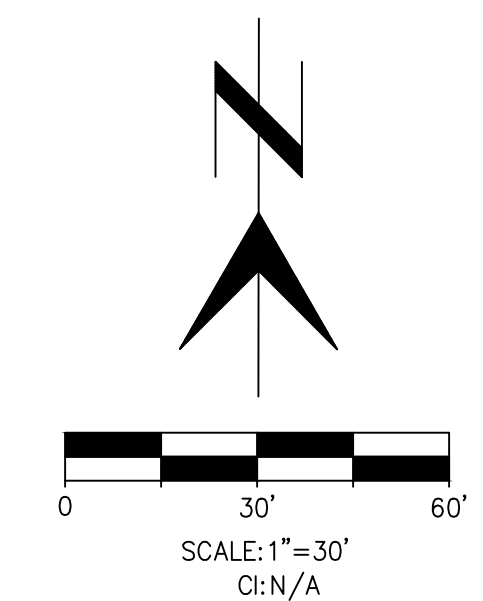
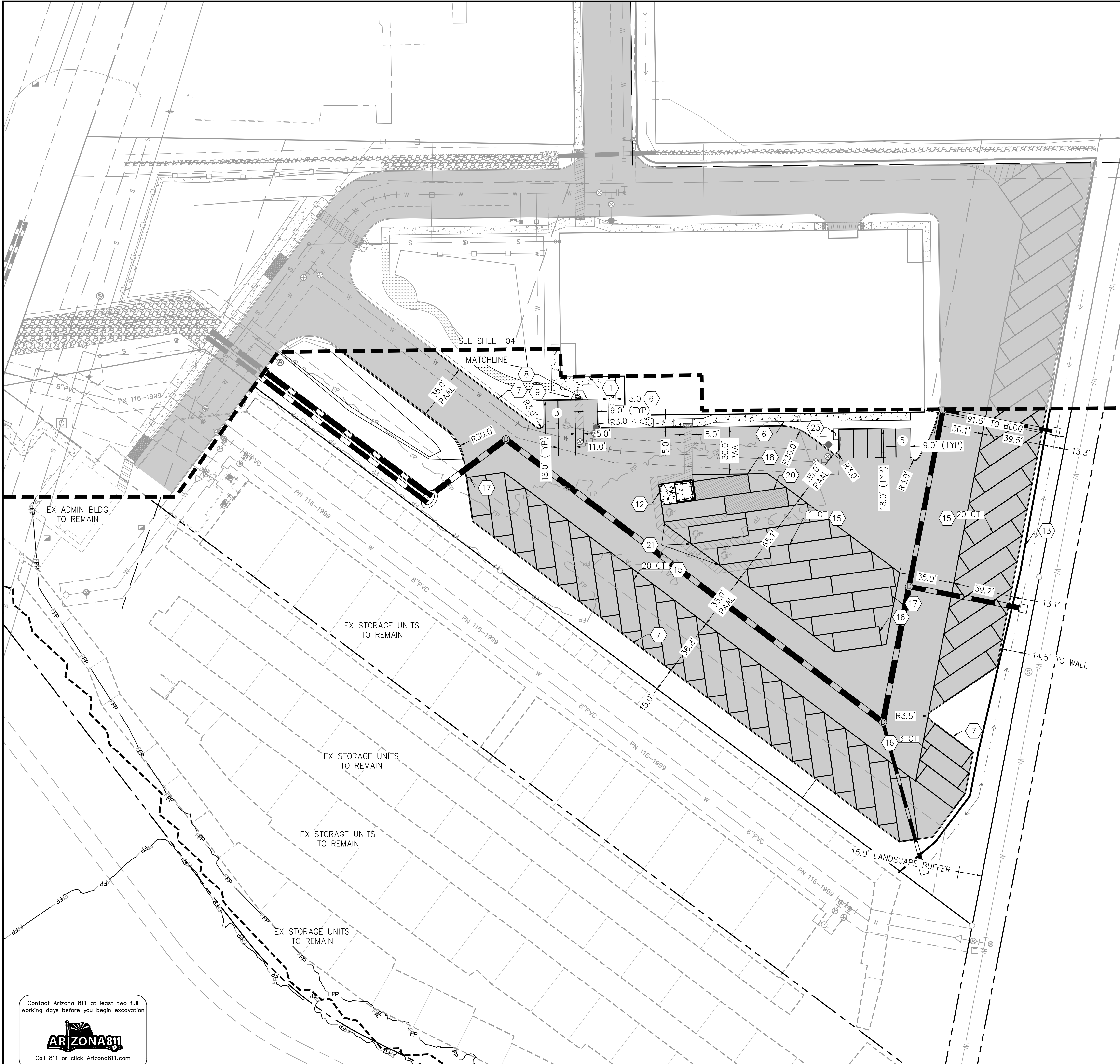
LEGEND	
	EXISTING SITE (TO REMAIN)
	PROPERTY BOUNDARY
	EXISTING FLOODPLAIN LIMITS
	PROP FLOODPLAIN LIMITS
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED STRIPING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT
	PROPOSED GATE
	PROPOSED WALL

- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE
 - 2 2' TRIM, TACK AND JOIN NEW TO EXISTING PAVEMENT AT EXISTING GRADE. (VERIFY EXISTING ELEVATION PRIOR TO START OF CONSTRUCTION)
 - 3 PROPOSED SECURITY GATE AND FENCE, REFER TO BUILDING PLANS FOR MORE DETAILS
 - 4 EXISTING SIDEWALK TO REMAIN
 - 5 EXSTING CURB TO REMAIN
 - 6 CONCRETE SIDEWALK PER PAG SD 200
 - 7 INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
 - 8 PROPOSED CURB ACCESS RAMP PER PAG SD 207
 - 13 PROPOSED SCREEN AND RETAINING WALL (HEIGHT = 14'-ON RV SIDE) -SEE LANDSCAPE ARCHITECTURE PLANS AND BUILDING PLANS FOR MORE DETAILS
 - 15 PROPOSED 12'X40' RV STORAGE SPACES, SEE DETAIL G ON SHEET 09 FOR MORE DETAILS
 - 17 PROPOSED 12'X25' RV STORAGE SPACES, SEE DETAIL I ON SHEET 09 FOR MORE DETAILS
 - 19 PROPOSED MAINTENANCE GATE FOR BASIN, REFER TO BUILDING PLANS FOR MORE DETAILS
 - 22 PROPOSED 'STOP SIGN' (R1-1) MOUNTED IN TYPE B POST BARRICADE PER PAG SD 106

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SITE PLAN	C/I: N/A		CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE - ORO VALLEY
	SCALE: 1" = 30'		
Kimley»Horn <small>C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191</small>			ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD
			REF: <small>CASE #202426 PROJECT #030043 #2402615</small>
			PLAN NO.2402615
			04 OF 11



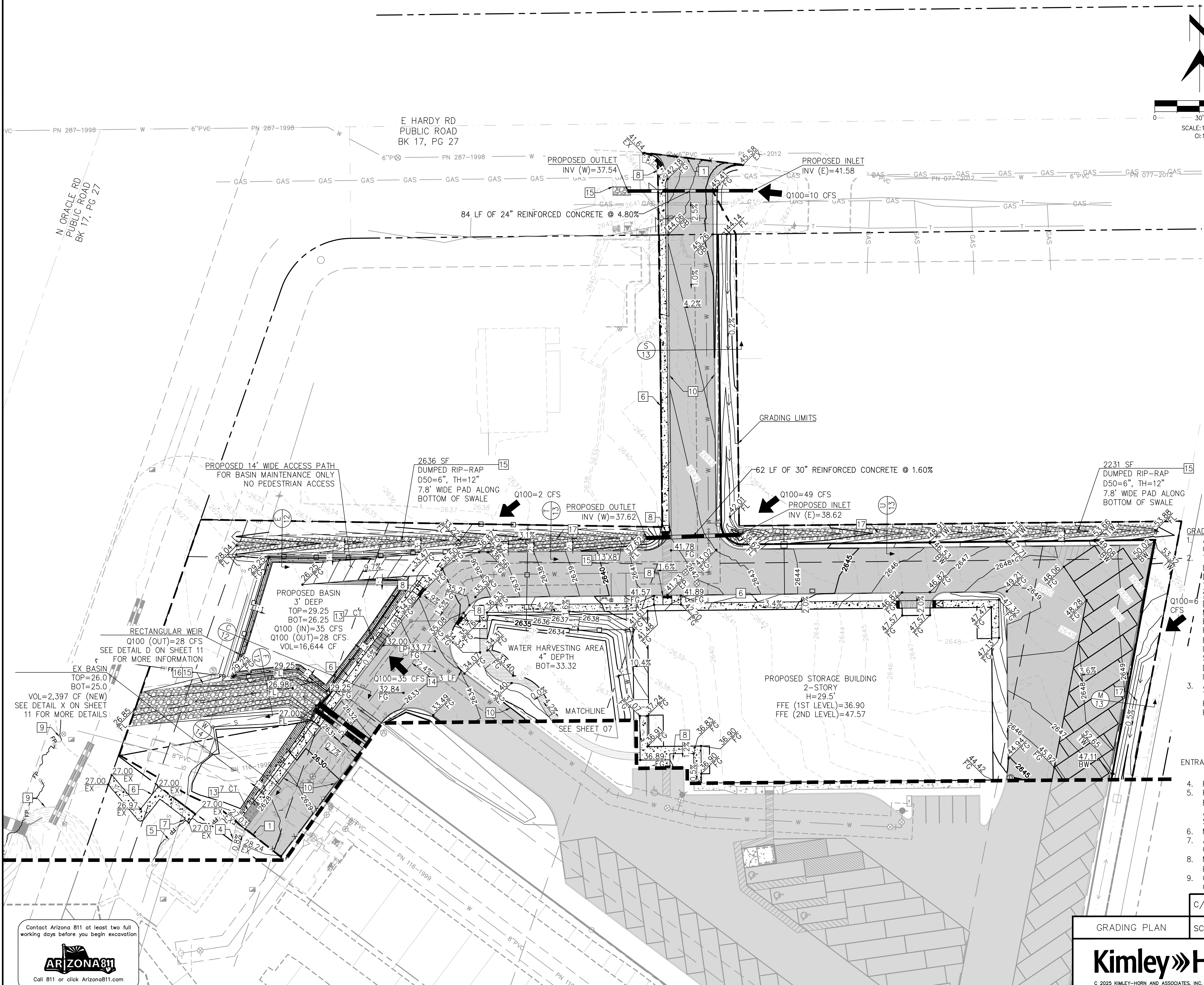
LEGEND	
	EXISTING SITE (TO REMAIN)
	PROPERTY BOUNDARY
	EXISTING FLOODPLAIN LIMITS
	PROP FLOODPLAIN LIMITS
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED STRIPING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT
	PROPOSED GATE
	PROPOSED WALL

- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE
 - 6 CONCRETE SIDEWALK PER PAG SD 200
 - 7 INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
 - 8 PROPOSED CURB ACCESS RAMP PER PAG SD 207
 - 9 ACCESSIBLE PARKING SIGN PER DETAIL J ON SHEET 09 MOUNTED IN TYPE B POST BARRICADE PER PAG SD 106
 - 12 DUMPSTER ENCLOSURE, SEE DETAIL K ON SHEET 09 FOR MORE DETAILS
 - 13 PROPOSED SCREEN AND RETAINING WALL (HEIGHT = 14' ON RV SIDE) -SEE LANDSCAPE ARCHITECTURE PLANS AND BUILDING PLANS FOR MORE DETAILS
 - 15 PROPOSED 12'X40' RV STORAGE SPACES, SEE DETAIL G ON SHEET 09 FOR MORE DETAILS
 - 16 PROPOSED 12'X30' RV STORAGE SPACES, SEE DETAIL H ON SHEET 09 FOR MORE DETAILS
 - 17 PROPOSED 12'X25' RV STORAGE SPACES, SEE DETAIL I ON SHEET 09 FOR MORE DETAILS
 - 18 PROPOSED 12'X35' OFF-STREET LOADING ZONE
 - 20 PROPOSED 12'X40' OFF-STREET LOADING ZONE
 - 21 PROPOSED ACCESSIBLE RV PARKING SPACES, SEE DETAIL S ON SHEET 10 FOR MORE DETAILS
 - 23 SHORT TERM BICYCLE PARKING, PER DETAIL P ON SHEET 10

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C/I: N/A	
SCALE: 1" = 30'	
SITE PLAN	
Kimley»Horn	
C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191	
CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE - ORO VALLEY	
EXTRA SPACE STORAGE FACILITY 0814	
ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD	REF: CASE #2022420 PROJECT #2402615 #2402615
PLAN NO.2402615	05 OF 11



- LEGEND
- EXISTING SITE (TO REMAIN)
 - PROPERTY BOUNDARY
 - EXISTING FLOODPLAIN LIMITS
 - PROP FLOODPLAIN LIMITS
 - STABILIZED SURFACE

- GRADING KEYNOTES
- 2' TRIM, TACK AND JOIN NEW TO EXISTING PAVEMENT AT EXISTING GRADE (VERIFY EXISTING ELEVATION PRIOR TO START OF CONSTRUCTION)
 - IN PEDESTRIAN PATH/CROSS-WALK MAXIMUM CROSS-SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE IS 5.0%
 - EXISTING CONCRETE SIDEWALK TO REMAIN - REPAIR/REPLACE SECTIONS OF CRACKED OR DAMAGED SIDEWALK TO MEET CURRENT STANDARDS
 - CONCRETE SIDEWALK PER PAG SD 200 - ALL PRIVATE PROPERTY SIDEWALK (INCLUDING DRIVEWAYS) TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403 (TYPICAL ALL)
 - CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG SD 203 - MATCH EXISTING SIDEWALK GRADE
 - PROPOSED CURB ACCESS RAMP PER PAG SD 207 (TYPE OR AS SHOWN) WITH TRUNCATED DOMES (TYP)
 - EXISTING CURB TO REMAIN - VERIFY GRADE PRIOR TO START OF CONSTRUCTION
 - INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
 - SIDEWALK SCUPPER (TYPE 2) PER PAG SD 205, REFER TO PLAN FOR COUNT
 - CONCRETE HEADER CURB (WIDTH PER PLAN) PER PAG SD 213 WITH 1' TERMINAL SECTIONS - BOTH SIDES - PER PAG SD 212
 - DUMPED RIP-RAP SPLASH PAD (LENGTH PER PLANS) D50=6", Th=12" W/ FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL)
 - TRAPEZOIDAL DITCH, TOP WIDTH=22', DEPTH=3', SIDE SLOPE=2:1, LONGITUDINAL SLOPE PER PLAN SEE DETAIL B ON SHEET 09 FOR TYPICAL CROSS-SECTION
 - TRIANGULAR DITCH, TOP WIDTH=12', DEPTH=2', SIDE SLOPES=3:1 (UNLESS OTHERWISE NOTED), LONGITUDINAL SLOPE PER PLAN, SEE DETAIL A ON SHEET 09 FOR TYPICAL CROSS-SECTION

GRADING NOTES

- ALL GRADES ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED ON PLANS, ALL GRADES ARE PLUS 2600
- THE WATER HARVESTING AREA SHALL BE DEPRESSED FOUR INCHES BELOW THE LOWEST SURROUNDING GRADE, WITH RUNOFF FROM THE IMPERVIOUS AREA(S) DIRECTED TO THE DEPRESSION. THE DEPRESSIONS SHALL HAVE A MINIMUM OF THREE INCHES OF COMPOST OR COMPARABLE ORGANIC MATERIAL ADDED TO THE SOIL AND TILLED TO A DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE DEPRESSION. AFTER THIS ADDITION, THE BOTTOM OF THE DEPRESSION SHOULD MEET THE AFOREMENTIONED DEPTH REQUIREMENT. THE DEPRESSION SHALL THEN BE PLANTED WITH A VARIETY OF NATIVE PLANTS, INCLUDING TREES, SHRUBS, FORBS, GRASSES, OR WITH OTHER LOW WATER USE PLANTS. THE AREAS ARE TO ENHANCE AND/OR MIMIC THE NATURAL HYDROLOGIC CYCLE PROCESSES OF INFILTRATION, EVAPOTRANSPIRATION, AND USE. ALL LANDSCAPE AREAS NOT SPECIFICALLY CALLED OUT AS WATER HARVESTING BASINS ARE ALSO TO BE DEPRESSED BY 6" WHERE POSSIBLE. THESE ADDITIONAL AREAS ARE NOT INCLUDED IN THE ATTENUATION MODEL FOR RETENTION.
- ALL IMPROVEMENTS SHALL BE COMPLETED IN COMPLIANCE WITH AND ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL ADDENDUMS: PER NINYO & MOORE GEOTECHNICAL REPORT, JOB NO. 607353001, THE FOLLOWING PAVEMENT SECTIONS ARE RECOMMENDED FOR THIS PROJECT:

	ASPHALTIC CONCRETE (IN)	AGGREGATE BASE (IN)
PARKING AREA	2.5	4
ENTRANCE/EXIT DRIVEWAYS	3.5	4

- PER NINYO & MOORE GEOTECHNICAL REPORT, JOB NO. 607353001.
- ROOF DRAIN DOWNSPOUT PER ARCHITECTURAL DRAWINGS - INSTALL SPLASH BLOCK OR 3' ROCK RIP-RAP SPLASH PAD AT OUTLET OF ROOF DRAIN - GRADE AWAY FROM BUILDING FOR A MINIMUM OF 10' TO WATER HARVESTING AREA OR SIDEWALK SCUPPER.
- MATCH EXISTING GRADE 1' INSIDE OF PROPERTY OR EASEMENT LINE.
- AREA GRADED 3% MIN. TO TOP OF CURB, AWAY FROM STRUCTURES, EQUIPMENT OR SIDEWALK.
- MAX CROSS-SLOPE IN PATH/CROSS WALK IS 2.0% MAX LONGITUDINAL-SLOPE IN PEDESTRIAN PATH/CROSS WALK IS 5.0%.
- CONTRACTOR TO VERIFY GRADE, INVERT & LOCATION PRIOR TO START OF CONSTRUCTION.

C/I: 1' SCALE: 1" = 30'

GRADING PLAN

Kimley»Horn

C 2025 KIMLEY-HORN AND ASSOCIATES, INC.
3300 East Sunrise Drive, Suite 130
Tucson, Arizona 85718 (520) 615-9191

CIVIL IMPROVEMENT PLAN FOR
EXTRA SPACE - ORO VALLEY

EXTRA SPACE STORAGE FACILITY 0814

ADMINISTRATIVE ADDRESS:
8710 N ORACLE RD

REF:
CASE #202420
PROJECT #080822
#2402615

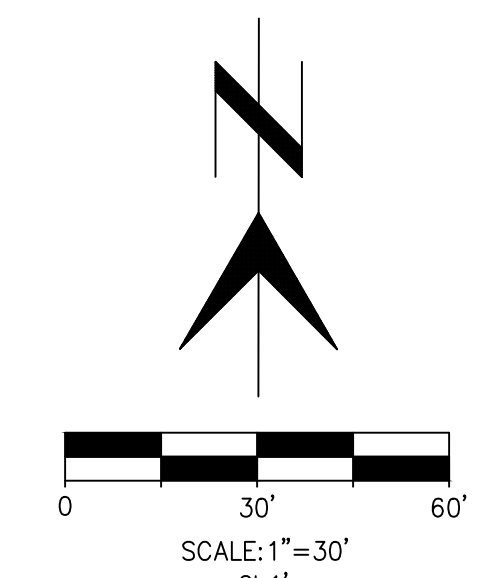
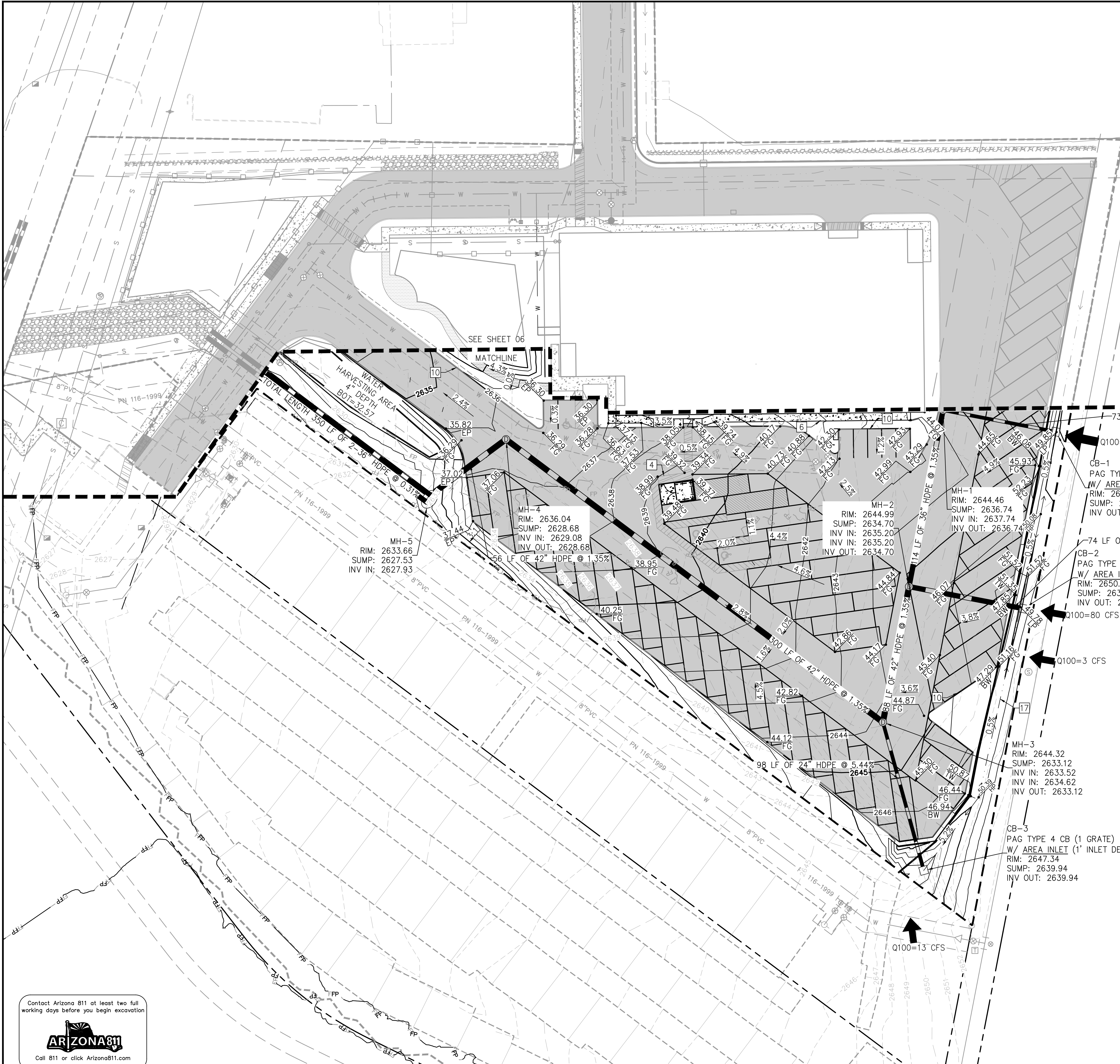
PLAN NO.2402615

06 OF 11

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LEGEND	
	EXISTING SITE (TO REMAIN)
	PROPERTY BOUNDARY
	EXISTING FLOODPLAIN LIMITS
	PROP FLOODPLAIN LIMITS
	STABILIZED SURFACE

- GRADING KEYNOTES**
- 4 IN PEDESTRIAN PATH/CROSS-WALK MAXIMUM CROSS-SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE IS 5.0%
 - 6 CONCRETE SIDEWALK PER PAG SD 200 - ALL PRIVATE PROPERTY SIDEWALK (INCLUDING DRIVEWAYS) TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403 (TYPICAL ALL)
 - 10 INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
 - 17 TRIANGULAR DITCH, TOP WIDTH=12', DEPTH=2', SIDE SLOPES=3:1, LONGITUDINAL SLOPE PER PLAN, SEE DETAIL A ON SHEET 09 FOR TYPICAL CROSS-SECTION

ALL 3 AREA INLETS SHALL BE INSTALLED WITH A 2FT. RIPRAP BORDER TO REDUCE SEDIMENT TRANSPORT INTO THE STORM DRAIN SYSTEM

- GRADING NOTES**
- ALL GRADES ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED ON PLANS, ALL GRADES ARE PLUS 2600
 - THE WATER HARVESTING AREA SHALL BE DEPRESSED FOUR INCHES BELOW THE LOWEST SURROUNDING GRADE, WITH RUNOFF FROM THE IMPERVIOUS AREA(S) DIRECTED TO THE DEPRESSION. THE DEPRESSIONS SHALL HAVE A MINIMUM OF THREE INCHES OF COMPOST OR COMPARABLE ORGANIC MATERIAL ADDED TO THE SOIL AND TILLED TO A DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE DEPRESSION. AFTER THIS ADDITION, THE BOTTOM OF THE DEPRESSION SHOULD MEET THE AFOREMENTIONED DEPTH REQUIREMENT. THE DEPRESSION SHALL THEN BE PLANTED WITH A VARIETY OF NATIVE PLANTS, INCLUDING TREES, SHRUBS, FORBS, GRASSES, OR WITH OTHER LOW WATER USE PLANTS. THE AREAS ARE TO ENHANCE AND/OR MIMIC THE NATURAL HYDROLOGIC CYCLE PROCESSES OF INFILTRATION, EVAPOTRANSPIRATION, AND USE. ALL LANDSCAPE AREAS NOT SPECIFICALLY CALLED OUT AS WATER HARVESTING BASINS ARE ALSO TO BE DEPRESSED BY 6" WHERE POSSIBLE. THESE ADDITIONAL AREAS ARE NOT INCLUDED IN THE ATTENUATION MODEL FOR RETENTION.
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- AREA GRADED 3% MIN. TO TOP OF CURB, AWAY FROM STRUCTURES, EQUIPMENT OR SIDEWALK.
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C/I: 1'
SCALE: 1" = 30'

GRADING PLAN

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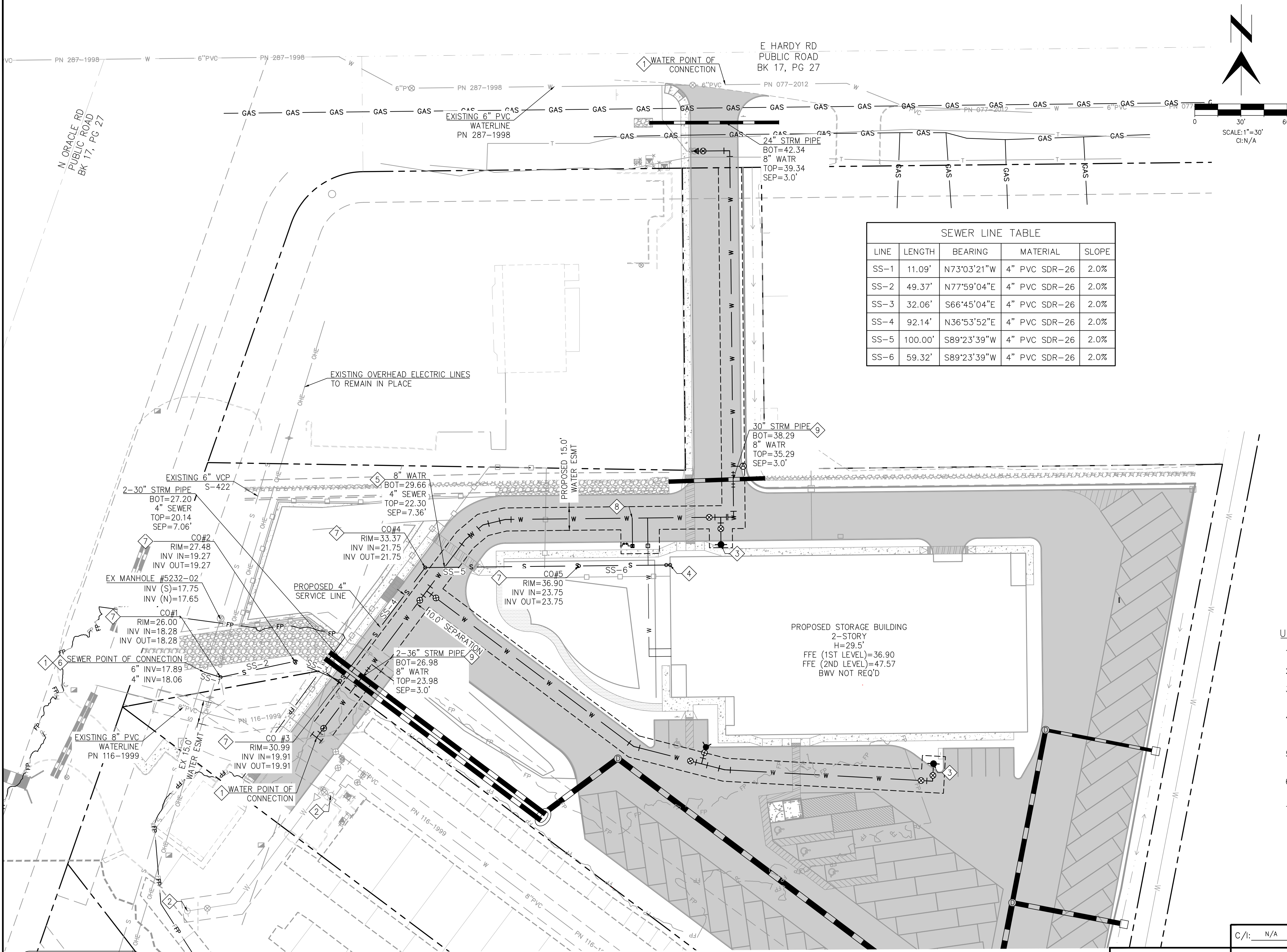
CIVIL IMPROVEMENT PLAN FOR
EXTRA SPACE - ORO VALLEY

EXTRA SPACE STORAGE FACILITY 0814

ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD	REF: CASE #202409, PROJECT #08082, #2402615, #2402615
PLAN NO.2402615	07 OF 11

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LEGEND

- EXISTING SITE (TO REMAIN)
- PROPERTY BOUNDARY
- EXISTING FLOODPLAIN LIMITS
- PROP FLOODPLAIN LIMITS
- RIGHT-OF-WAY
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER METER
- PROPOSED IRRIGATION METER

- UTILITY KEYNOTES
- 1 CONTRACTOR TO VERIFY GRADE, INVERT AND LOCATION PRIOR TO START OF CONSTRUCTION
 - 2 EXISTING FIRE HYDRANT TO REMAIN
 - 3 PROPOSED FIRE HYDRANT, BY SEPARATE PERMIT WITH TUCSON WATER
 - 4 TWO-WAY CLEANOUT @ BUILDING (CONNECT TO BUILDING PER PLUMBING PLANS, MIN 4" COVER)
 - 5 SEWER/WATER CROSSING PER PC RWRD SD 108
 - 6 BCS CONNECTION TO EXISTING SEWER PER PC RWRD SD 401
 - 7 SEWER BCS CLEANOUT PER PC RWRD SD 404 - TYPE 1
 - 8 PROPOSED 1" IRRIGATION METER AND BACKFLOW PREVENTOR, BY SEPARATE PERMIT WITH TUCSON WATER
 - 9 STORM/WATER CROSSING PER TW SD 107

CONTRACTOR TO CONTACT AZ811 PRIOR TO ANY CONSTRUCTION TO VERIFY THE LOCATIONS OF ALL UTILITIES, PROTECT ANY EXISTING WATER INFRASTRUCTURE IN PLACE UNLESS OTHERWISE NOTED

- UNDERGROUND NOTES
1. INSTALLATION PER N.F.P.A. - 24, 2016 EDITION
 2. MINIMUM BURY FROM TOP OF PIPE IS 36"
 3. ALL MECHANICAL JOINT FITTINGS TO BE SECURED WITH "MEG-A-LUG" JOINT RESTRAINTS
 4. UNDERGROUND FIRE SERVICE PIPING WITHIN 5'-0" OF THE BUILDING SHALL BE 6" STAINLESS STEEL PIPE. REMAINING UNDERGROUND FIRE SERVICE PIPING SHALL BE 6" C-900 PVC.
 5. UNDERGROUND PIPING TO BE HYDROSTATICALLY TESTED AT 200 PSI FOR A TWO HOUR PERIOD.
 6. UNDERGROUND PIPE TO BE FLUSHED BEFORE CONNECTING TO FIRE RISER OR OVERHEAD PIPING.
 7. FIRE LINE INSTALLATION TO BEGIN AT EXISTING FIRE LINE STUB ON PROPERTY.

NOTE: PUBLIC WATER SYSTEM EXTENSION AND AUGMENTATION PER SEPARATE TUCSON WATER PLAN AND PERMIT

SEWER AND WATER CONNECTIONS AT BUILDING PER PLUMBING PLAN

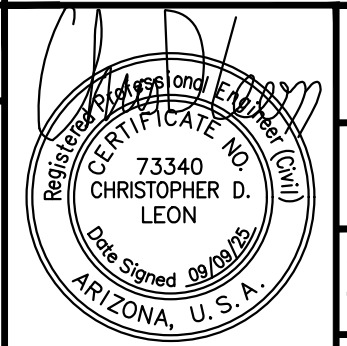
BUILDING UTILITY CONNECTIONS PER PLUMBING PLANS

C/I: N/A
SCALE: 1" = 30'

UTILITY SHEET

Kimley»Horn

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Tucson, Arizona 85718 (520) 615-9191



CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE - ORO VALLEY

EXTRA SPACE STORAGE FACILITY 0814

ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD

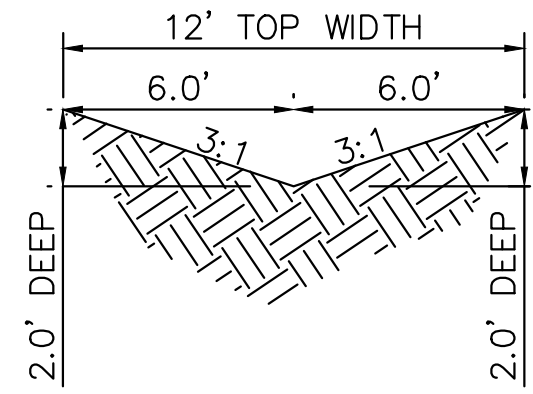
PLAN NO.2402615

REF: CASE #202426, PROJECT #202403, #2402615, #2402615
08 OF 11

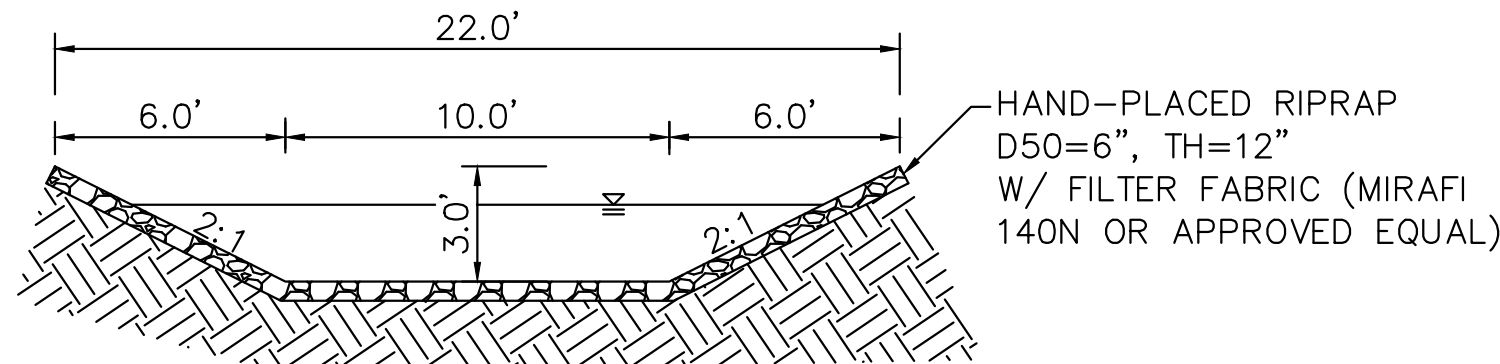
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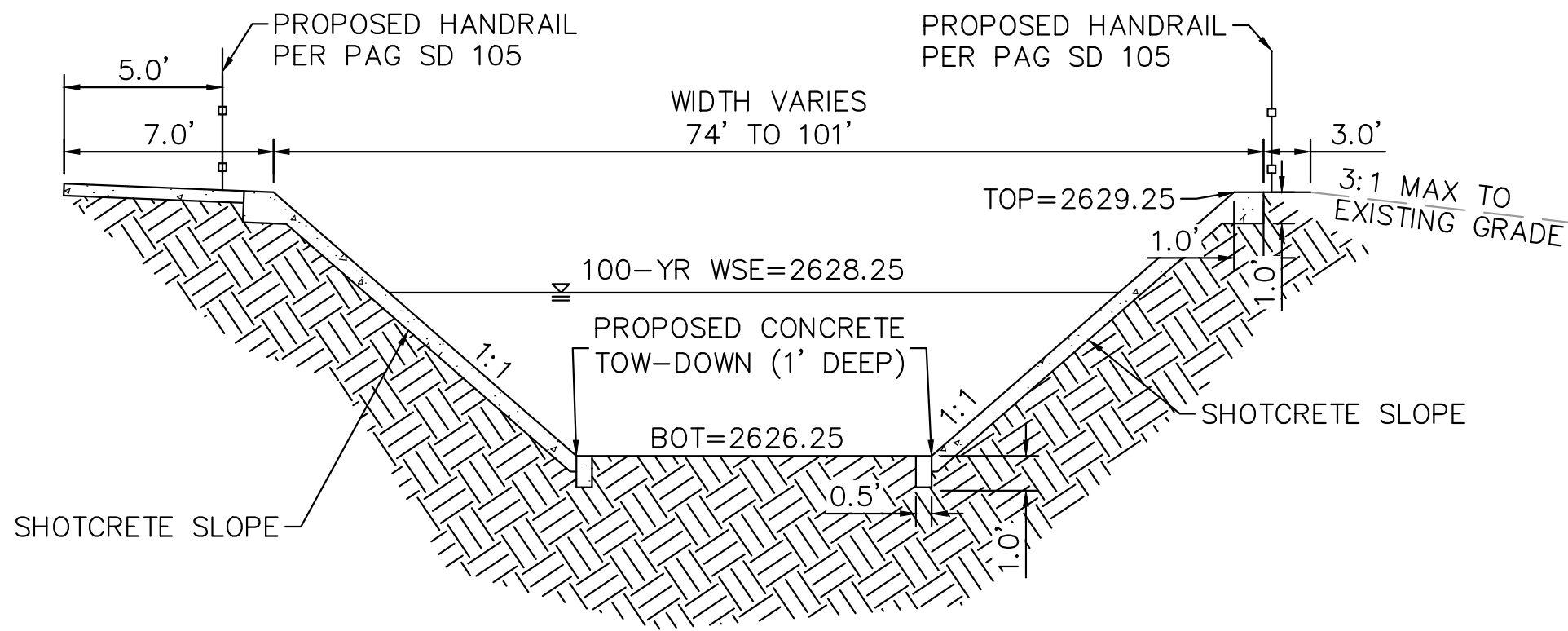
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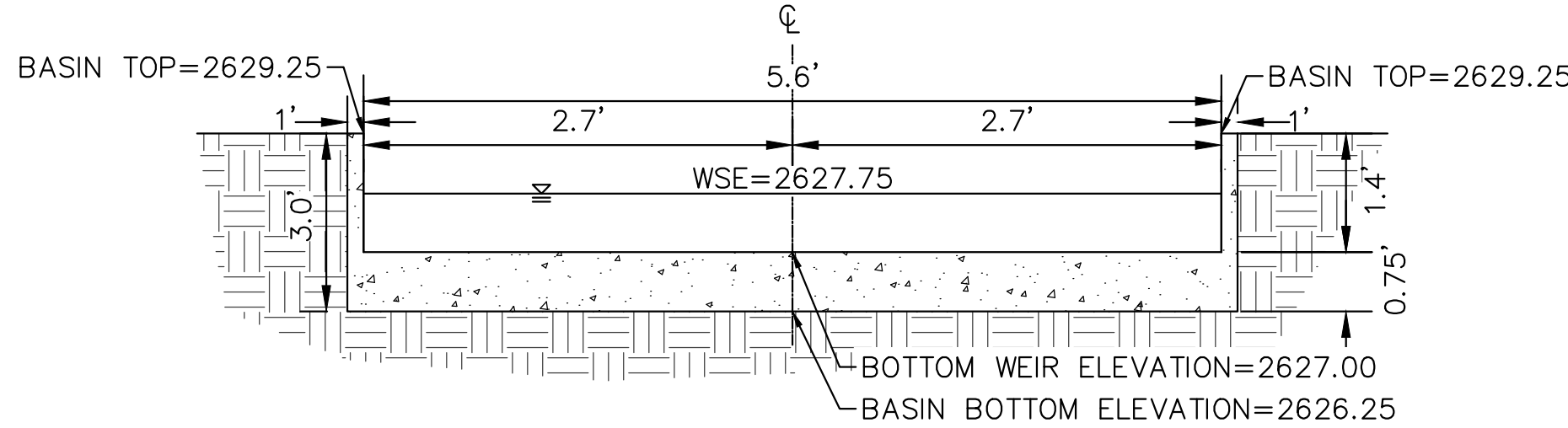
A TRIANGULAR DITCH CROSS-SECTION
FOR GRADING ONLY. SEE DETAILS U AND T N.T.S.
FOR RIPRAP INSTALLATION ON NORTHERN CHANNELS.



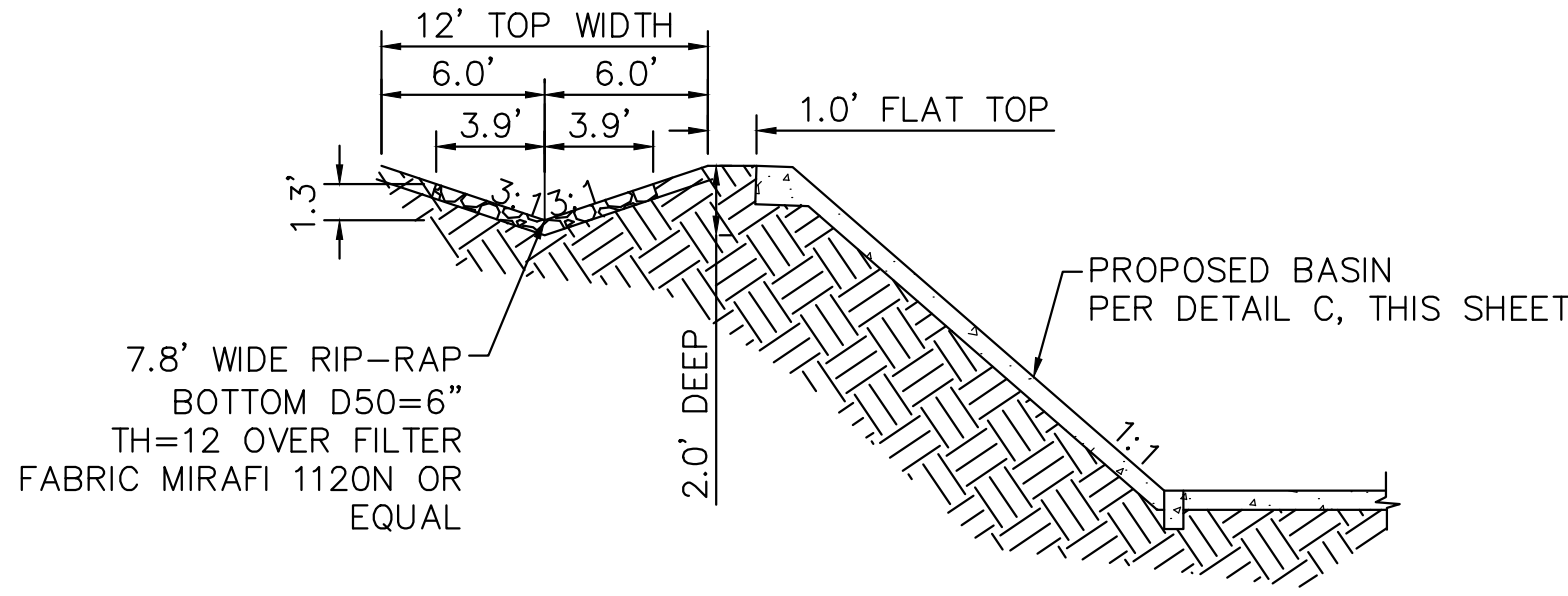
B TRAPEZOIDAL CHANNEL CROSS-SECTION
N.T.S.



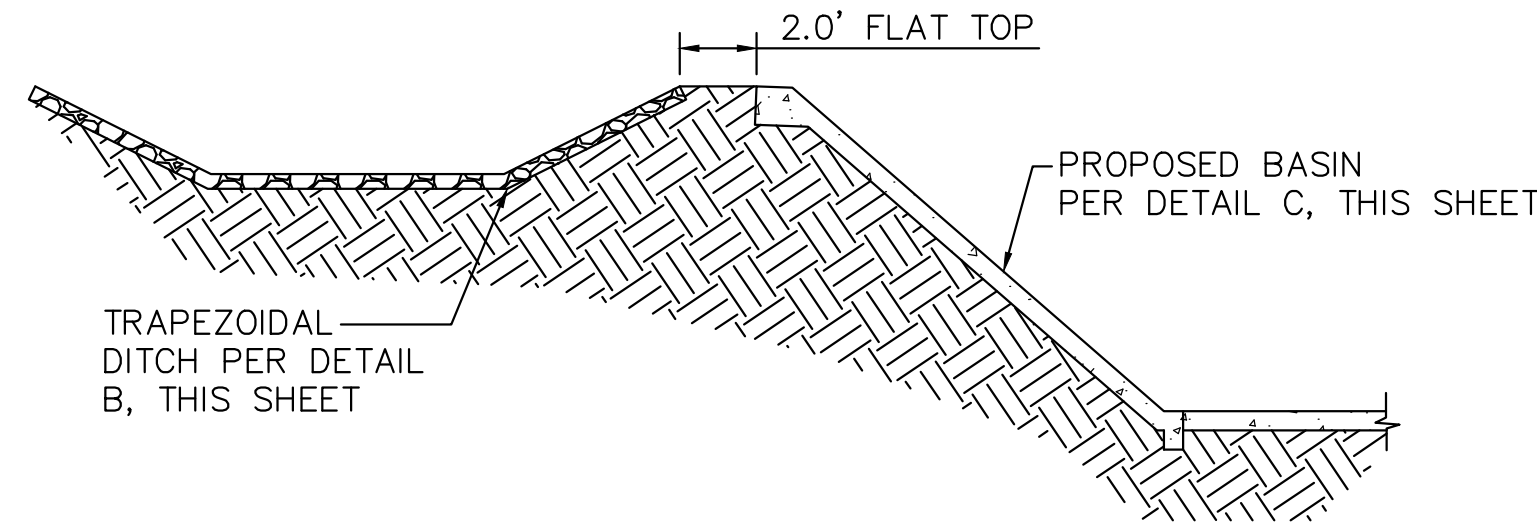
C PROPOSED BASIN CROSS-SECTION
N.T.S.



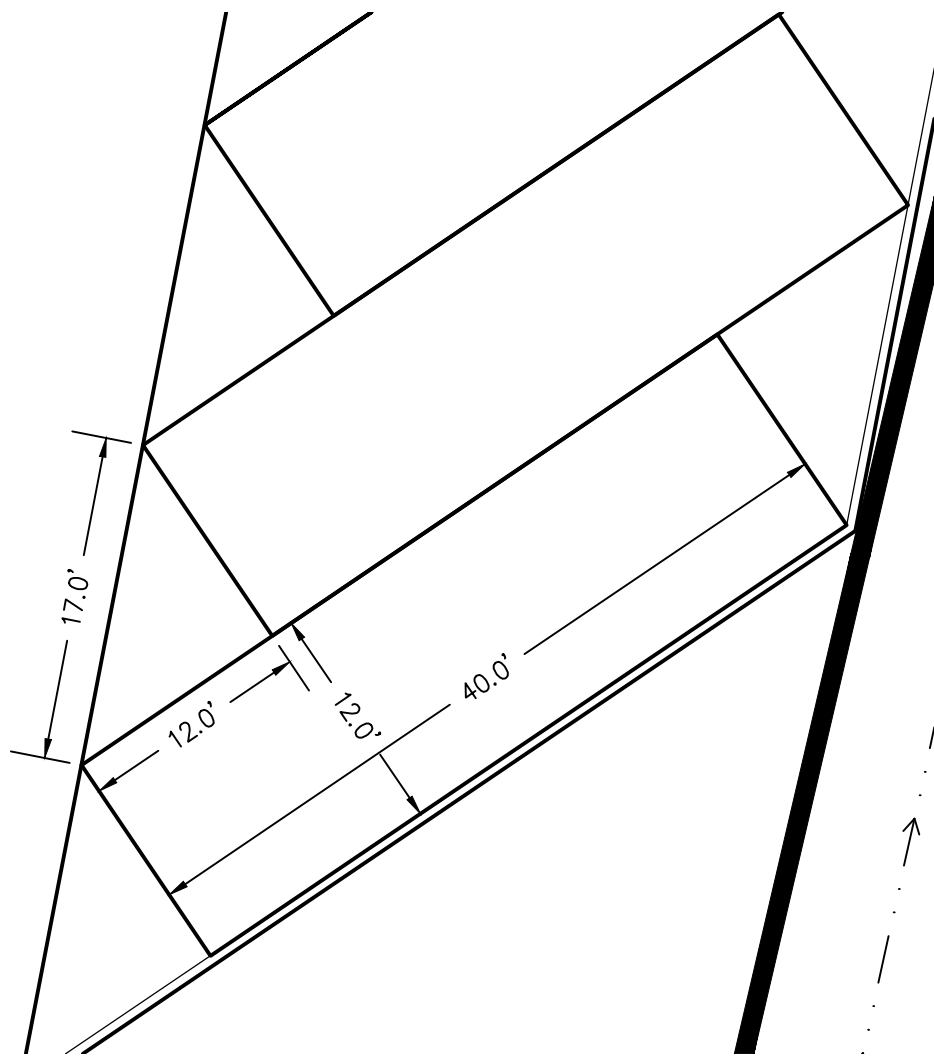
D PROPOSED BASIN OUTLET STRUCTURE
N.T.S.



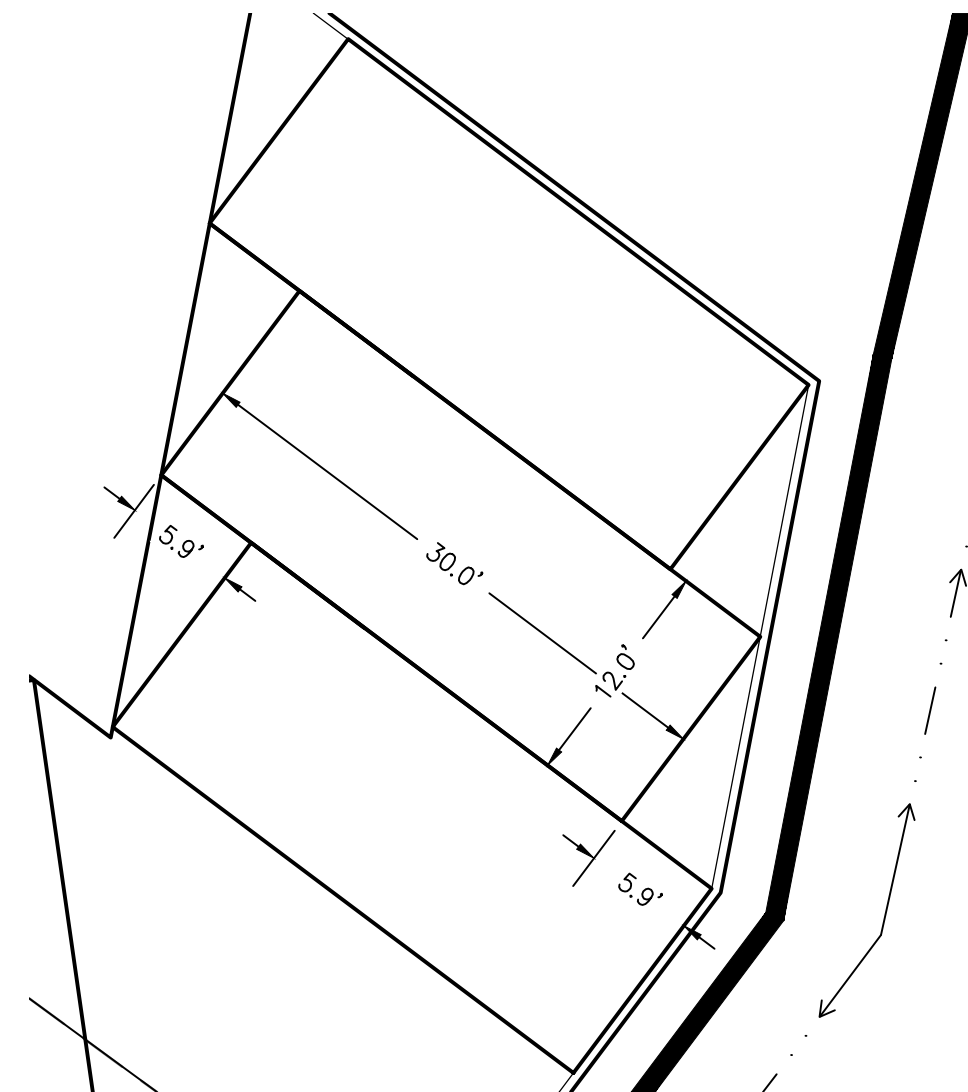
E BASIN NORTH CROSS-SECTION
N.T.S.



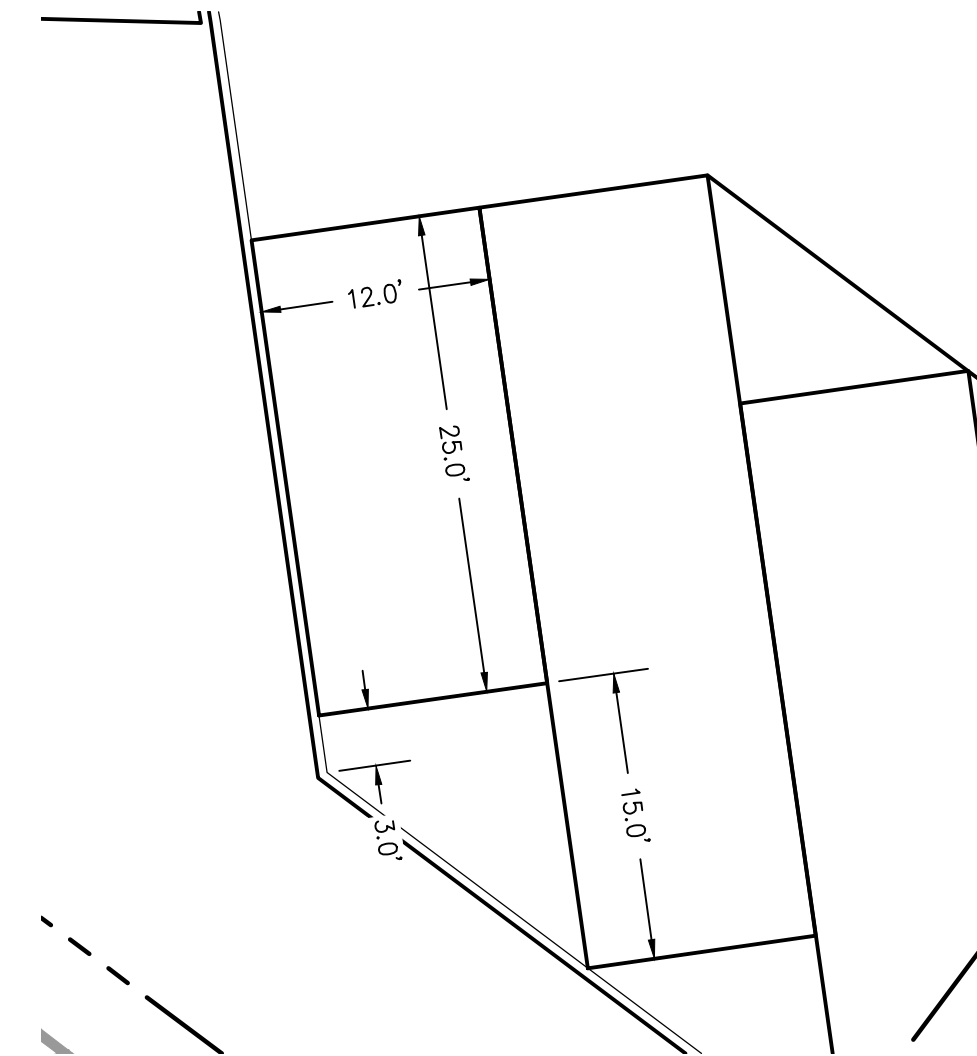
F BASIN SOUTH CROSS-SECTION
N.T.S.



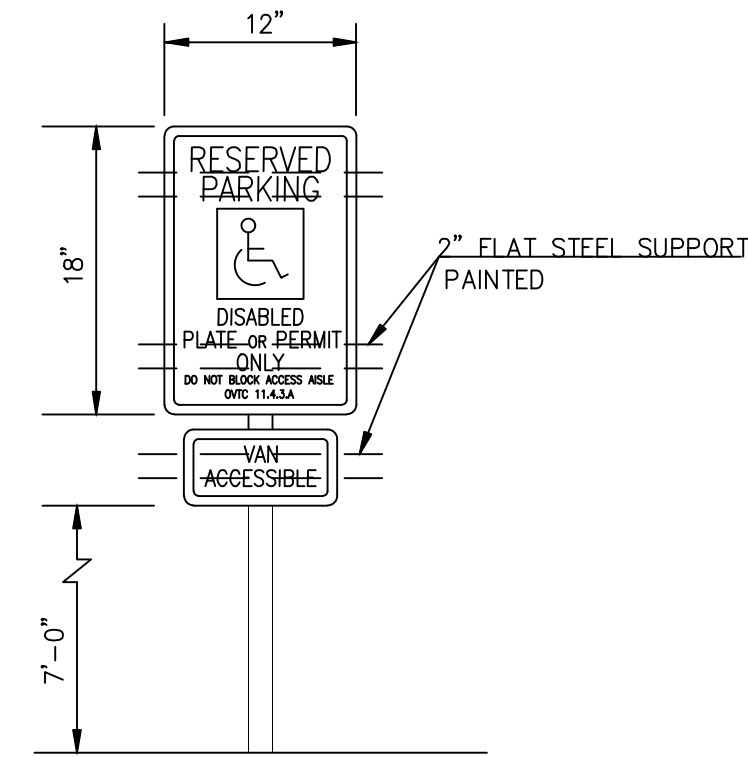
G TYPICAL 12'X40' RV STORAGE SPACE
SCALE: 1"=10'



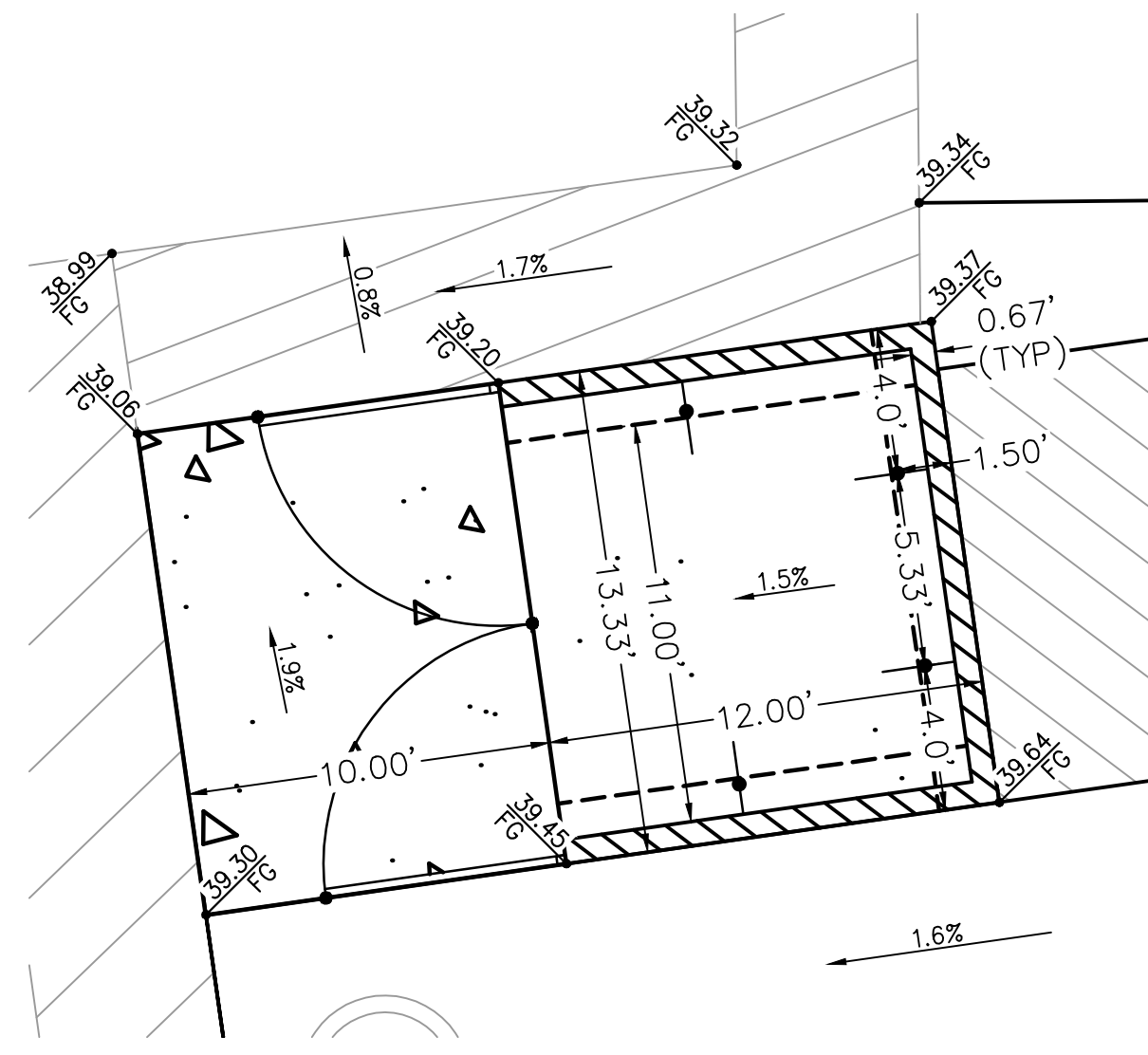
H TYPICAL 12'X30' RV STORAGE SPACE
SCALE: 1"=10'



J TYPICAL 12'X25' RV STORAGE SPACE
SCALE: 1"=10'



K ACCESSIBLE PARKING SIGN
N.T.S.



L SINGLE CONTAINER DUMPSTER DETAIL
SCALE: 1"=5'

- SINGLE CONTAINER ENCLOSURE NOTES:
1. CONCRETE RAMP TO BE A MINIMUM OF 24' X 13' AND SHALL SLOPE 2.0% AWAY FROM ENCLOSURE.
 2. CONCRETE SLAB FOR ENCLOSURE SHALL SLOPE AT 1.0% TO GATE OPENING.
 3. THE INSIDE CLEAR WIDTH AND LENGTH SHALL NOT BE LESS THAN 10 FEET.
 4. FOR CONSTRUCTION OF MULTIPLE CONTAINER ENCLOSURE, THE CLEAR WIDTH OF 10 FEET IS REQUIRED FOR EACH CONTAINER. WHEN NECESSARY FOR PERSONNEL ACCESS, A 3 FOOT WIDE DOORWAY AND STEEL DOOR FRAME MAY BE PLACED AS REQUIRED BY THE APPROVED CONSTRUCTION PLAN IN FRONT OF ENCLOSURE A 14 FOOT BY 40 FOOT CLEAR AREA SHALL BE REQUIRED AND MUST SLOPE AWAY FROM THE ENCLOSURE AT 2.0%.

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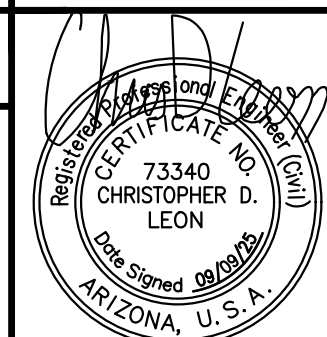
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DETAIL SHEET

C/I: N/A
SCALE: N.T.S.

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CIVIL IMPROVEMENT PLAN FOR
EXTRA SPACE — ORO VALLEY

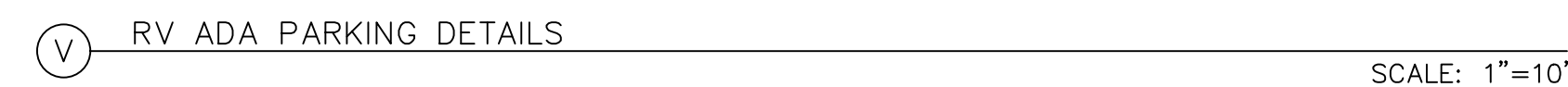
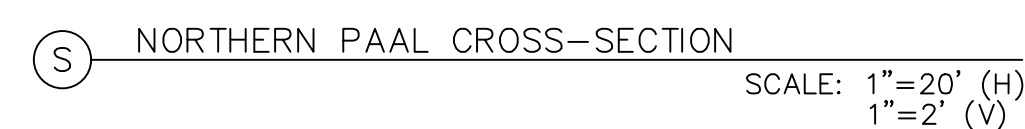
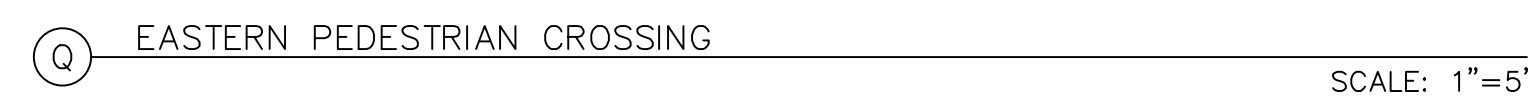
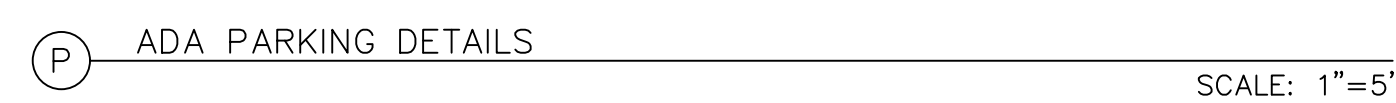
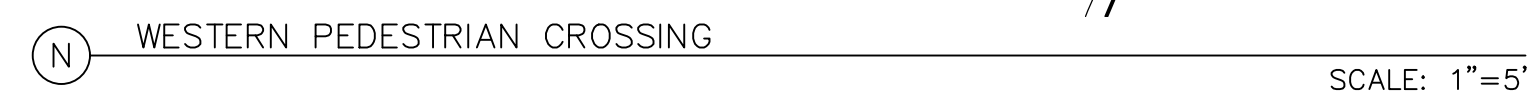
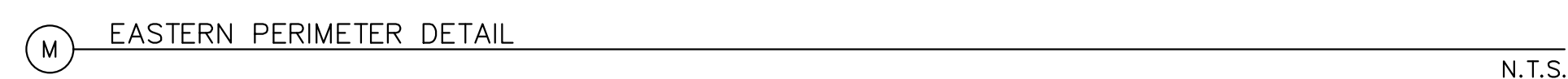
EXTRA SPACE STORAGE FACILITY 0814

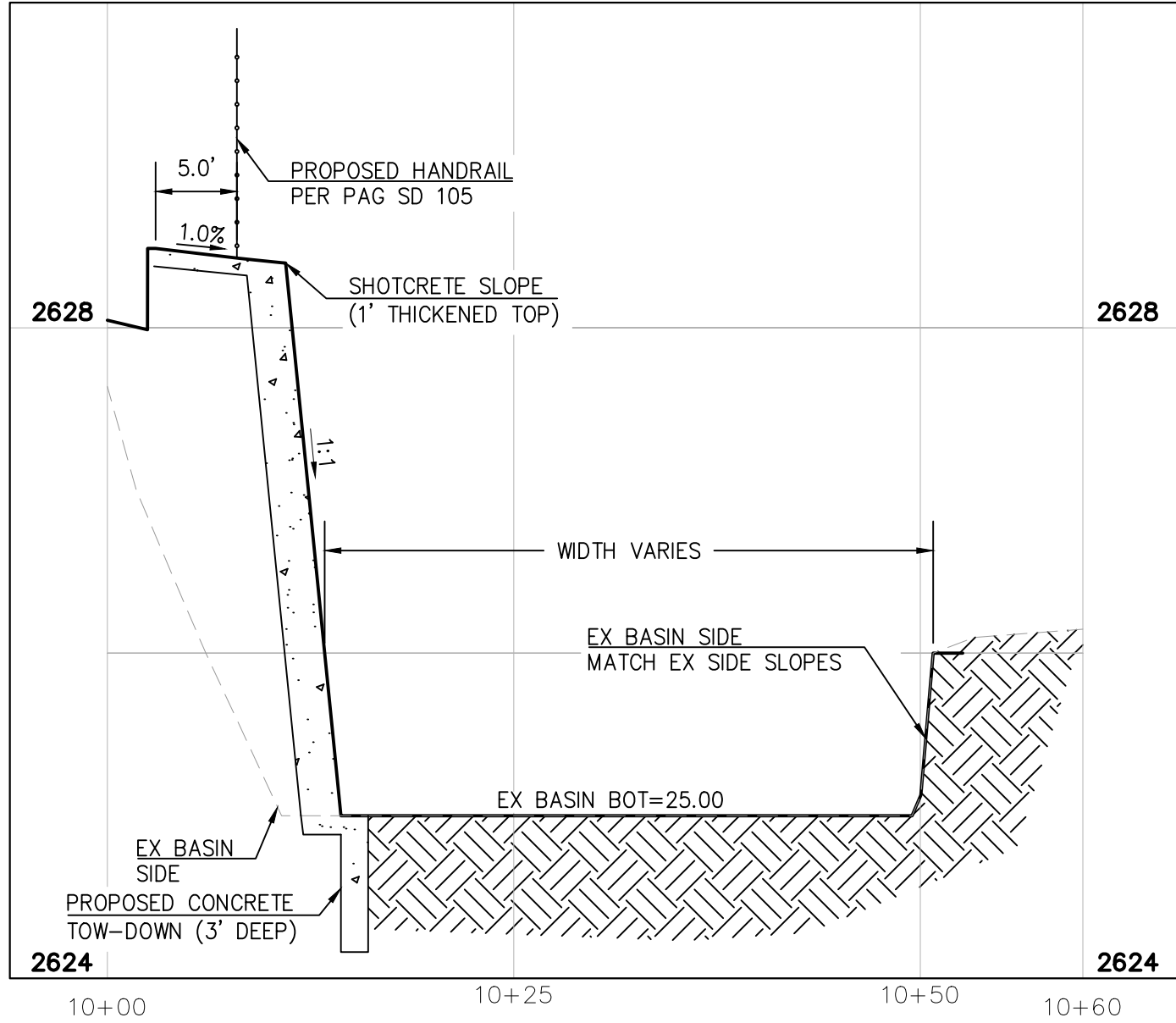
ADMINISTRATIVE ADDRESS:
8710 N ORACLE RD

PLAN NO.2402615

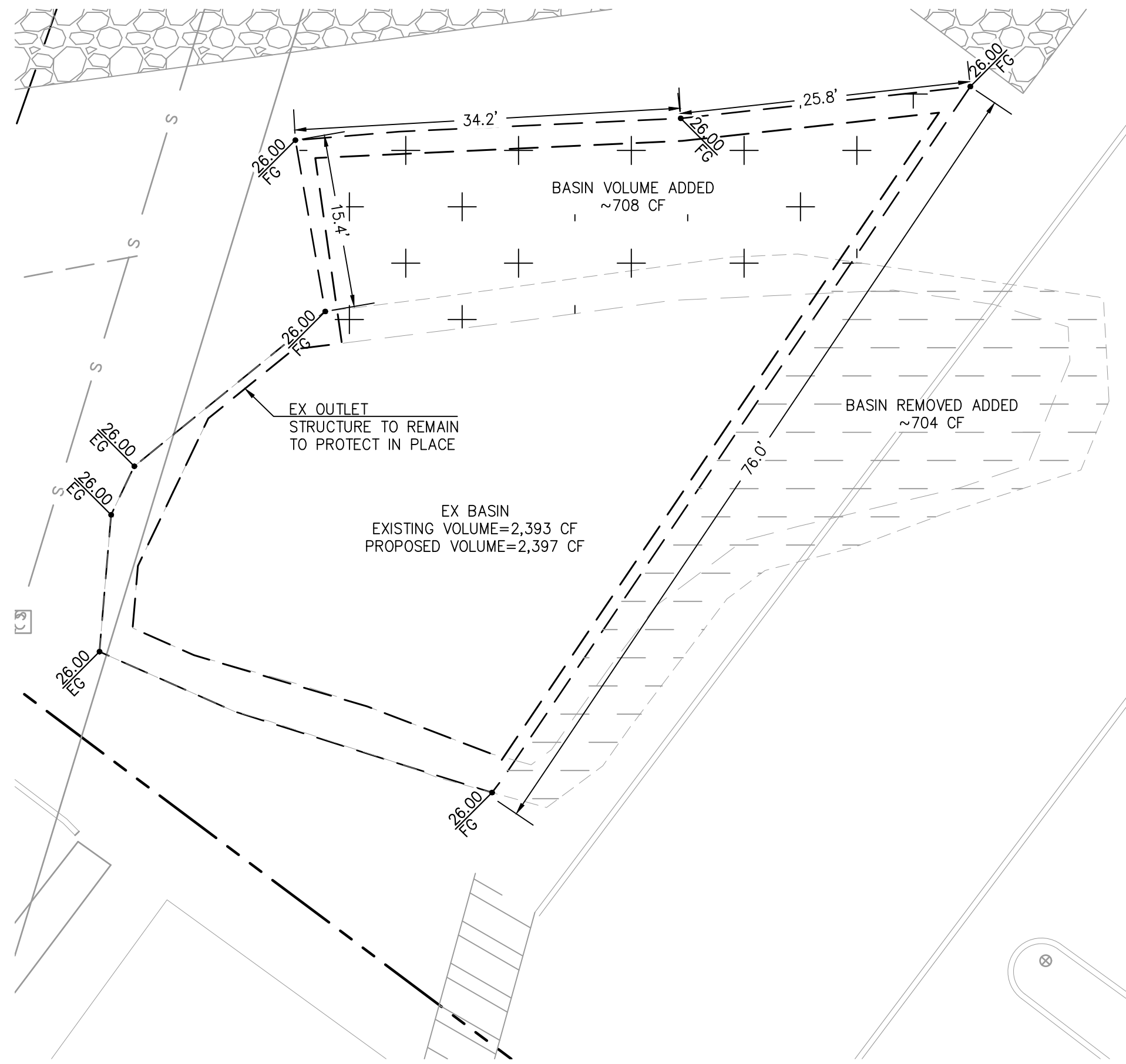
REF:
CASE #2027420
PROJECT #030043
#2402615 #2402615

09 OF 11





(W) EXISTING BASIN CROSS-SECTION
SCALE: 1"=10' (H)
1"=1' (V)




(X) EXISTING BASIN PLAN
SCALE: 1"=10' (H)

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C/I: N/A	
DETAIL SHEET	SCALE: N.T.S.
Kimley»Horn	
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CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY	
EXTRA SPACE STORAGE FACILITY 0814	
ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD	REF: CASE #2022429 PROJECT #2022429 #2402615
PLAN NO.2402615	11 OF 11