

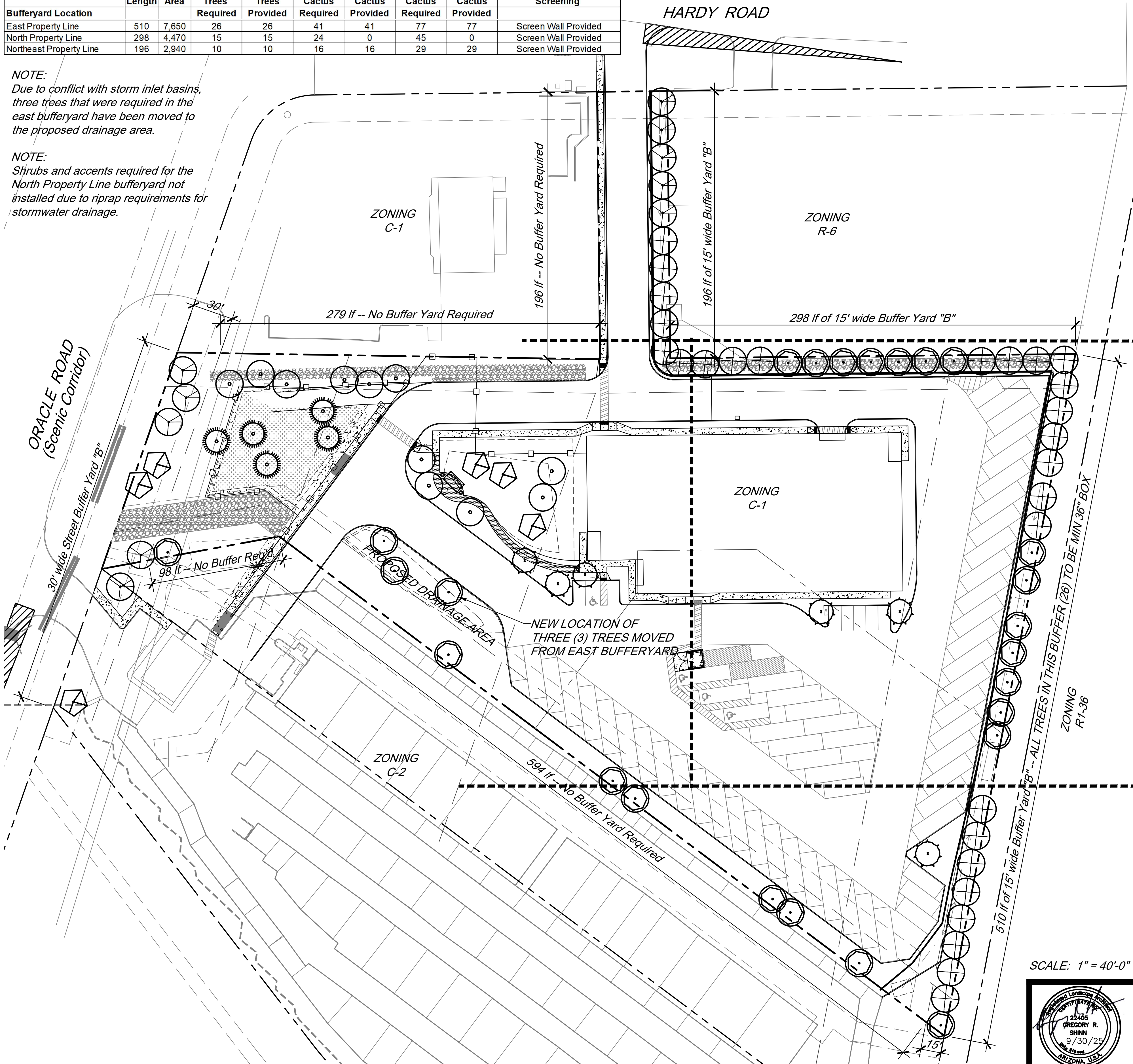
FINAL LANDSCAPE and IRRIGATION PLAN
FOR
EXTRA SPACE STORAGE
2402615

LANDSCAPE BUFFERYARD CALCULATIONS									
30' Wide Bufferyard "B"									
Length	Area	Trees Required	Trees Provided	Shrubs or Cactus Required	Shrubs or Cactus Provided	Accents or Cactus Required	Accents or Cactus Provided	Screening	
Oracle Road	210	6,300	8.4	8	14.7	15	25.2	25	None Required

15' Wide Bufferyard "B"									
Length	Area	Trees Required	Trees Provided	Shrubs or Cactus Required	Shrubs or Cactus Provided	Accents or Cactus Required	Accents or Cactus Provided	Screening	
East Property Line	510	7,650	26	26	41	41	77	77	Screen Wall Provided
North Property Line	298	4,470	15	15	24	0	45	0	Screen Wall Provided
Northeast Property Line	196	2,940	10	10	16	16	29	29	Screen Wall Provided

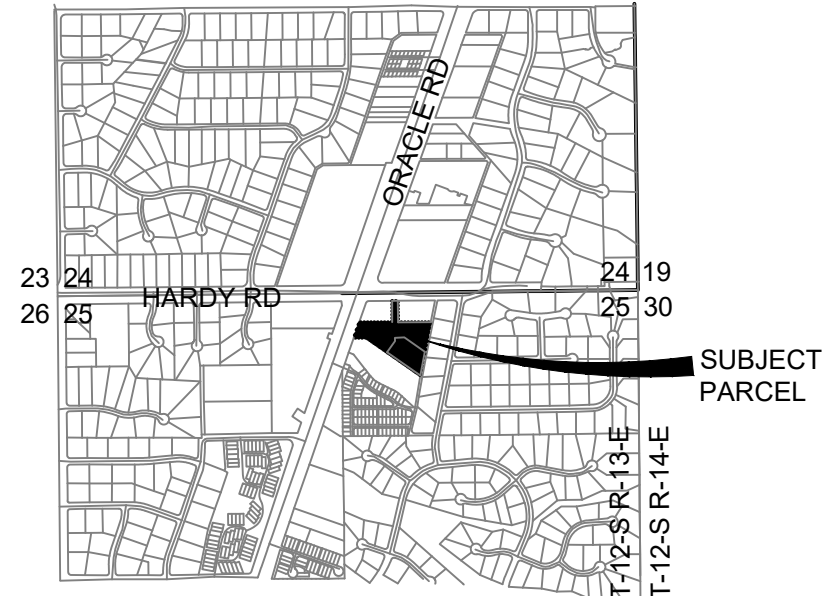
NOTE:
Due to conflict with storm inlet basins, three trees that were required in the east bufferyard have been moved to the proposed drainage area.

NOTE:
Shrubs and accents required for the North Property Line bufferyard not installed due to riprap requirements for stormwater drainage.



LANDSCAPE GENERAL NOTES

- A. Gross Area of Development: 4.66 acres
B. Total Graded Area: 4.73 acres (includes grading within the ROW and existing site.)
C. Total Undisturbed Area: 0.13 acres
D. Total Amount of Open Space:
i. Amount Required = 40,596 sf (20%)
ii. Amount Provided = 56,942 sf (28%)
E. Landscape to conform to Oro Valley Code.
F. Mitigation of surveyed plants in the Native Plant Preservation Plan will be incorporated in the landscape design.
G. Assurances for landscaping and re-vegetation bonds must be posted prior to issuance of grading permits. A landscape bond in the amount of 10% of the original landscape bond shall remain in place for a period of one year from the complete installation of landscape materials and any replacement materials.
H. Property owner shall maintain buffer yard plantings to ensure unobstructed visibility to motorists. All shrubs, accents, and groundcovers shall not exceed thirty (30") inches in height within site visibility triangles. Trees within site visibility triangles will be maintained to ensure that branches/foliage are not below a height of six (6') feet and the diameter should not exceed 1-foot when fully mature.
I. Property owners, lessees and occupants shall maintain required landscape, irrigation, buffering, screening and rainwater harvesting system improvements per the approved plans.
J. In the event of abandonment of the site after grading/disturbance of natural areas, disturbed areas shall be re-vegetated with a non-irrigated hydroseed mix from OVZCR Addendum D: Approved revegetation seed mix.
K. All plant material shall meet the minimum standards contained in the current editions of the Arizona Nursery Association's Growers Committee Recommended Tree Specifications and the American Association of Nurserymen as to size, condition and appearance.
L. Property owner is responsible for maintaining the temporary irrigation system as long as necessary in order to transition plants over to natural sources. Irrigation shall be reduced three years after issuance of the first certificate of occupancy. Metered water use for landscape irrigation shall be reduced by fifty percent, five years from the date of the issuance of the certificate of occupancy. Any plant materials that die in transition, for any reason, shall be replaced in accordance with Sec.27.6.E.4., Maintenance.
M. Any spaded or boxed tree transplanted on site that dies due to neglect or lack of maintenance shall be replaced with the same size and species of the original salvaged tree, as required by the salvage plan.
N. The limits of grading shall be staked in the field, in accordance with Sec.27.6.B.7.c.ii of the Zoning Code. Disturbance outside the approved grading limits shall not be permitted.
O. Irrigation shall be reduced three years after issuance of the first certificate of occupancy. Metered water use for landscape irrigation shall be reduced by fifty percent, five years from the date of the issuance of the certificate of occupancy.
P. No salvage of plants regulated by the Endangered Species Act and/or the Arizona Native Plant Law may occur without the issuance of the appropriate permit by the State Department of Agriculture.
Q. Landscape materials shall not obstruct sight distances or vehicle turning movements.
R. Landscaped areas that are susceptible to damage by pedestrian or auto traffic shall be protected by appropriate curbs, tree guards or other devices.
S. Landscape shall be designed to minimize sediment, sand and gravel being carried into the streets from storm water or other runoff.
T. Landscape plan enables adequate plant spacing to ensure survivability at plant maturity.
U. Deep rooted vegetation and trees shall not be planted closer than 7.5' from a public water line. Exceptions for alternative design solutions such as root barriers shall be considered on a case-by-case basis.
V. Curb-way consisting of inorganic groundcover or plants not to exceed type 2 water use shall be provided between curb and all sidewalks.
W. All landscaped areas to be finished with a natural topping material to a depth of at least two (2) inches.
X. This project is designed to meet the specific criteria of the Oracle Road Scenic Corridor Overlay District (ORSCOD).



LOCATION MAP
SECTION 25
T12S R113E, G&SRB&M
CITY OF TUCSON, AZ
SCALE: 1"=3 MILES

ORO VALLEY REVEGETATION SEED MIX

BOTANICAL NAME	COMMON NAME	PLS lbs/ac.
SHRUBS:		
Ambrosia deltoidea	Triangle-leaf Bursage	4.0
Atriplex canescens	Fourwing Saltbush	3.0
Calliandra eriophylla	Fairy Duster	1.0-2.0
Encelia farinosa	Brittlebush	1.5
SMALL PERENNIALS:		
Cassia covesii	Desert Senna	2.0
Glandularia gooddingii	Goodding's Verbena	1.0-2.0
Psilostrophe cooperi	Paperflower	1.0-2.0
Sphaeralcea ambigua	Desert Globemallow	1.0
PERENNIAL GRASSES:		
Aristida purpurea	Purple Three-Awn	2.0
Bouteloua curtipendula	Sideoats Grama	2.0
Leptochloa dubia	Green Sprangle-Top	1.0
Sporobolus cryptandrus	Sand Dropseed	1.0
ANNUAL HERBS and GRASSES:		
Eschscholzia mexicana	Mexican Poppy	1.0-3.0
Penstemon parryi	Parry's Penstemon	1.0-3.0
Penstemon subulatus	Scarlet Buglar	1.0-3.0
Plantago insularis	Indian Wheat	3.0

Approval:
Town of Oro Valley

Planning & Zoning Administrator Date

OWNER / DEVELOPER

Extra Space Storage
2795 East Cottonwood Parkway #300
Salt Lake City, UT 84121
ATTN: Clint Kleppe, (801) 365-4626
ckleppe@extraspace.com

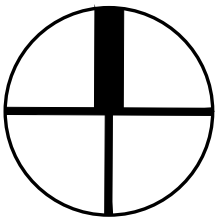
PROJECT NUMBER:
2402615
Reference Numbers:
2401682, 2300553
2300543, 2203018

LANDSCAPE PLAN

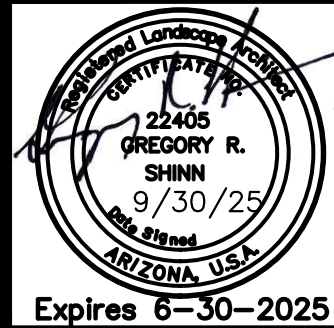
EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ

SCALE: 1"=40'-0"



North
SCALE: 1"=40'
C.I. = 1.0'

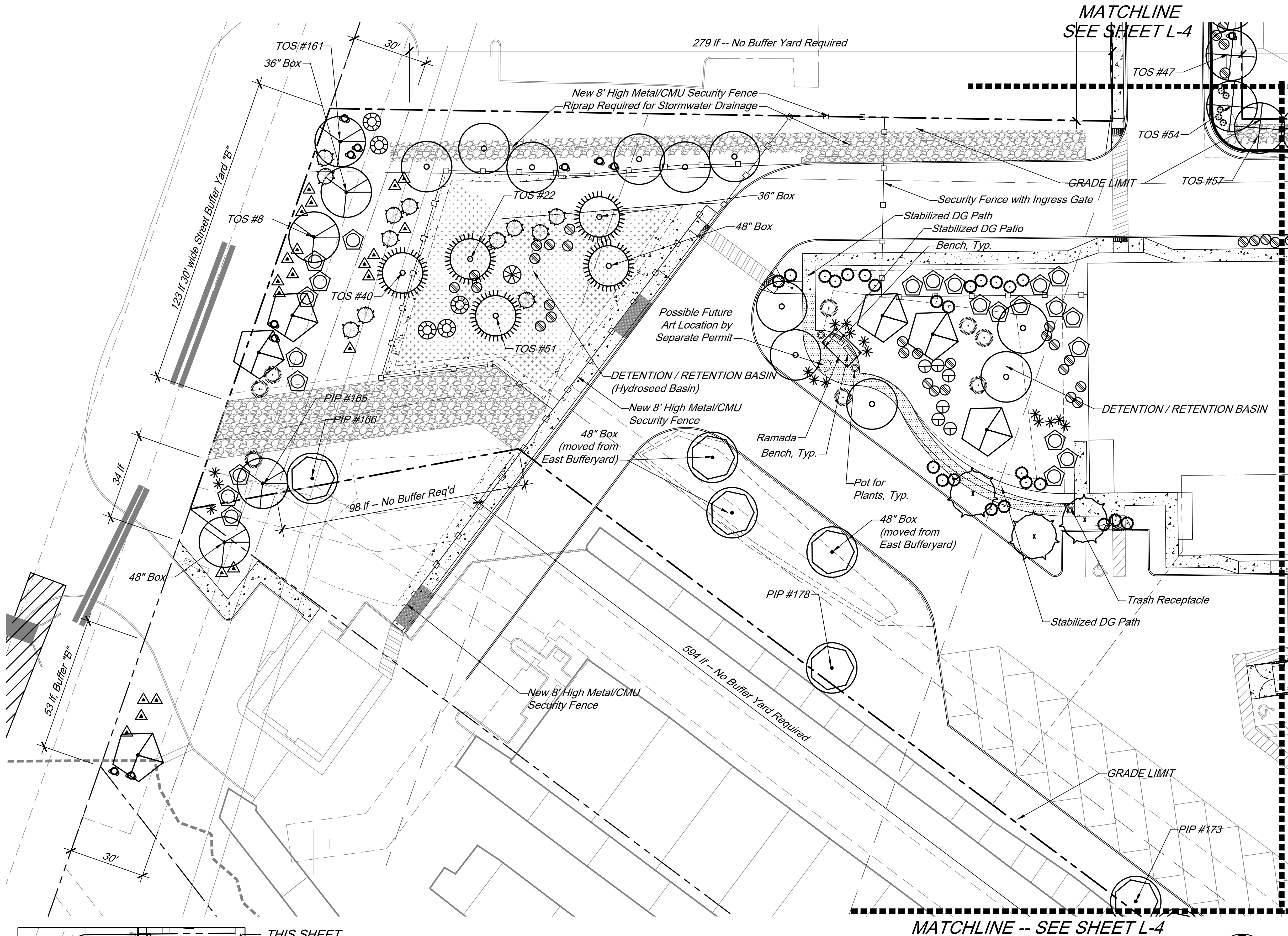


35974 S. Desert Sun Drive
Tucson, AZ 85739
(520) 909-4678
gregs@grslandscapearchitects.com

Date: 9/30/25
Drawn by: LMW
Checked by: GRS
☐ Design Review
☐ Construction Documents
☒ Agency Submittal
☐ Construction Set
☒ Not for Construction

L-1

1 of 9



LANDSCAPE LEGEND			
ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS			
TREES		SIZE	QTY
	Acacia constricta	TOS	3
	Whitethorn Acacia	36" Box	1
		48" Box	1
	Acacia salicina	15 Gal	6
	Willow Acacia		
	Cercidium floridum	PIP & TOS	7 & 10
	Blue Palo Verde	36" Box	4
		48" Box	4
	Cercidium microphyllum	TOS	15
	Palo Verde	36" Box	6
		48" Box	6
	Cercidium x 'Desert Museum'	15 Gal	6
	Desert Museum Palo Verde		
	Prosopis glandulosa glandulosa	15 Gal	11
	Thornless Honey Mesquite		
	Prosopis velutina	PIP & TOS	1 & 2
	Native Mesquite	36" Box	1
		48" Box	1
		15 Gal	5
SHRUBS/ACCENTS		SIZE	QTY
	Carnegiea gigantea	TOS	15
	Saguaro		
	Ferocactus wislizeni	TOS	33
	Barrel Cactus		
	Agave victoriae-reginae	5 Gal	28
	Queen Victoria Agave		
	Calliandra eriophylla	5 Gal	66
	Fairy Duster		
	Celtis pallida	TOS	5
	Desert Hackberry		
	Dasyliroon wheeleri	5 Gal	20
	Desert Spoon		
	Encelia farinosa	5 Gal	33
	Brittlebush		
	Hesperaloe parvifolia	5 Gal	80
	Red Yucca		
	Larrea tridentata	5 Gal	21
	Creosote Bush		
	Leucophyllum laevigatum	5 Gal	30
	Chihuahuan Sage		
	Ziziphus obtusifolia	TOS	1
	Gray Thorn		
	Lantana spp - Trailing Lantana	1 Gal	36
	Gold & Purple, Mixed		
GROUND COVER/HARDSCAPE			
	1/2" - 3/4" Screened Rock		
	Apache Brown - 2" min thickness		
	Hydroseed Mix		
	See Specifications for Mix		

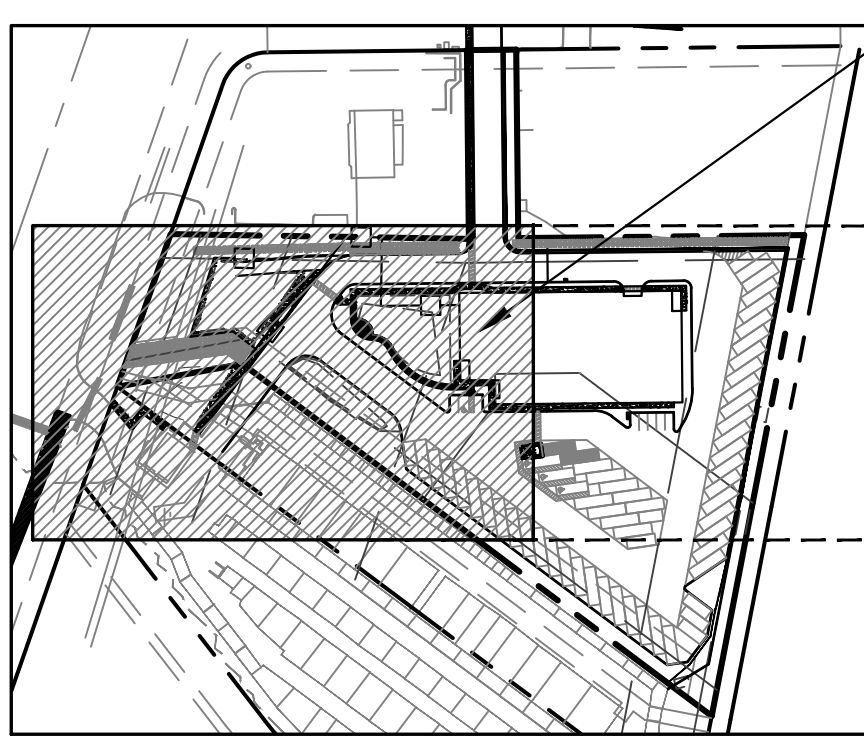
- LANDSCAPE NOTES**
- All bare dirt areas to be covered with rock mulch as indicated in Plant Legend, including areas within the right-of-way.
 - All plants shall be irrigated with a permanent underground irrigation system -- see sheets L-5 through L-7.
 - The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
 - Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
 - Landscape areas shall be depressed 6" for water harvesting.

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LANDSCAPE PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ



LANDSCAPE BUFFERYARD CALCULATIONS									
30' Wide Bufferyard "B"									
Length	Area	Trees Required	Trees Provided	Shrubs or Cactus Required	Shrubs or Cactus Provided	Accents or Cactus Required	Accents or Cactus Provided	Screening	
Oracle Road	210 6,300	8.4	8	14.7	15	25.2	25	None Required	

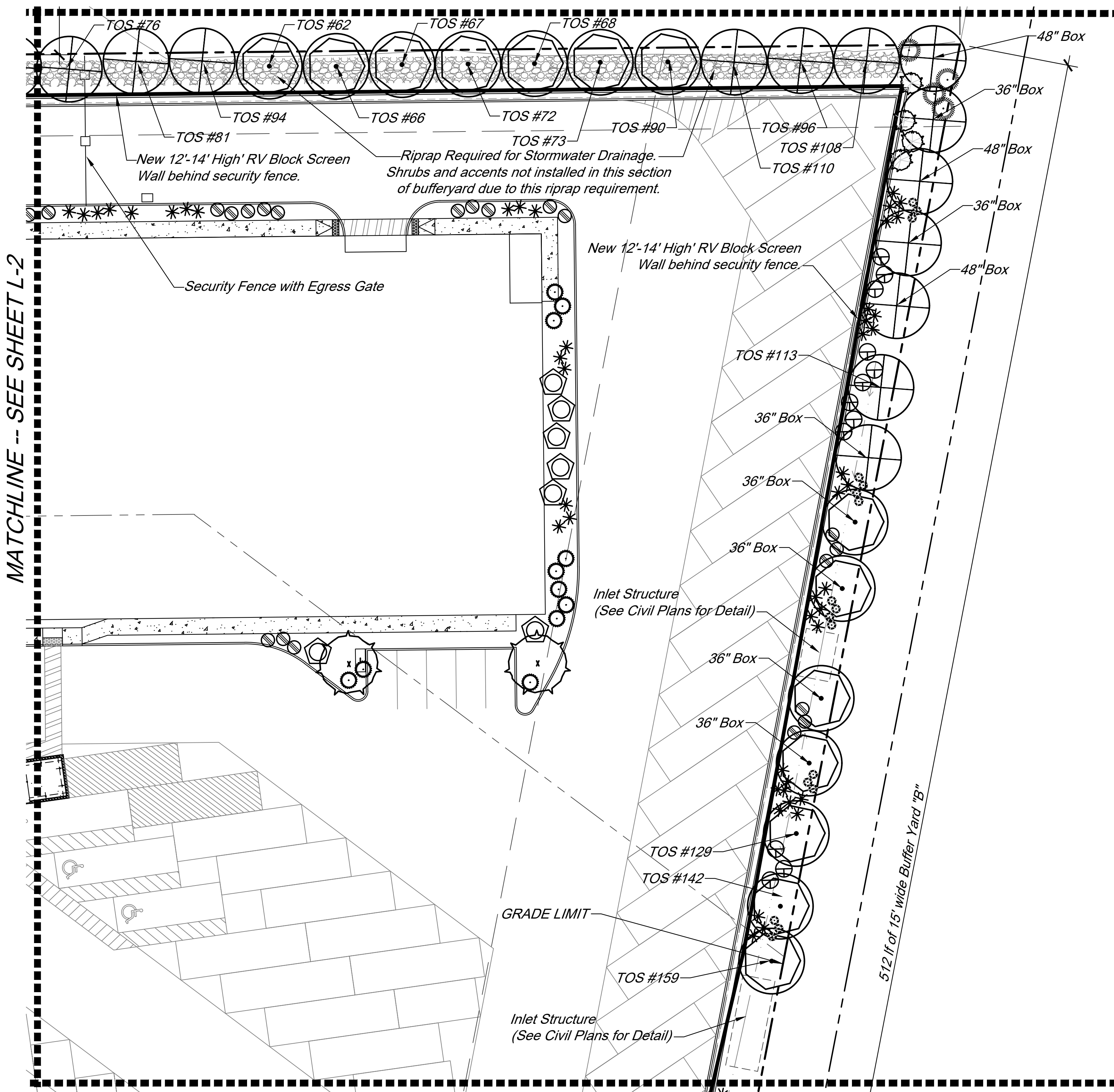
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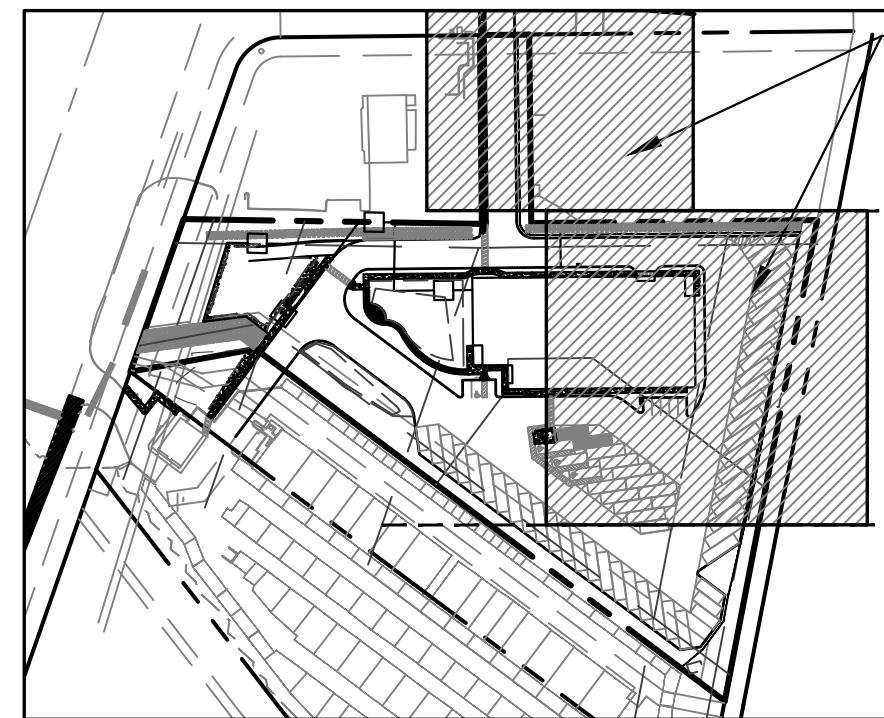
35974 S. Desert Sun Drive
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gregs@grslandscapearchitects.com

Date: 9/30/25
Drawn by: LMW
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MATCHLINE -- THIS SHEET BELOW RIGHT



MATCHLINE -- SEE SHEET L-4



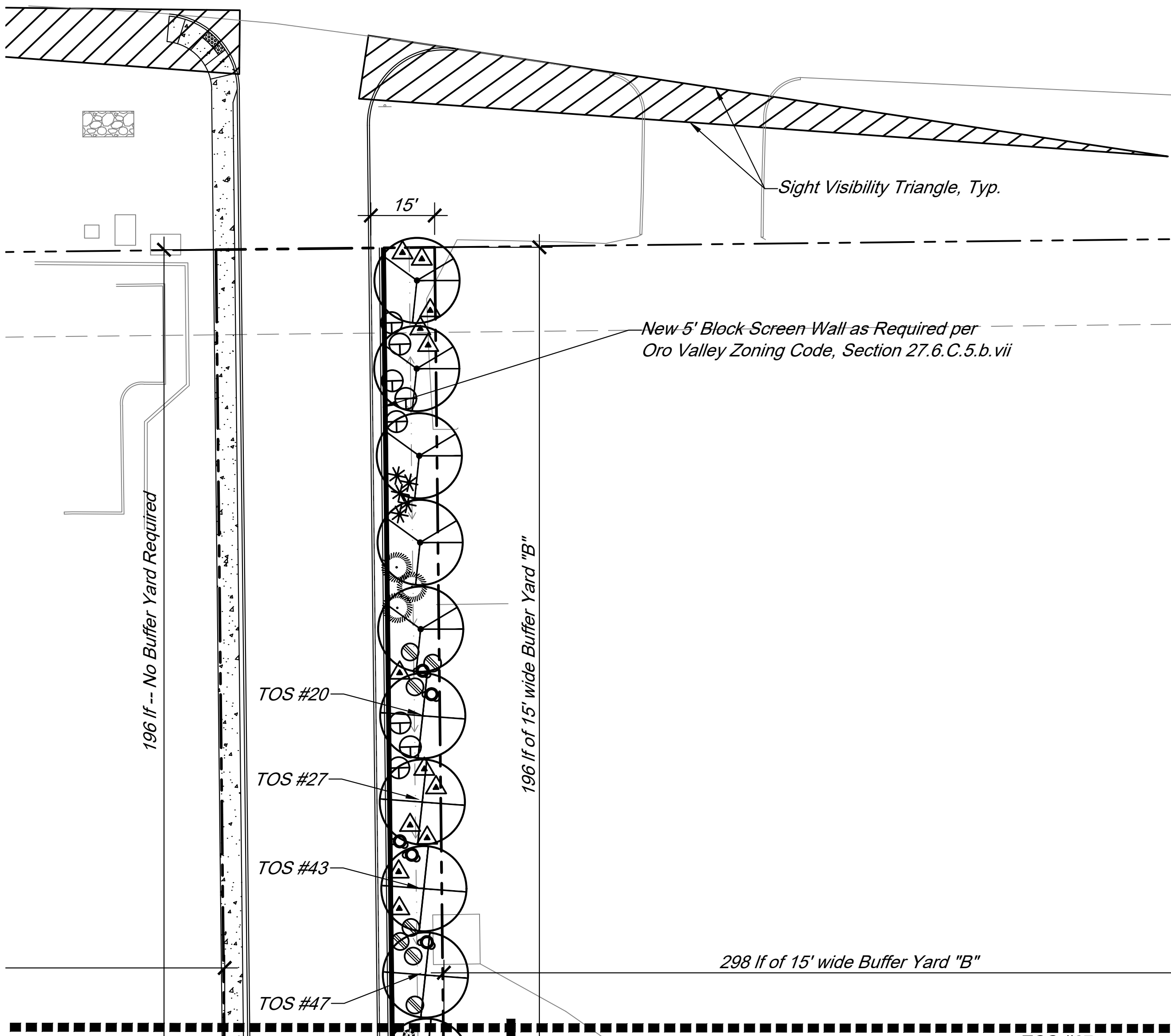
KEY MAP -- No Scale

THIS SHEET

NOTES:

- Due to conflict with storm inlet basins, three trees that were required in the east bufferyard have been moved to the proposed drainage area.
- Shrubs and accents required for the North Property Line bufferyard not installed due to riprap requirements for stormwater drainage.

LANDSCAPE BUFFERYARD CALCULATIONS									
15' Wide Bufferyard "B"									
Bufferyard Location	Length	Area	Trees Required	Trees Provided	Shrubs or Cactus Required	Shrubs or Cactus Provided	Accents or Cactus Required	Accents or Cactus Provided	Screening
East Property Line	510	7,650	26	26	41	41	77	77	Screen Wall Provided
North Property Line	298	4,470	15	15	24	0	45	0	Screen Wall Provided
Northeast Property Line	196	2,940	10	10	16	16	29	29	Screen Wall Provided



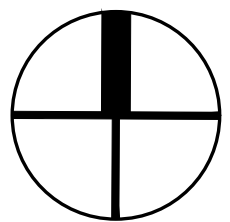
MATCHLINE -- SEE SHEET L-2

MATCHLINE -- THIS SHEET ABOVE LEFT

LANDSCAPE NOTES

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North
SCALE: 1"=20'
C.I. = 1.0"

SCALE: 1" = 20'-0"

LANDSCAPE PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ



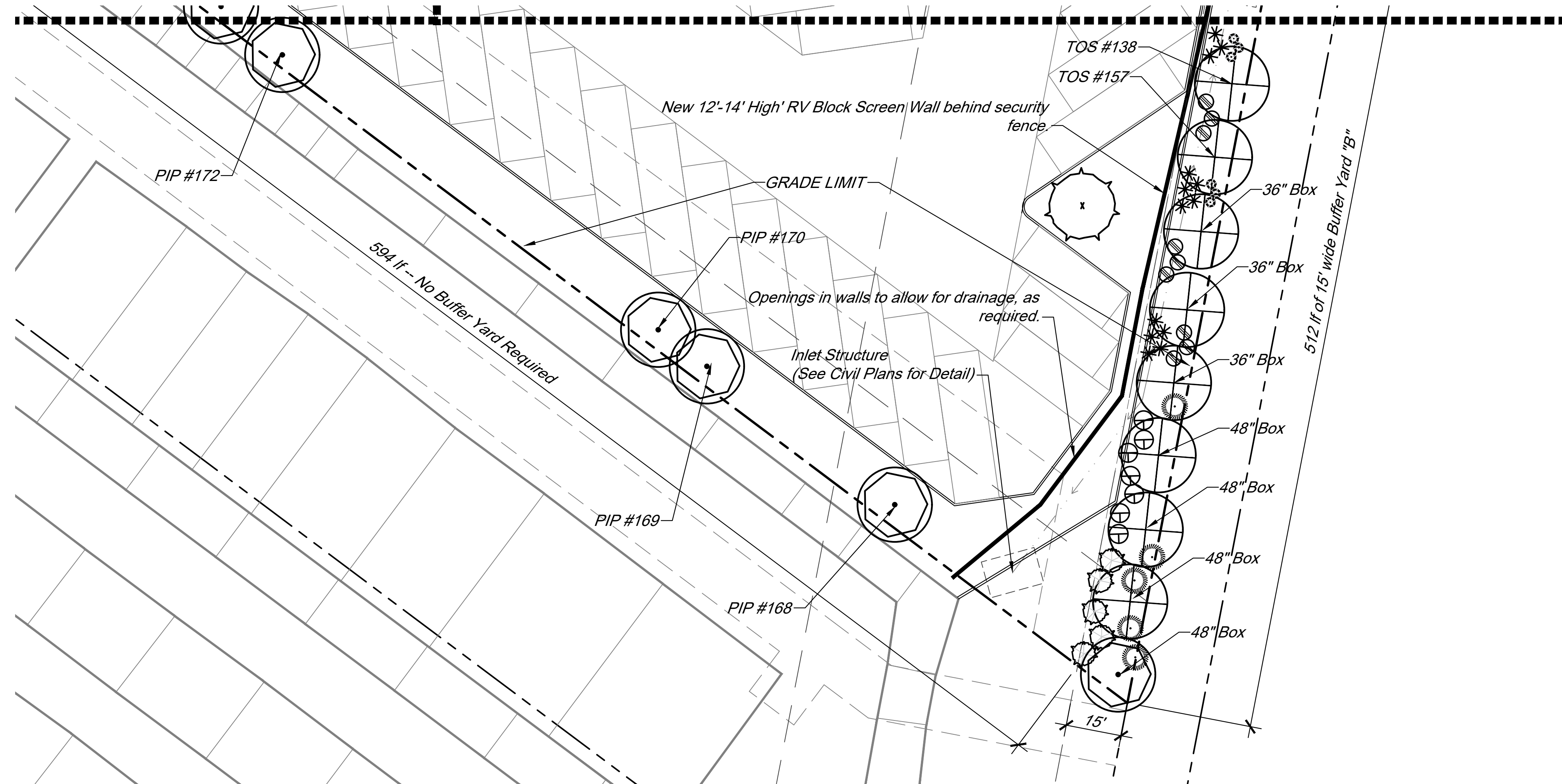
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L-3

3 of 9

MATCHLINE -- SEE SHEET L-2 MATCHLINE -- SEE SHEET L-3



LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES		SIZE	QTY
	Acacia constricta	TOS	3
	Whitethorn Acacia	36" Box	1
	Whitethorn Acacia	48" Box	1
	Acacia salicina	15 Gal	6
	Willow Acacia		
	Cercidium floridum	PIP & TOS	7 & 10
	Blue Palo Verde	36" Box	4
	Blue Palo Verde	48" Box	4
	Cercidium microphyllum	TOS	15
	Palo Verde	36" Box	6
	Palo Verde	48" Box	6
	Cercidium x 'Desert Museum'	15 Gal	6
	Desert Museum Palo Verde		
	Prosopis glandulosa glandulosa	15 Gal	11
	Thornless Honey Mesquite		
	Prosopis velutina	PIP & TOS	1 & 2
	Native Mesquite	36" Box	1
	Native Mesquite	48" Box	1
	Native Mesquite	15 Gal	5

SHRUBS/ACCENTS		SIZE	QTY
	Carnegiea gigantea	TOS	15
	Saguaro		
	Ferocactus wislizeni	TOS	33
	Barrel Cactus		
	Agave victoriae-reginae	5 Gal	28
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	Larrea tridentata	5 Gal	21
	Creosote Bush		
	Leucophyllum laevigatum	5 Gal	30
	Chihuahuan Sage		
	Ziziphus obtusifolia	TOS	1
	Gray Thorn		
	Lantana spp - Trailing Lantana	1 Gal	36
	Gold & Purple, Mixed		

GROUND COVER/HARDSCAPE

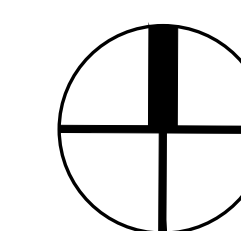
	1/2" - 3/4" Screened Rock
	Apache Brown - 2" min thickness
	Hydroseed Mix
	See Specifications for Mix

LANDSCAPE NOTES

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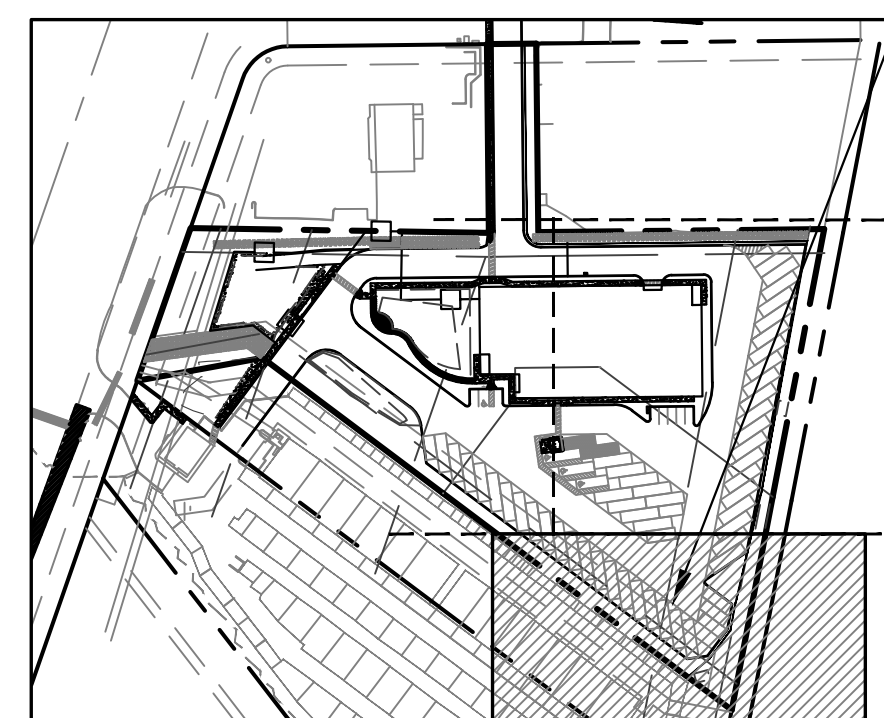
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North
SCALE: 1"=20'
C.I. = 1.0"

SCALE: 1" = 20'-0"



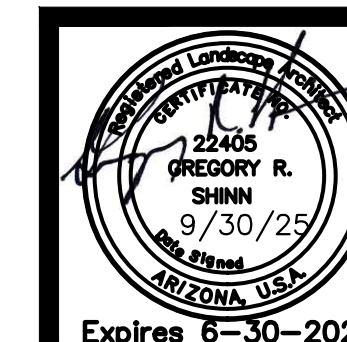
KEY MAP -- No Scale

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NOTES:

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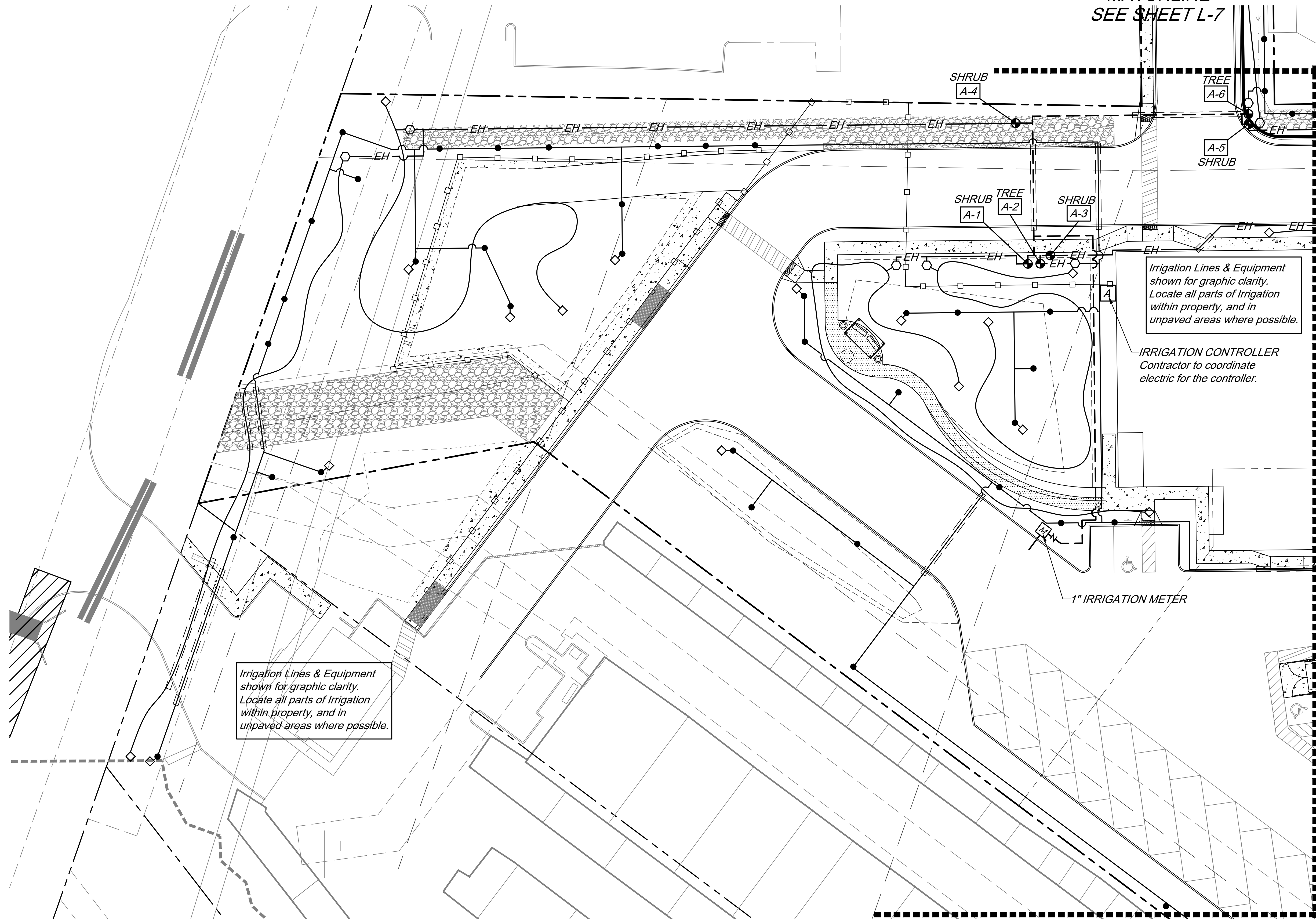
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L-4

4 of 9

MATCHLINE
SEE SHEET L-7



MATCHLINE -- SEE SHEET L-6

IRRIGATION LEGEND

	Irrigation Meter - See Water Plans
	Reduced Pressure Backflow Preventer
	Mainline - Schedule 40 PVC 1" unless otherwise noted
	Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
	Emitter Header - Schedule 40 PVC 1" unless otherwise noted
	Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
	Poly line - .580 poly line
	Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
	Multiport Emitter - Rainbird XBT-10-6
	Sleeves - Schedule 40 PVC - 2" unless otherwise noted
	Valve ID
	Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
	Hose End Caps

IRRIGATION NOTES

- Contractor shall coordinate electrical power supply for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
- Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
- Locate weather sensor so it is unimpeded by any structural elements.
- Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
- Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

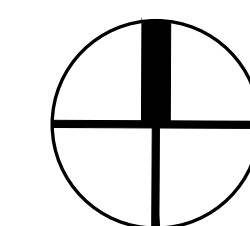
Irrigation Lines & Equipment
shown for graphic clarity.
Locate all parts of Irrigation
within property, and in
unpaved areas where possible.

Irrigation Lines & Equipment
shown for graphic clarity.
Locate all parts of Irrigation
within property, and in
unpaved areas where possible.

IRRIGATION CONTROLLER
Contractor to coordinate
electric for the controller.

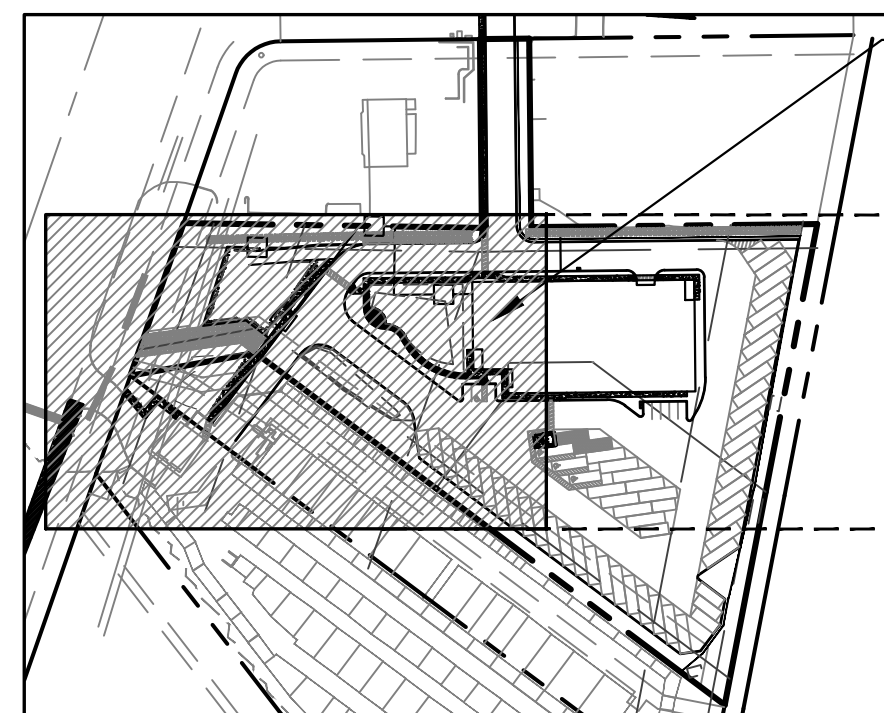
1" IRRIGATION METER

MATCHLINE -- SEE SHEET L-7



North
SCALE: 1"=20'
C.I. = 1.0'

SCALE: 1" = 20'-0"



KEY MAP -- No Scale

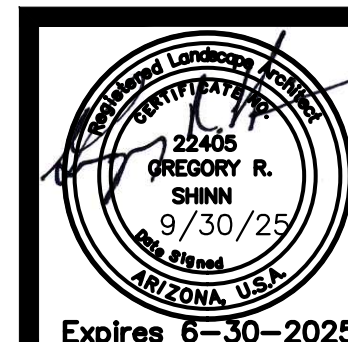
THIS SHEET

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Reference Numbers:
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IRRIGATION PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ



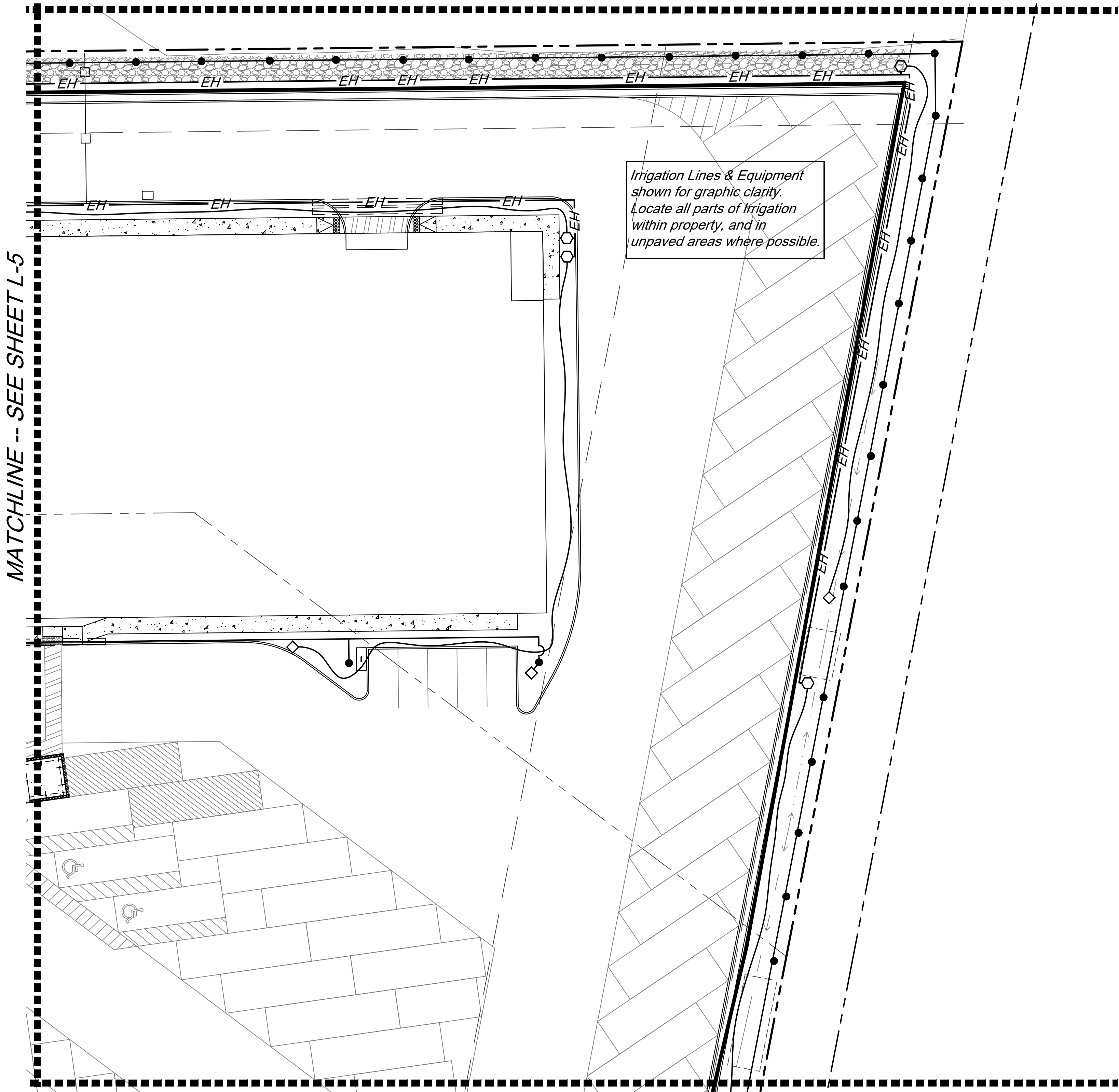
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L-5

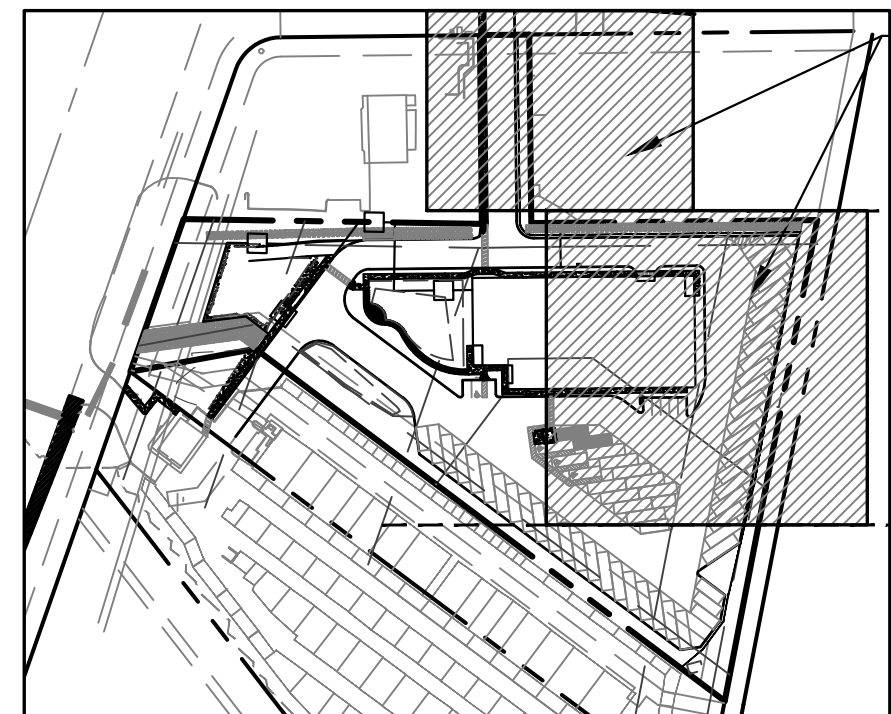
5 of 9

MATCHLINE -- THIS SHEET BELOW RIGHT



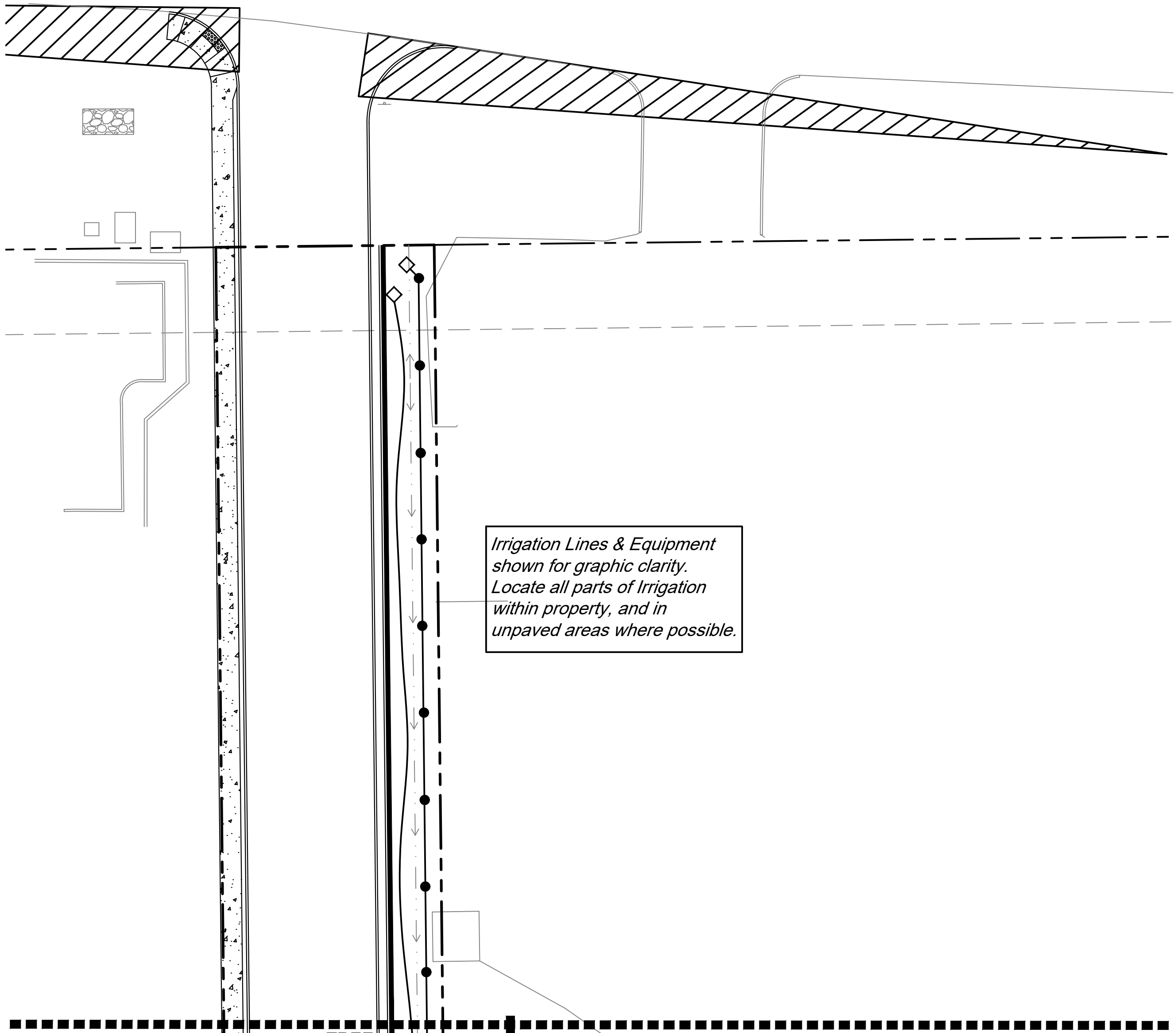
MATCHLINE -- SEE SHEET L-5

MATCHLINE -- SEE SHEET L-7



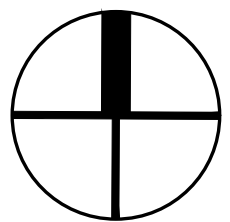
IRRIGATION NOTES

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2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
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4. Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.



MATCHLINE -- SEE SHEET L-5

MATCHLINE -- THIS SHEET ABOVE LEFT



North
SCALE: 1"=20'
C.I. = 1.0'

SCALE: 1" = 20'-0"



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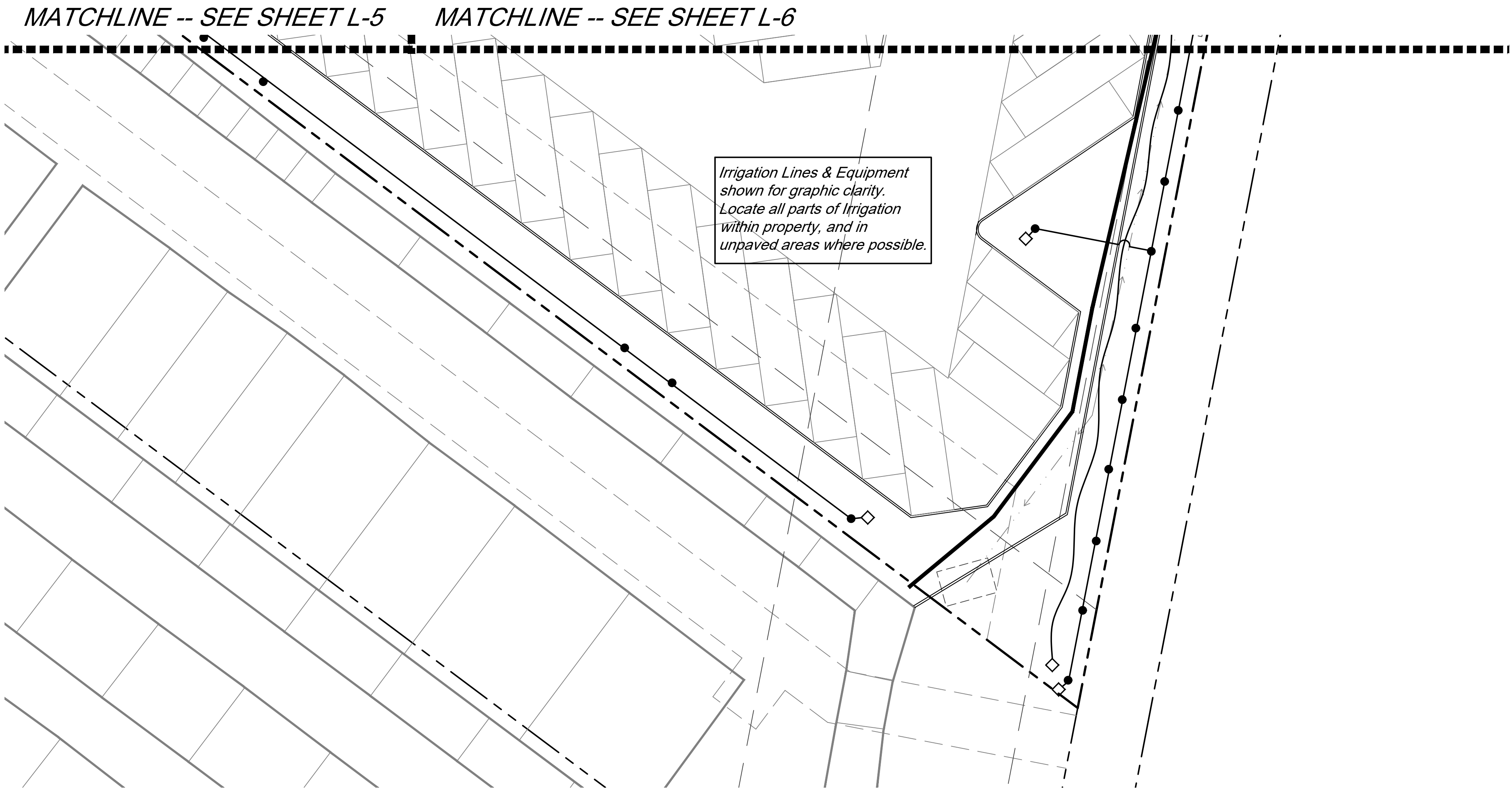
IRRIGATION PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ

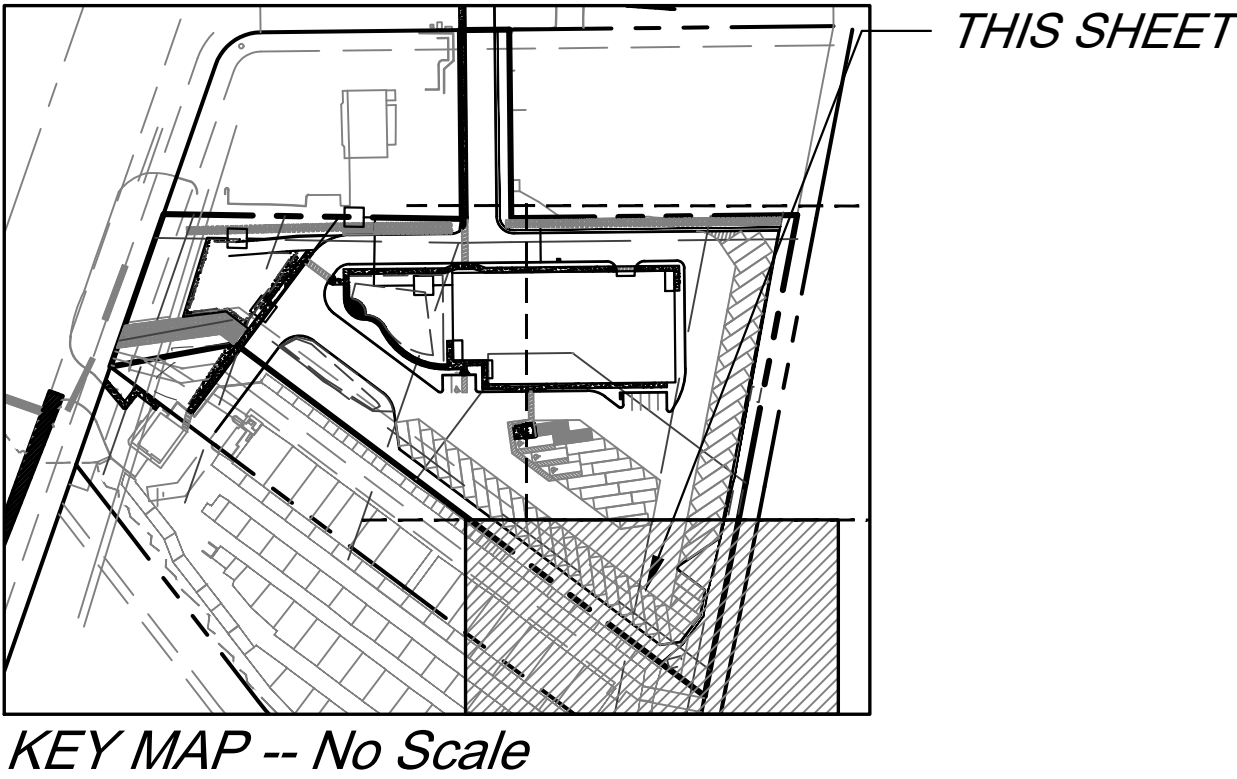
L-6

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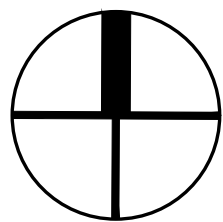


IRRIGATION LEGEND	
	Irrigation Meter - See Water Plans
	Reduced Pressure Backflow Preventer Mainline Size
	Mainline - Schedule 40 PVC 1" unless otherwise noted
	Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
	Emitter Header - Schedule 40 PVC 1" unless otherwise noted
	Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
	Poly line - .580 poly line
	Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
	Multiport Emitter - Rainbird XBT-10-6
	Sleeves - Schedule 40 PVC - 2" unless otherwise noted
	Valve ID
	Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
	Hose End Caps

- IRRIGATION NOTES
- Contractor shall coordinate electrical power supply for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
 - Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
 - Locate weather sensor so it is unimpeded by any structural elements.
 - Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
 - Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.



SCALE: 1" = 20'-0"



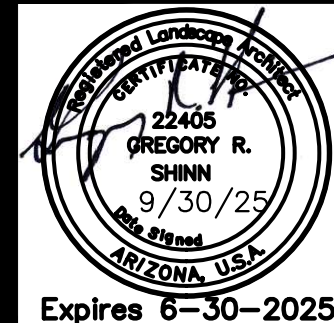
North
SCALE: 1"=20'
C.I. = 1.0'

PROJECT NUMBER:
2402615
Reference Numbers:
2401682, 2300553
2300543, 2203018

IRRIGATION PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ



35974 S. Desert Sun Drive
Tucson, AZ 85739
(520) 909-4678
gregs@grslandscapearchitects.com

Date:	9/30/25	<input type="checkbox"/> Design Review
Drawn by:	LMW	<input type="checkbox"/> Construction Documents
Checked by:	GRS	<input checked="" type="checkbox"/> Agency Submittal
		<input type="checkbox"/> Construction Set
		<input checked="" type="checkbox"/> Not for Construction

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PLANT NAME	QUANTITY	SIZE	WATER USE TYPE	ADWR ANNUAL WATER USE AT MATURITY (GALLONS)	ANNUAL WATER USE: QUANTITY TIMES ADWR ANNUAL USE (GALLONS)	MONTHLY WATER USE: ADWR ANNUAL USE DIVIDED BY 12 MONTHS
TREES:						
Acacia salicina	6	15 Gallon	2	5,702	34,212	2,851
Willow Acacia						
Cercidium floridum	7	Preserved in Place	2	5,702	39,914	3,326
Blue Palo Verde	10	Transplant		5,702	57,020	4,752
	4	36" Box		5,702	22,808	1,901
	4	48" Box		5,702	22,808	1,901
Cercidium microphyllum	15	Transplant	1	1,754	26,310	2,193
Foothills Palo Verde	6	36" Box		1,754	10,524	877
	6	48" Box		1,754	10,524	877
Cercidium x 'Desert Museum'	6	15 Gallon	1	3,948	23,688	1,974
Desert Museum Palo Verde						
Prosopis glandulosa glandulosa	11	15 Gallon	2	5,702	62,722	5,227
Thornless Honey Mesquite						
Prosopis velutina	1	Preserved in Place	2	5,702	5,702	475
Velvet Mesquite	2	Transplant		5,702	11,404	950
	1	36" Box		5,702	5,702	475
	1	48" Box		5,702	5,702	475
	5	15 Gallon		5,702	28,510	2,376
SHRUBS and ACCENTS:						
Carnegiea gigantea	15	Transplant	1	2,741	41,115	3,426
Saguaro						
Ferocactus wislizeni	33	Transplant	1	10	330	28
Barrel Cactus						
Agave victoriae-reginae	48	5 Gal	2	25	1,200	100
Queen Victoria Agave						
Calliandra eriophylla	48	5 Gal	1	70	3,360	280
Fairy Duster						
Celtis pallida	5	Transplant	2	634	3,170	264
Desert Hackberry						
Dasyliirion wheeleri	21	5 Gal	1	110	2,310	193
Desert Spoon						
Encelia farinosa	40	5 Gal	1	39	1,560	130
Brittlebush						
Hesperaloe parvifolia	86	5 Gal	1	70	6,020	502
Red Yucca						
Larrea tridentata	22	5 Gal	1	632	13,904	1,159
Creosote Bush						
Leucophyllum laevigatum	38	5 Gal	2	158	6,004	500
Chihuahuan Sage						
Ziziphus obtusifolia	1	Transplant	1	632	632	53
Gray Thorn						
Lantana montevidensis	25	1 Gal	3	263	6,575	548
Trailing Lantana						
			MONTHLY TOTAL			37,811
			ANNUAL TOTAL		453,730	

LANDSCAPE WATER PLAN												
WINTER MONTH	SPRING			SUMMER			MONSOON			WINTER		
1	2	3	4	5	6	7	8	9	10	11	12	
Year 3:												
Continue to increase irrigation water use as needed as plants mature up to, but not exceeding, 100% of ADWR value by end of year.												
100% ADWR = 453,730 gal/year and 37,811 gal/month average.												
TOTAL												
453,730	17,695	21,325	34,937	47,188	57,624	61,707	54,901	46,280	42,197	33,576	20,872	15,427
Year 4:												
Gradually decrease irrigation to buffer, median and ROW areas in order to reach zero irrigation by end of year 5.												
Building perimeter areas and Courtyards shall not be decreased.												
75% ADWR = 340,298 gal/year and 28,358 gal/month average.												
TOTAL												
340,298	13,272	15,994	26,203	35,391	43,218	46,280	41,176	34,710	31,648	25,182	15,654	11,570
Year 5:												
Continue decreasing irrigation to buffer, median and ROW areas. By end of year 5, irrigation to buffer, median and ROW areas must be zero and total amount of water used at site must meet 50% of ADWR maturity value.												
Building perimeter areas and Courtyards shall not be decreased.												
50% ADWR = 226,865 gal/year and 18,905 gal/month average.												
TOTAL												
226,865	8,848	10,663	17,469	23,594	28,812	30,854	27,451	23,140	21,098	16,788	10,436	7,713

IRRIGATION CONTROL SCHEDULE				
Year	Days	Frequency	Time	Total Water
3	M,W,F	4	25	436,800
4	M,W,F	3	25	327,600
5	M,W,F	2	25	218,400

- IRRIGATION NOTES
1.

Contractor shall coordinate electric for irrigation controller.
Contractor shall provide sleeves for remote control valve wires.
2.

Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3.

Locate weather sensor so it is unimpeded by any structural elements.
4.

Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5.

Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.
6.

Irrigation and watering plans shall meet the minimum standards of the American Society of Irrigation Consultants.
7.

If desert landscaping is used which will ultimately rely on natural water sources, a temporary drip irrigation system shall be employed until such time as the plant materials are sustained by natural water sources.
8.

The property owner is responsible for maintaining the temporary system as long as necessary in order to transition plants over to natural sources. Any plant materials that die in transition, for any reason, shall be replaced in accordance with Sec. 27.6.E.4, Maintenance.
9.

Irrigation systems connected to potable water mains (public or private) shall be equipped with backflow preventers.
10.

The annual water use for a project shall not exceed the annual landscape water plan.
11.

Irrigation meter readings shall be used to determine compliance with the landscape water plan. Non-compliance is subject to penalties under Oro Valley Town Code.
12.

Meter readings shall be taken, at a minimum, on an annual basis. Monthly readings may be required, at the discretion of the Planning and Zoning Administrator, in order to address non-compliance with the Water Plan.
13.

An initial meter reading shall be taken prior to the issuance of the certificate of occupancy and recorded for reference as part of the water plan.
14.

Irrigation water shall not leave the landscaped areas and flow onto roads, parking areas or sidewalks.
15.

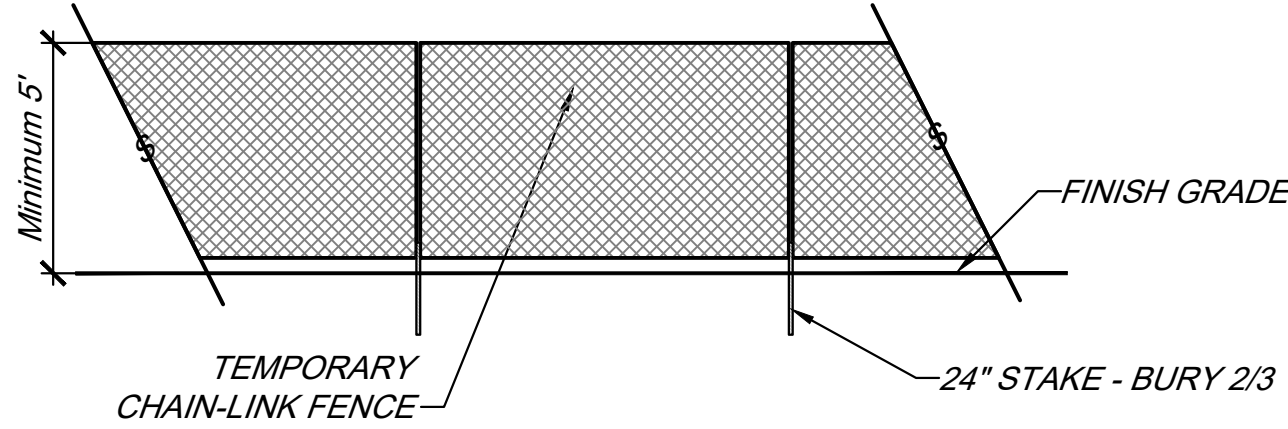
Sprinkler heads shall be installed at least eight (8) inches away from impermeable surfaces.
16.

Backflow protection device shall be installed on the customer side of the water meter.

- NOTES:
1.

Temporary fencing to be placed around temporary nursery and all PIP plants on site for duration of construction work.
2.

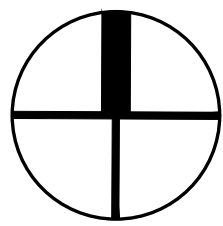
Fencing to be placed 2/3 out from trunk to drip line.



TEMPORARY BARRIER FENCE DETAIL

NTS

SCALE: 1" = 20'-0"



North
SCALE: 1"=20'
C.I. = 1.0'

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LANDSCAPE WATER PLAN

EXTRA SPACE STORAGE

8750 N Oracle Road, Tucson, AZ 85726
Town of Oro Valley, G&SRM, Pima County, AZ

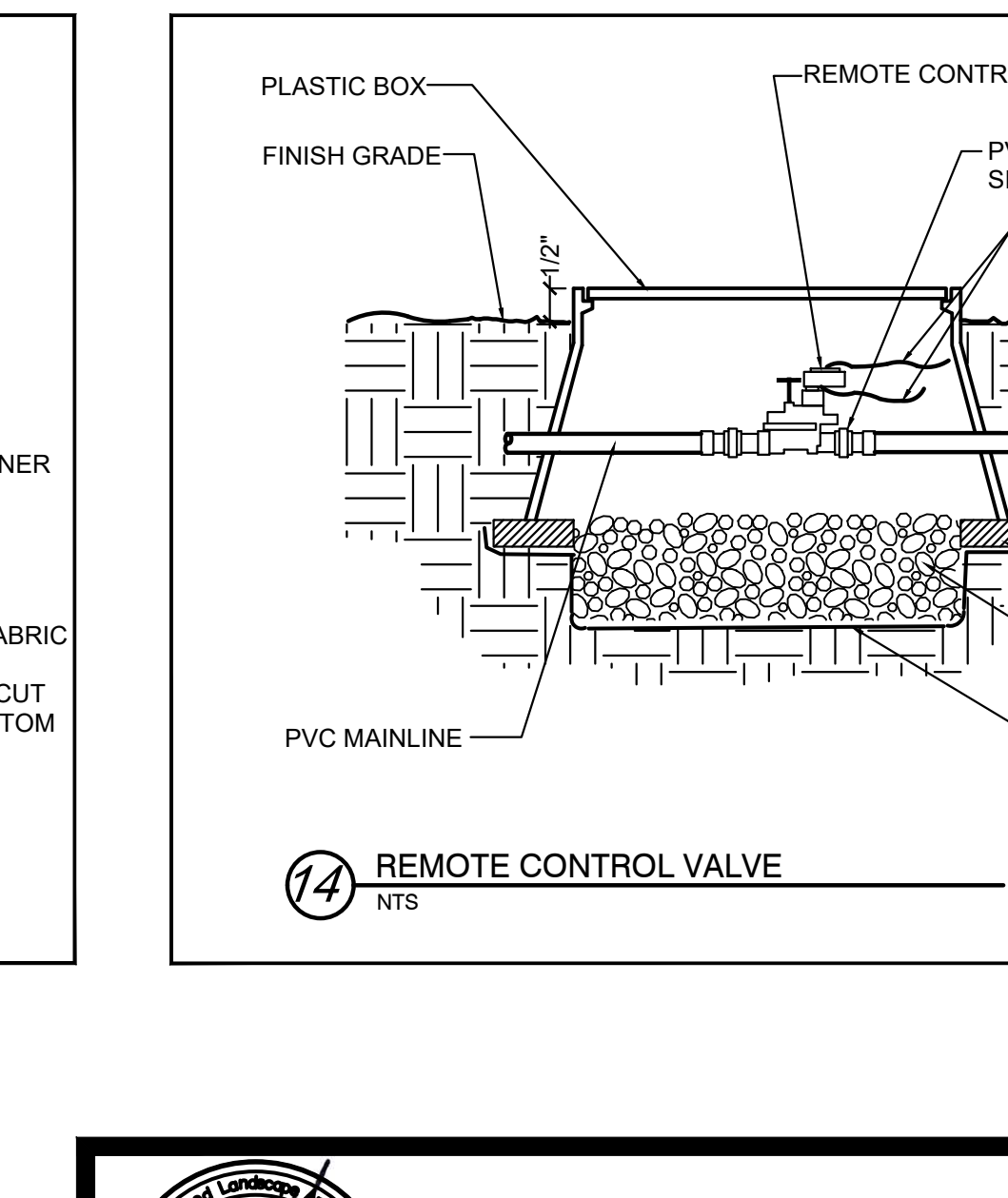
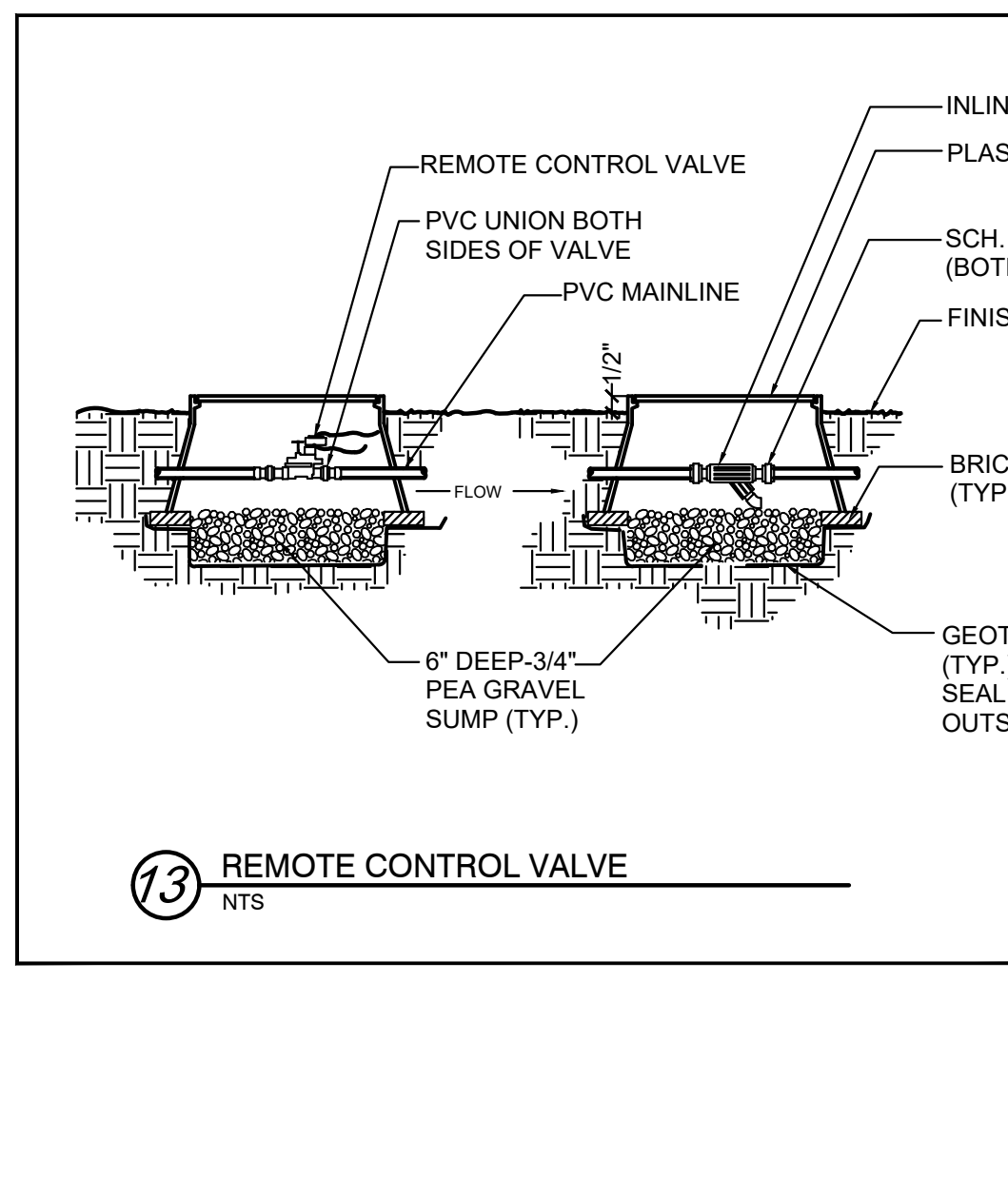
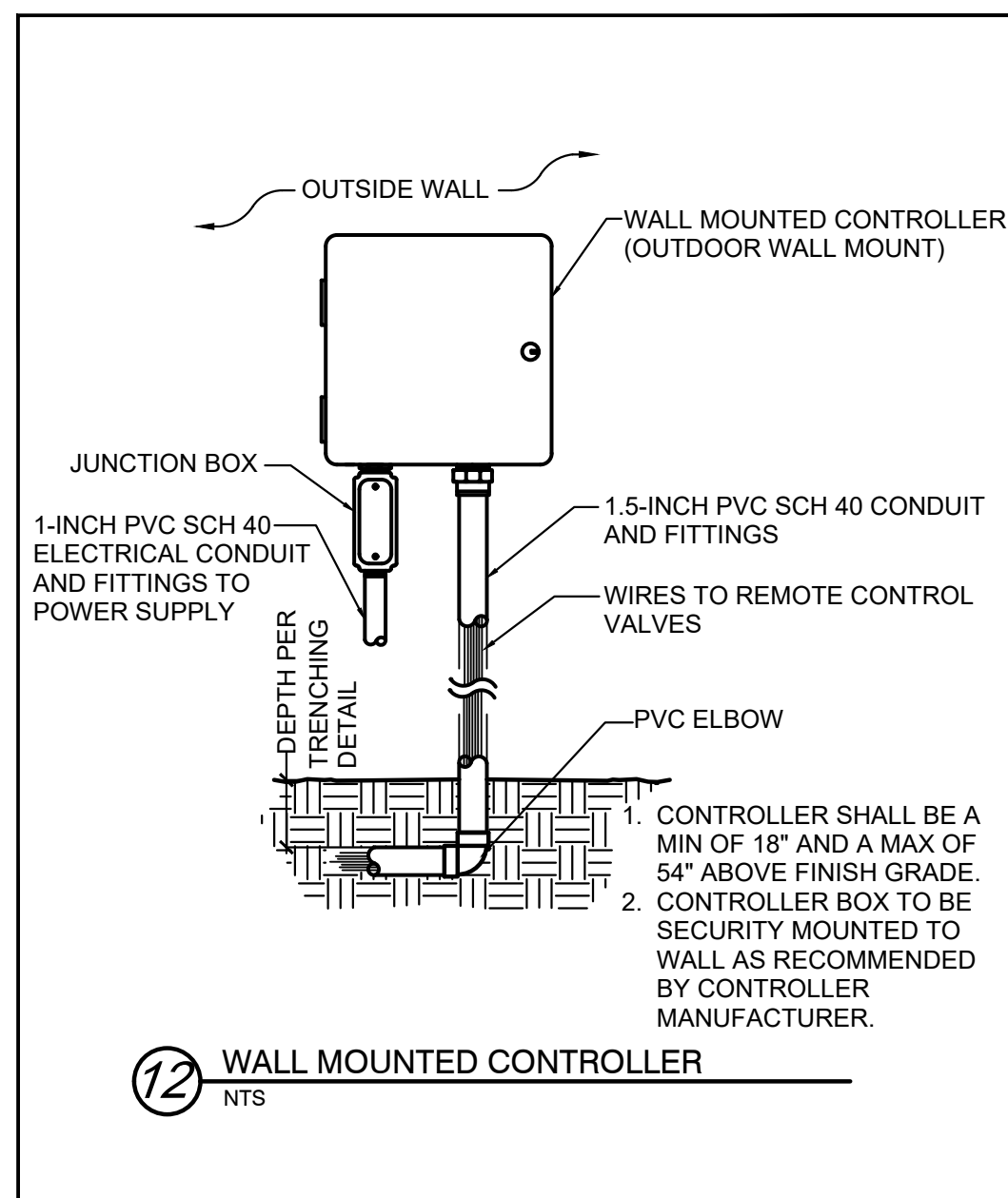
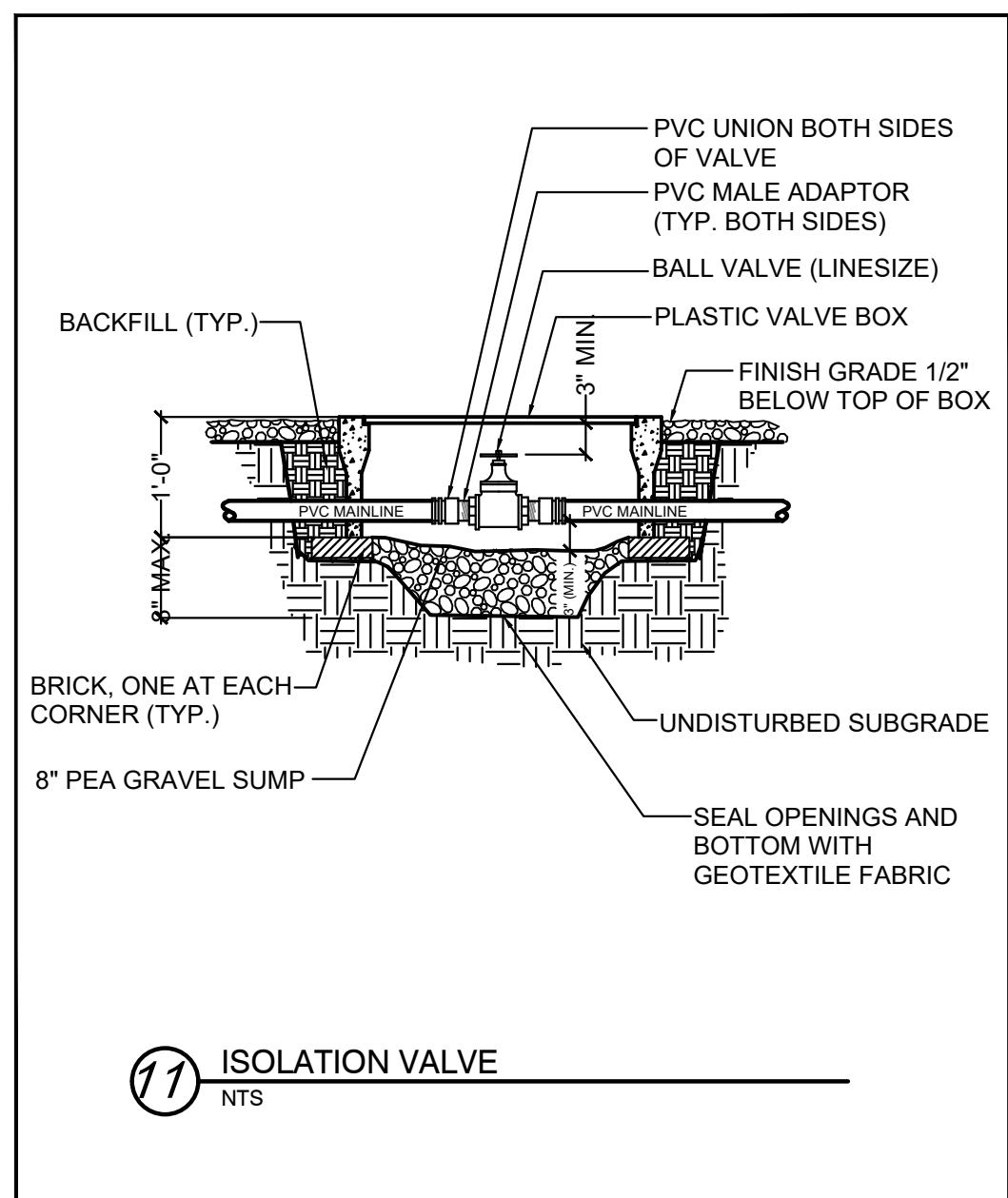
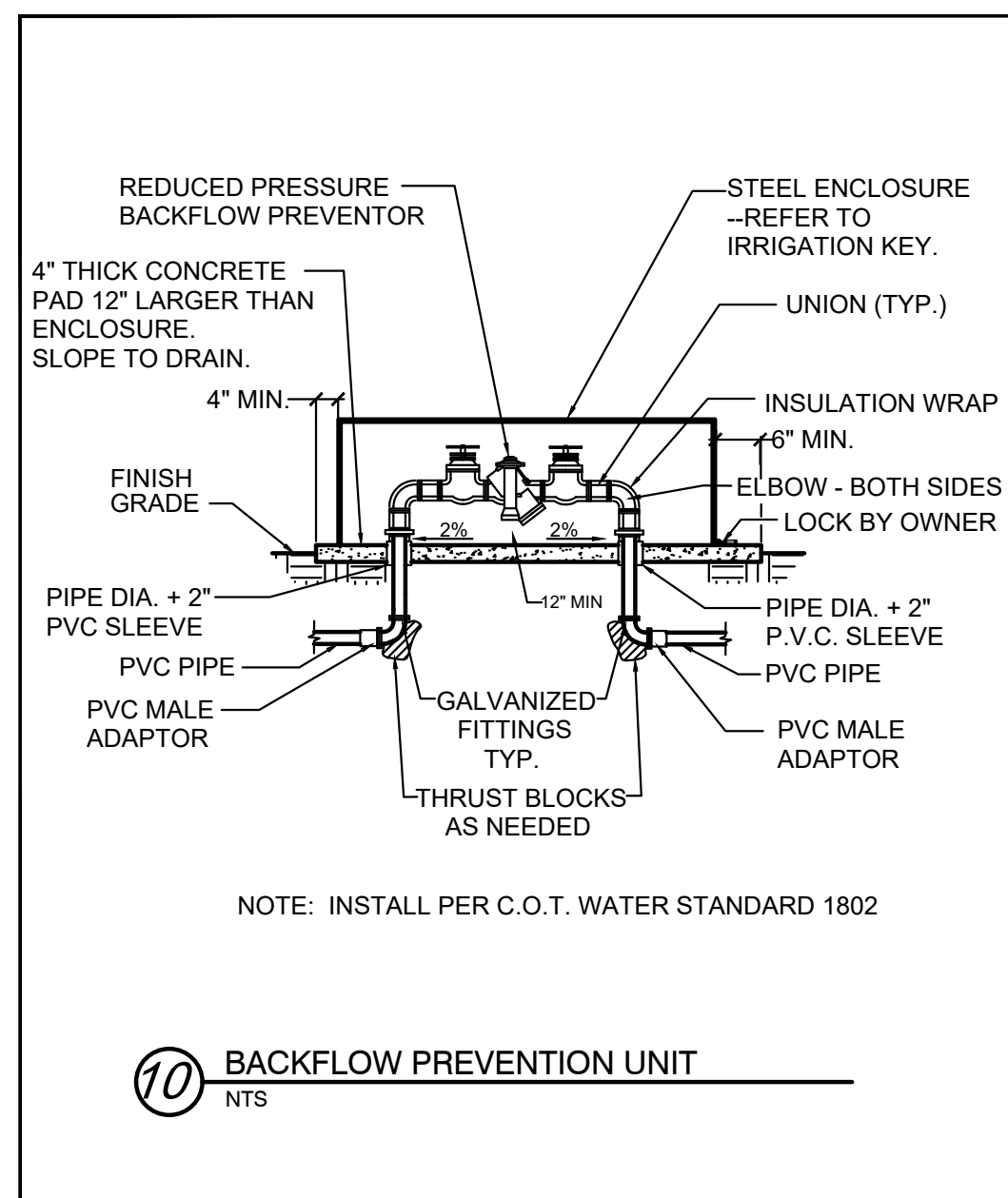
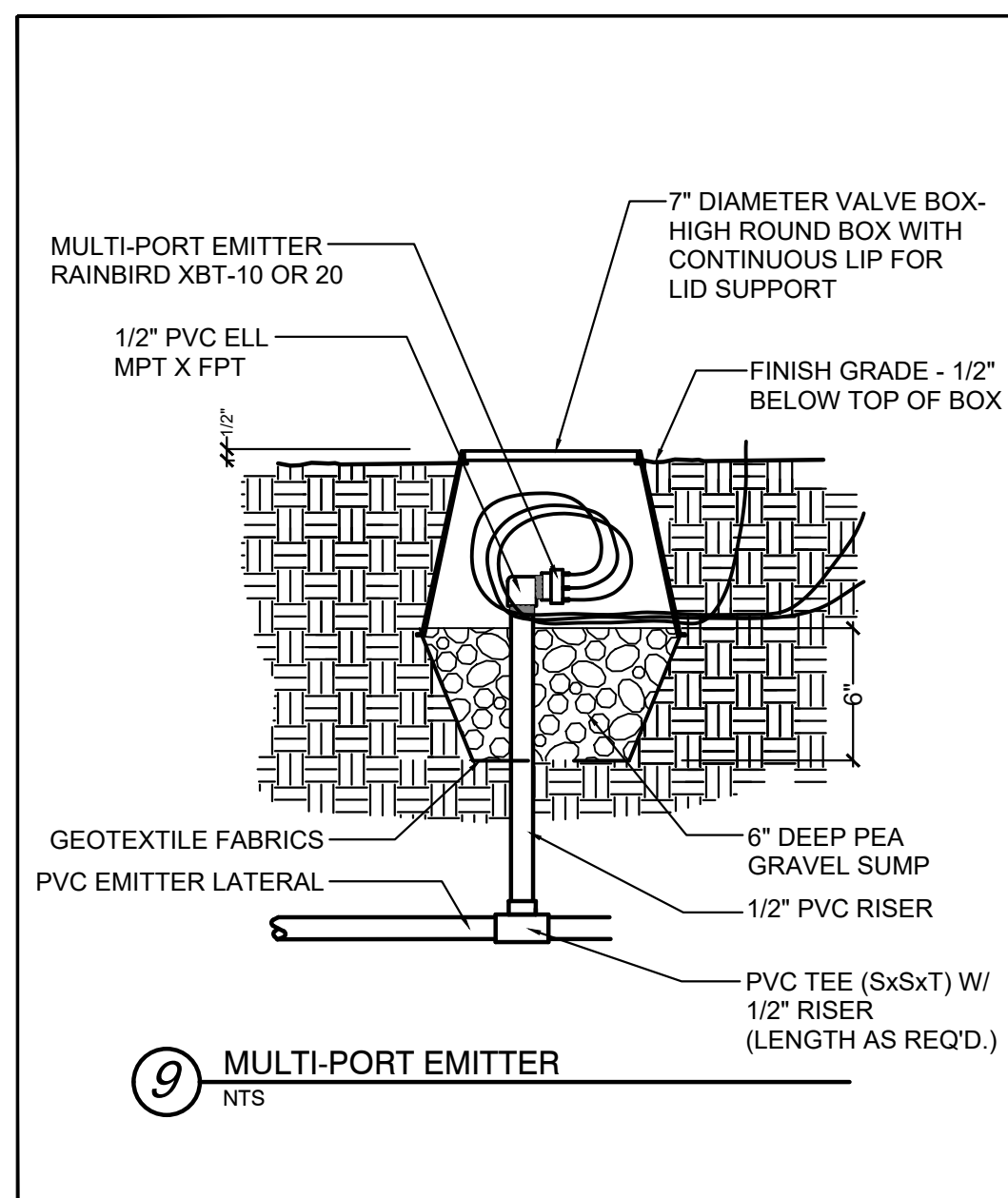
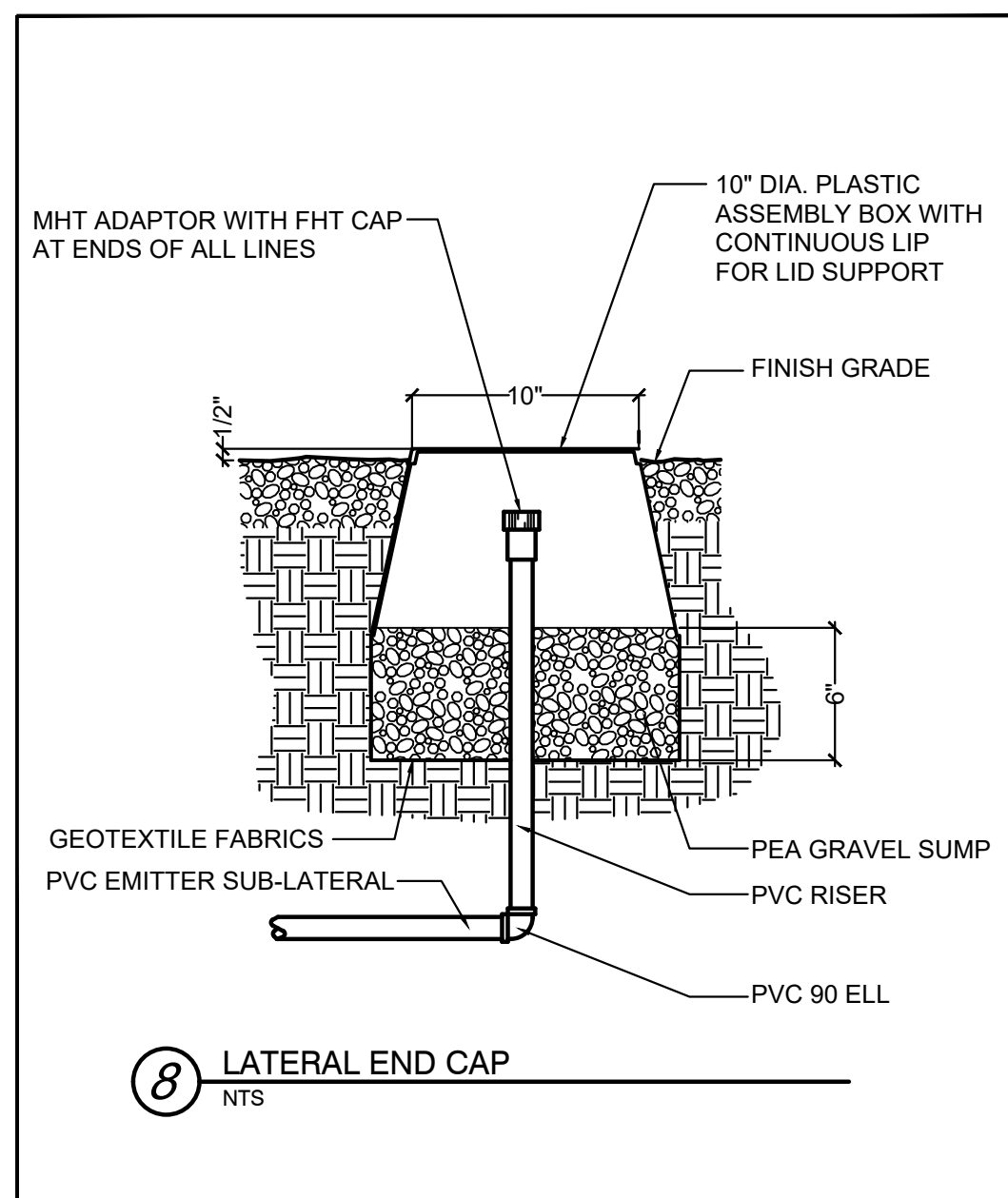
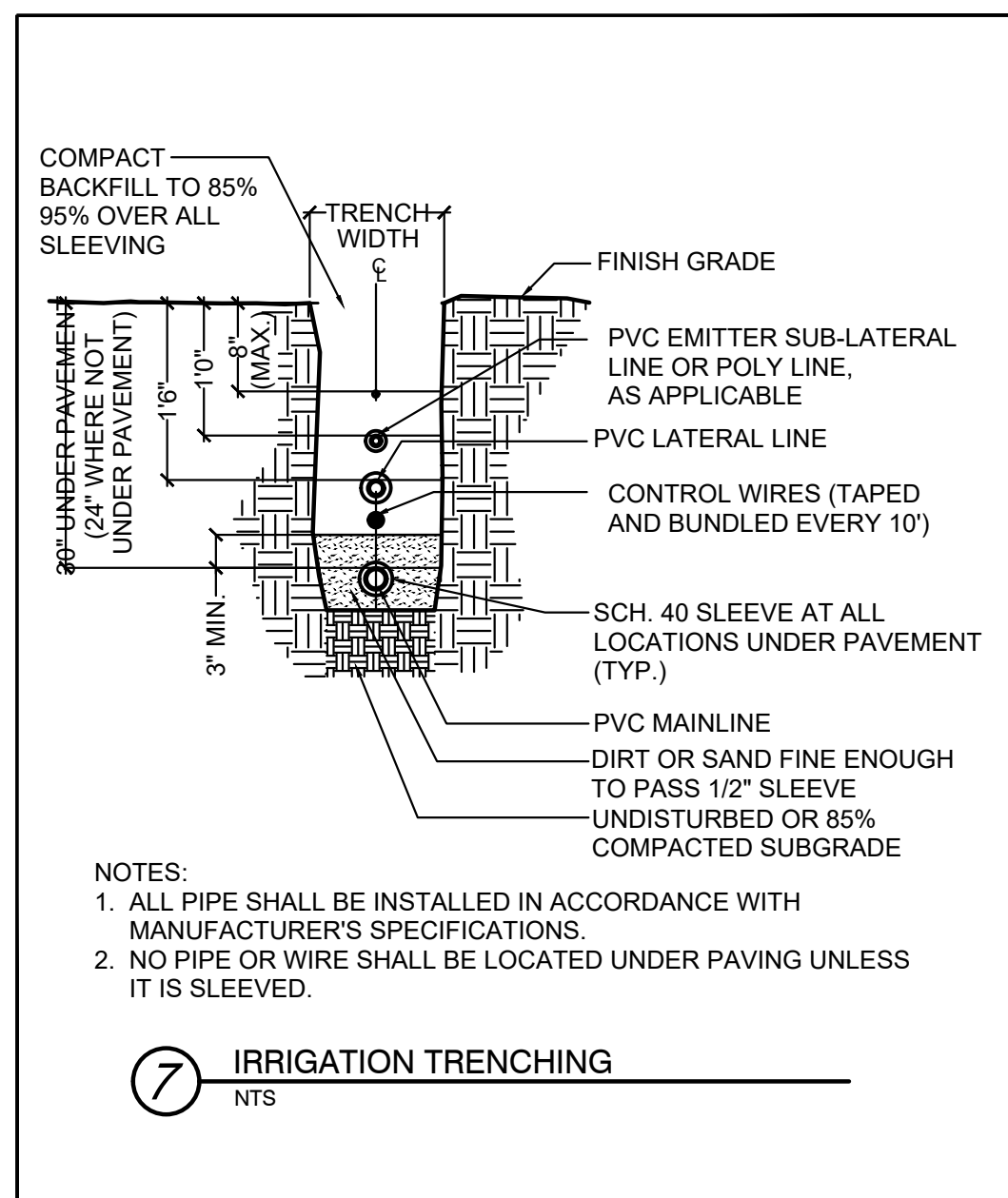
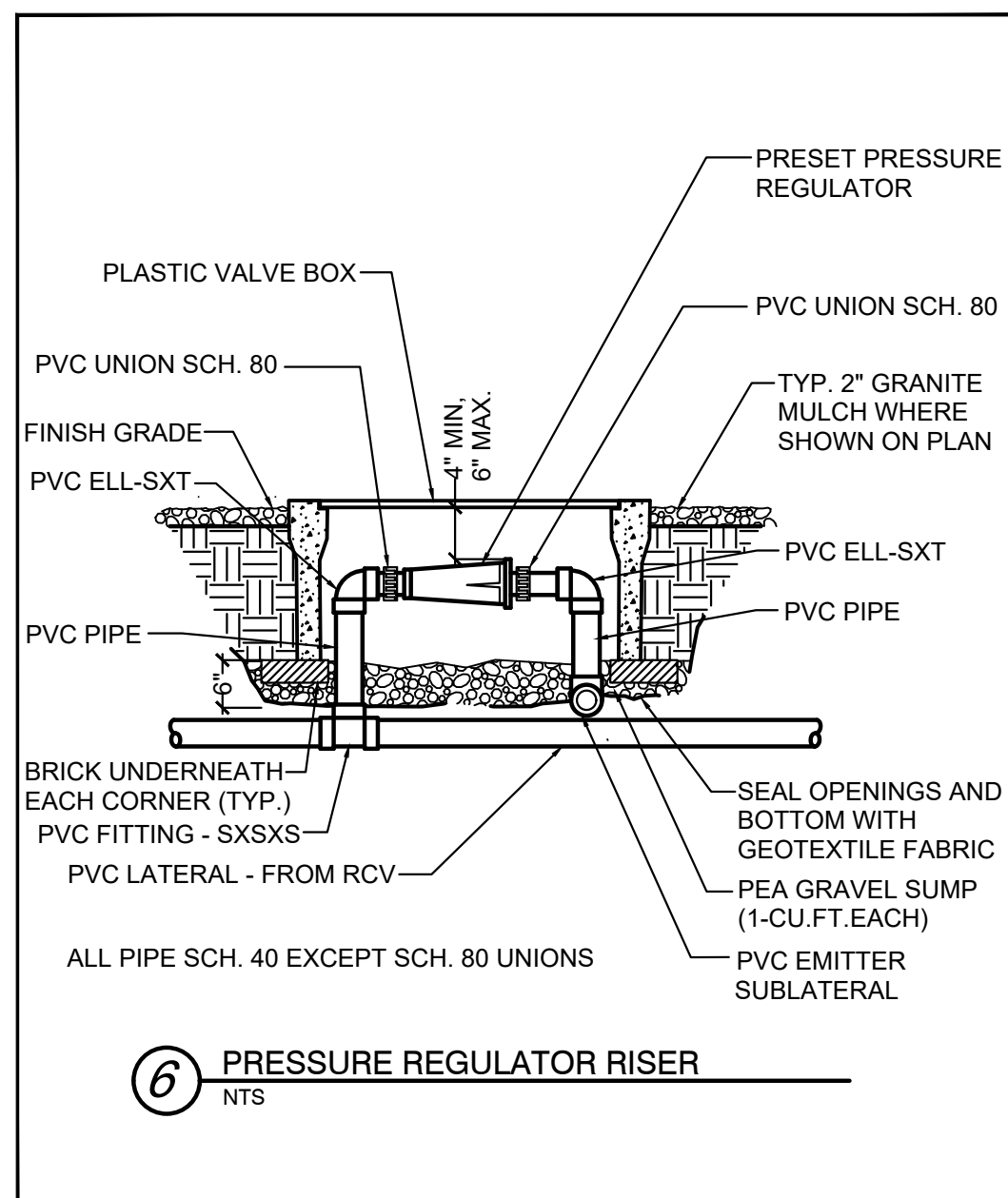
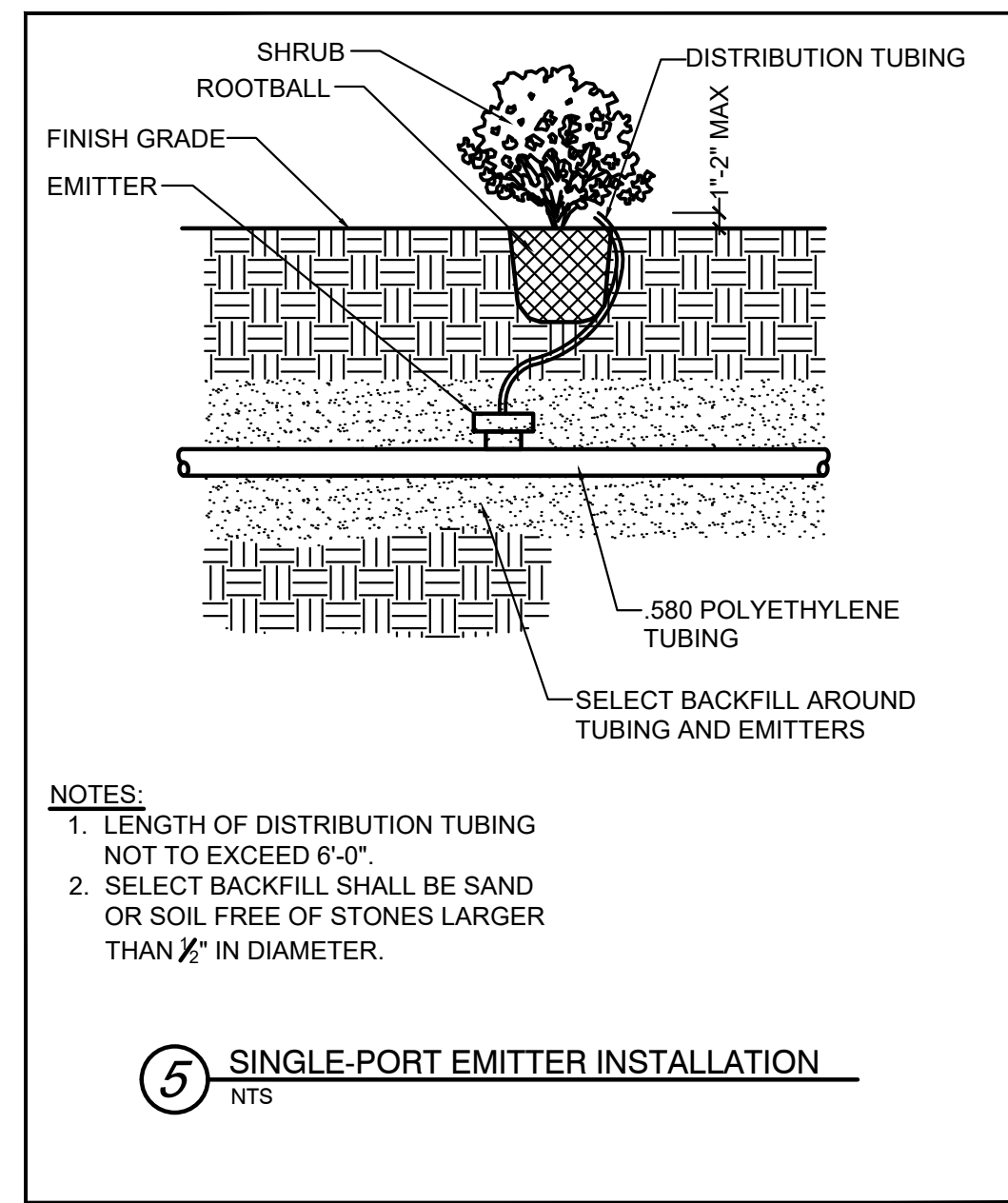
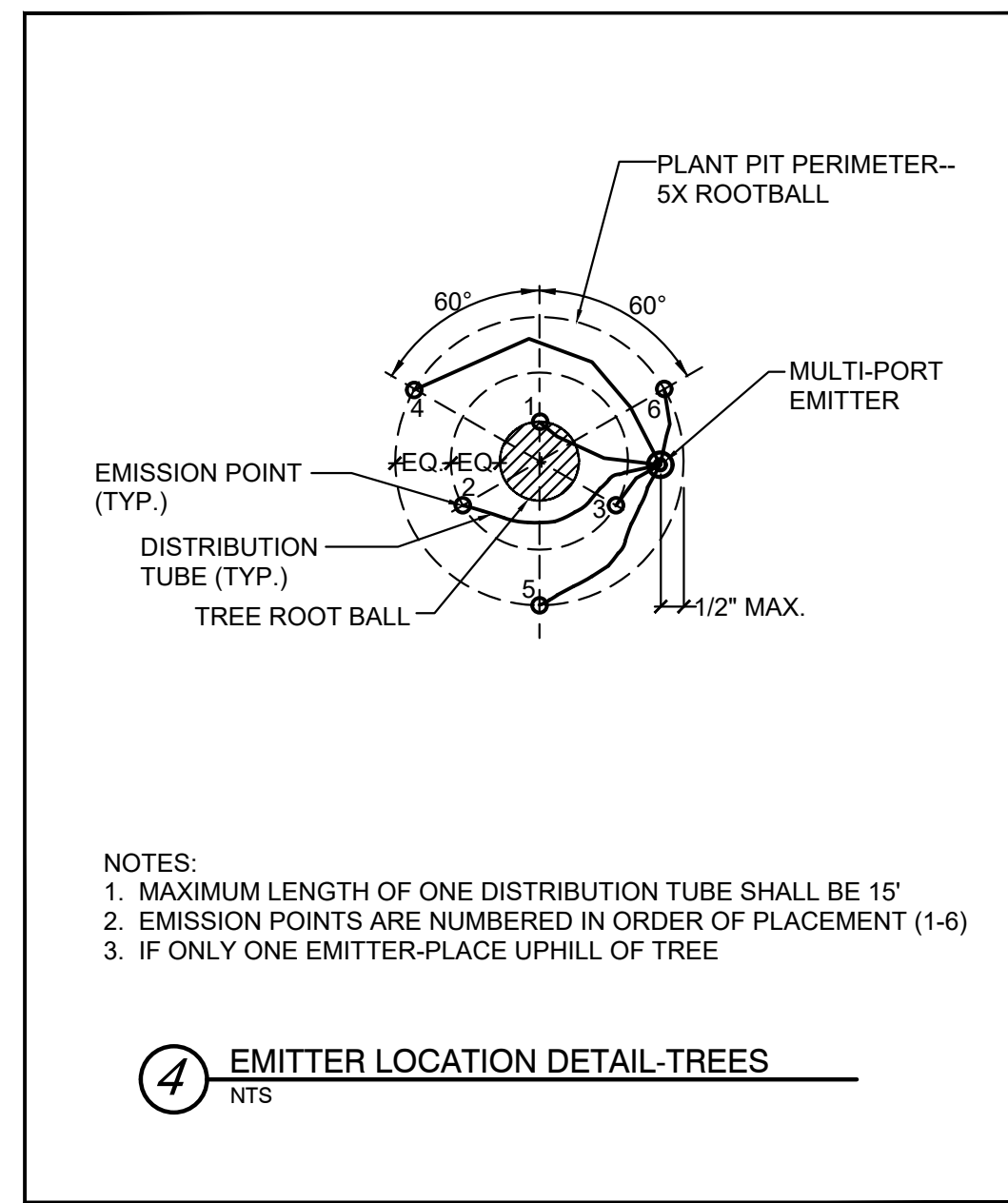
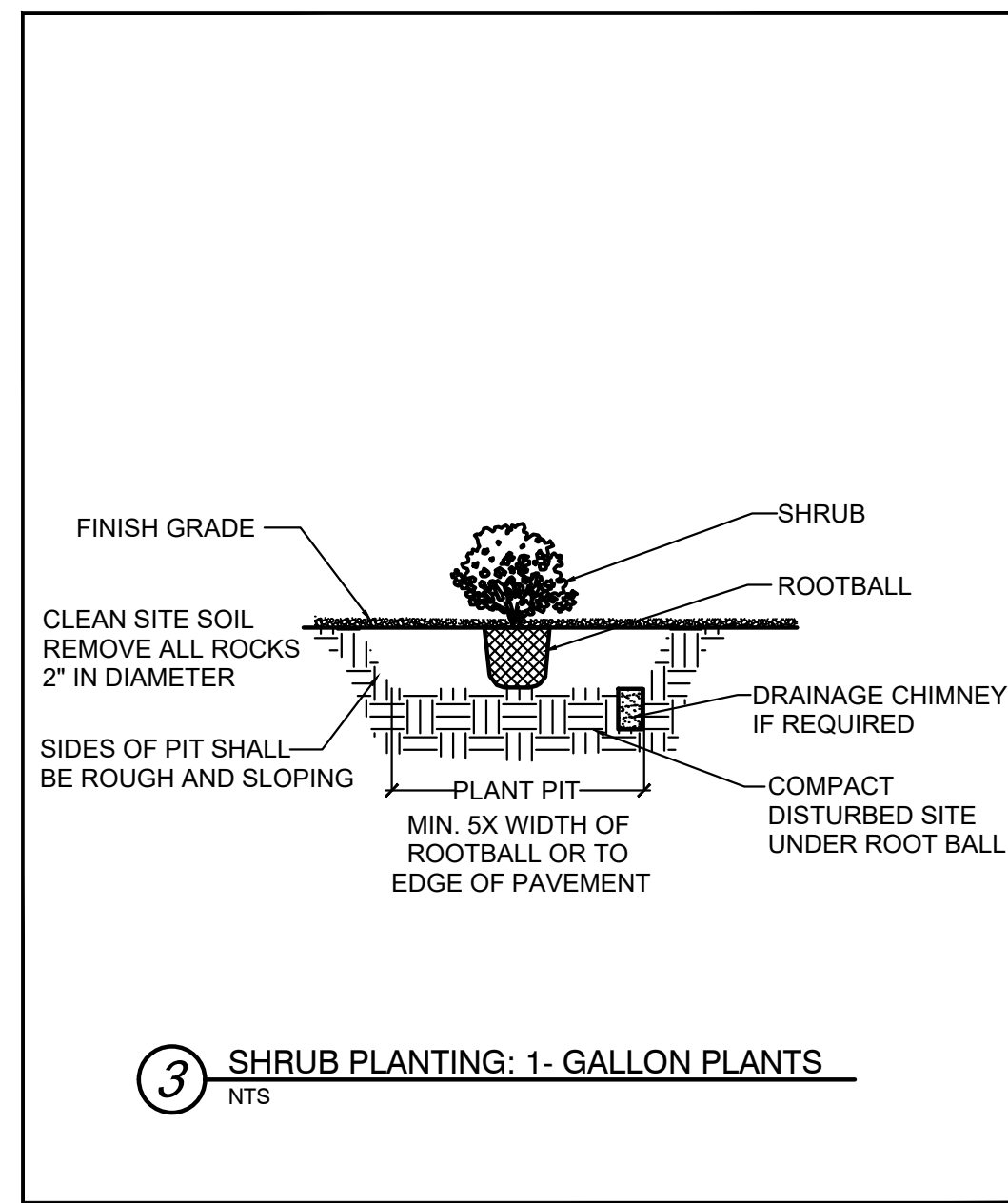
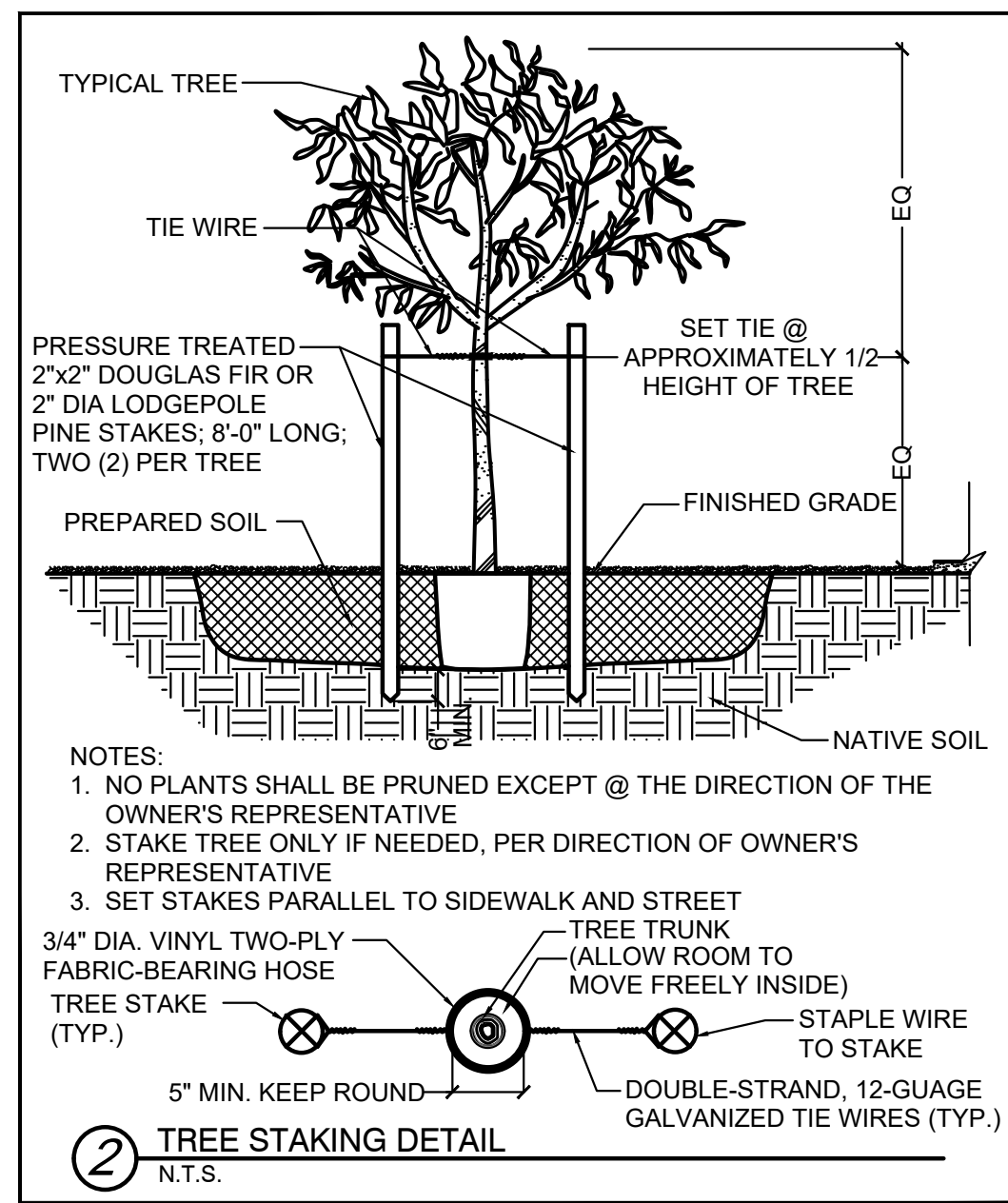
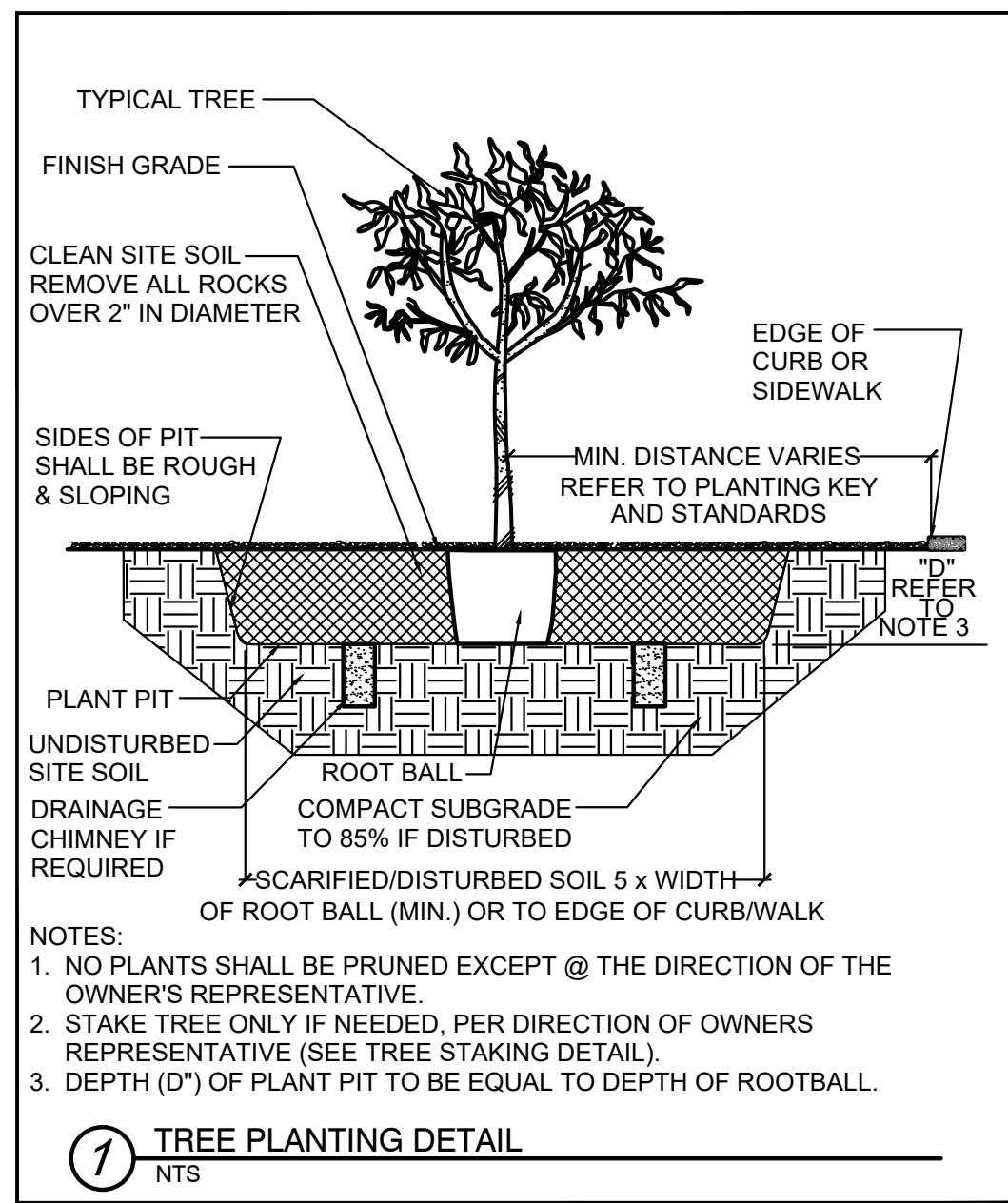


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Date: 9/30/25
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☐ Design Review
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☒ Not for Construction

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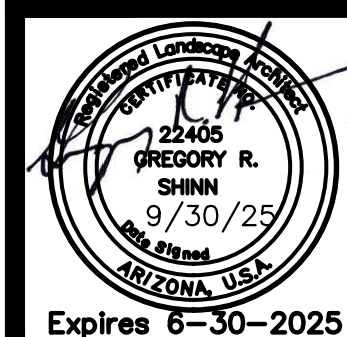


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CONSTRUCTION DETAILS

EXTRA SPACE STORAGE

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