

GENERAL NOTES

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS 2.81 AC. (122,556.3 S.F.). THE GROSS AREA OF ONSITE DISTURBANCE IS 2.23 AC. (97,224 S.F.). THE GROSS AREA OF OFFSITE DISTURBANCE IS 0.54 AC. (23,688 AC.)
2. THE GROSS FLOOR AREA OF STRUCTURES IS 20,601 SQUARE FEET. BUILDING #1 IS 7,195 SF, BUILDING #2 IS 5,428 SF, BUILDING #3 IS 5,428 SF, BUILDING #4 IS 2,055 SF.
3. MAXIMUM TOTAL BUILDING COVERAGE PER THE PAD IS 80%. PROVIDED LOT COVERAGE IS 16.8%.
4. TOTAL MILES OF NEW PUBLIC STREETS IS 0.0 MILES.
5. TOTAL MILES OF NEW PRIVATE STREETS IS 0.0 MILES.
6. THIS PROJECT FALLS UNDER DEVELOPMENT AREA D WITHIN THE EL CONQUISTADOR COUNTRY CLUB PLANNED AREA DEVELOPMENT (PAD) DATED AUGUST 17, 1983. PER 23.9.C.C AND 23.4 TABLE 23-2B, THE UNDERLYING ZONING DESIGNATION IS C-2.
7. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
8. THE PROPOSED USES FOR THIS PROJECT ARE RESTAURANT, OFFICE AND MEDICAL SERVICE.
9. PER ZONING CODE REQUIREMENTS, CONVENIENCE USES SHALL NOT BE OPEN FOR BUSINESS UNTIL A MINIMUM OF FIFTY PERCENT (50%) OF THE NET FLOOR ARE FOR NON-CONVENIENCE USE STRUCTURES WITHIN THE SHOPPING CENTER HAVE BEEN CONSTRUCTED.
10. THIS PROJECT IS SUBJECT TO THE REVISED CONDITIONS OF APPROVAL FROM THE 2006 GRADING EXCEPTION (OV12-06-16A) AND CONDITIONAL USE PERMIT (2101748).
11. THE TRAFFIC CONTROL PLAN IS A REQUIREMENT OF THE RIGHT OF WAY PERMIT APPLICATION. THE APPLICATION IS SUBMITTED BY THE CONSTRUCTION CONTRACTOR. THE PERMIT WILL INCLUDE THE CONDITION THAT ONE LANE OF TRAFFIC WILL BE MAINTAINED IN EACH DIRECTION WITH MINIMUM 11-FOOT LANES.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER THE 2006 GRADING EXCEPTION (OV12-06-16A) IS 28'. THE PROPOSED BUILDING HEIGHTS ARE AS FOLLOWS: BUILDING #1 IS 28', BUILDING #2 IS 25', BUILDING #3 IS 25', BUILDING #4 IS 20'. ALL BUILDINGS ARE 1-STORY.
2. THIS PROJECT IS NOT SUBJECT TO SPECIAL OVERLAY ZONES.
3. THIS PROJECT IS NOT SUBJECT TO TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
4. THIS PROJECT DOES NOT CONTAIN ANY RIPARIAN HABITAT WITHIN THE 100-YEAR FLOODPLAIN.
5.
 - a. THE TOTAL AREA OF OPEN SPACE REQUIRED PER ORO VALLEY ZONING CODE TABLE 23-2B (C-2 UNDERLYING ZONING) IS 20% OF THE GROSS AREA OF THE PARCEL. TOTAL AREA OF OPEN SPACE PROVIDED IS 20.03% (LANDSCAPE=9.68%, FRONTAGE=10.35%)
 - b. THE MINIMUM AMOUNT OF LANDSCAPED COURTYARD/PEDESTRIAN MALLS IS 2% OF THE NET LOT AREA (EXCLUDING UN-BUILDABLE WASH AREA) PER 23.8.3.B.c. (97,224 S.F. X 0.02 = 1,944 S.F.). THE TOTAL AMOUNT OF PROVIDED LANDSCAPED COURTYARDS/PEDESTRIAN MALLS IS 2.61% (2,533 S.F.)
 - c. THE REQUIRED LANDSCAPED BUFFER-YARD TYPE B HAS BEEN CHOSEN FOR THE UNDERLYING ZONING DESIGNATION:
STREET = 30'
SIDE = 30'
REAR = 30'
 - d. BUILDING SETBACKS:
STREET (LA CANADA) - 25' REQUIRED; 30.1' (MIN.) PROVIDED
STREET (NARANJA) - 25' REQUIRED; 30.2' (MIN.) PROVIDED
NORTH - 25' REQUIRED; 42.6' (MIN.) PROVIDED
WEST - 25' REQUIRED; 43.5' (MIN.) PROVIDED
6. THE OWNER IS RESPONSIBLE FOR THE OPEN SPACE AND BUFFERYARD MAINTENANCE.
7. THIS PROJECT FALLS UNDER DEVELOPMENT AREA D OF THE EL CONQUISTADOR COUNTRY CLUB PLANNED AREA DEVELOPMENT (PAD). SEE PAD DOCUMENT DATED AUGUST 17, 1983, LATEST REVISION BY ORDINANCE (O) 92-21 DATED DECEMBER 2, 1992.
8. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
10. CONVENIENCE USES SHALL NOT BE OPEN FOR BUSINESS UNTIL A MINIMUM OF FIFTY PERCENT (50%) OF THE NET FLOOR AREA FOR THE NON-CONVENIENCE USES STRUCTURES WITHIN THE SHOPPING CENTER HAVE BEEN CONSTRUCTED.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE EAST LINE OF THE S.E. 1/4 OF SECTION 3, T12S, R13E G.&S.R.M., PIMA COUNTY, ARIZONA AS SHOWN ON THIS PLAN AND ON THE "CANADA HILLS - VILLAGE 15" PLAT AS RECORDED IN BOOK 23, PAGE 49, MAPS & PLATS, RECORDS OF PIMA COUNTY, AZ. THE BEARING OF SAID LINE IS N 00°00'16" E.
5. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION "OPUS" CONTROL POINT "12S13E_E17", DESCRIBED AS A 1/2" REBAR TAGGED "PCDOT GPS" 2FT EAST OF AN ELECTRIC TRANSFORMER, APPROX. 201 FT N.W. OF THE INTERSECTION OF LA CANADA DR AND NARANJA DR., THE ELEVATION OF SAID BENCHMARK IS 2,716.67', NAVD 88 DATUM.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

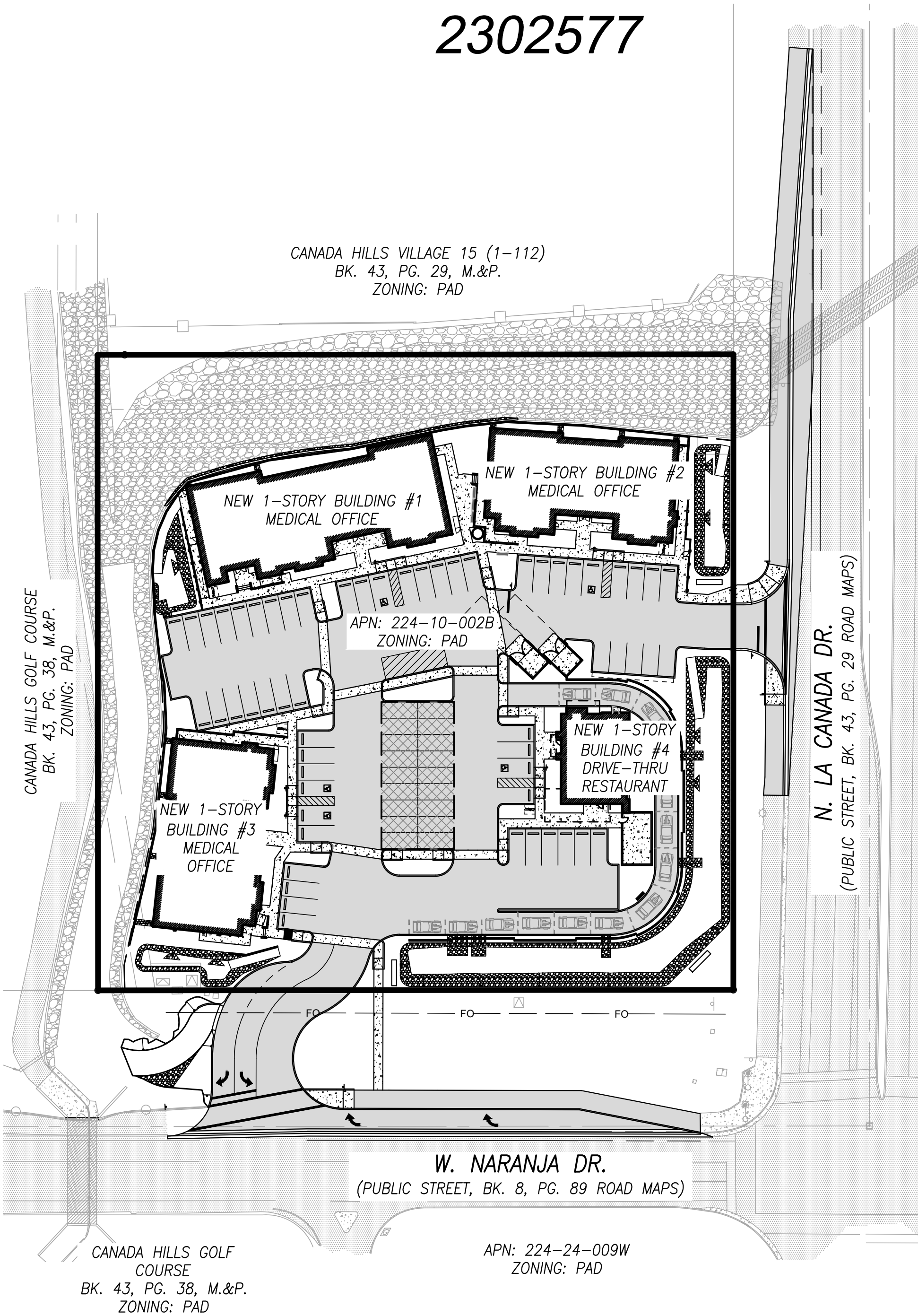
2006 GRADING EXCEPTION (OV12-06-16A) CONDITIONS OF APPROVAL

1. ALL AREAS DISTURBED BY GRADING SHALL BE RE-VEGETATED WITH NATURAL ROCK AND PLANT MATERIAL. VEGETATION SHALL BE USED TO MINIMIZE THE VISUAL IMPACTS OF GRADING.
2. THE TOPS AND TOES OF SLOPES SHALL BE ROUNDED TO BLEND WITH THE NATURAL GRADES.
3. ALL RETAINING WALLS SHALL BE DESIGNED TO REDUCE EXCESSIVE AMOUNT OF SLOPE AREA AND PRESERVE EXISTING VEGETATION.
4. NO GRADING DISTURBANCES SHALL BE VISIBLE FROM LA CANADA DRIVE AND NARANJA DRIVE. ANY AREAS OF VISIBLE DISTURBANCE SHALL BE MITIGATED WITH THE ABOVE METHODS OR SHALL HAVE VEGETATIVE SCREENING.
5. THE COLOR AND TEXTURE OF RETAINING WALLS SHALL BE CONSISTENT WITH THE CHARACTER OF SURROUNDING NATURAL AREAS.
6. APPROVAL OF THE GRADING EXCEPTION DOES NOT CONSTITUTE APPROVAL OF THE PROPOSED CONCEPTUAL PLAN.
7. THE HEIGHT OF THE BUILDING(S) SHALL BE LIMITED TO (28').
8. LOADING ZONES SHALL BE ADEQUATELY SCREENED ON ALL FIVE SIDES. THE SPECIFICS MUST BE ADDRESSED AS PART OF THE DEVELOPMENT AND LANDSCAPE PLAN PROCESS.
9. ALL MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL FIVE SIDES. THE SPECIFICS MUST BE ADDRESSED AS PART OF THE ARCHITECTURAL REVIEW PROCESS.
10. THE SITE DESIGN MUST NOT INCORPORATE A LOOP ROAD AT THE BACK OF THE BUILDINGS ADJACENT TO THE DRAINAGEWAYS.

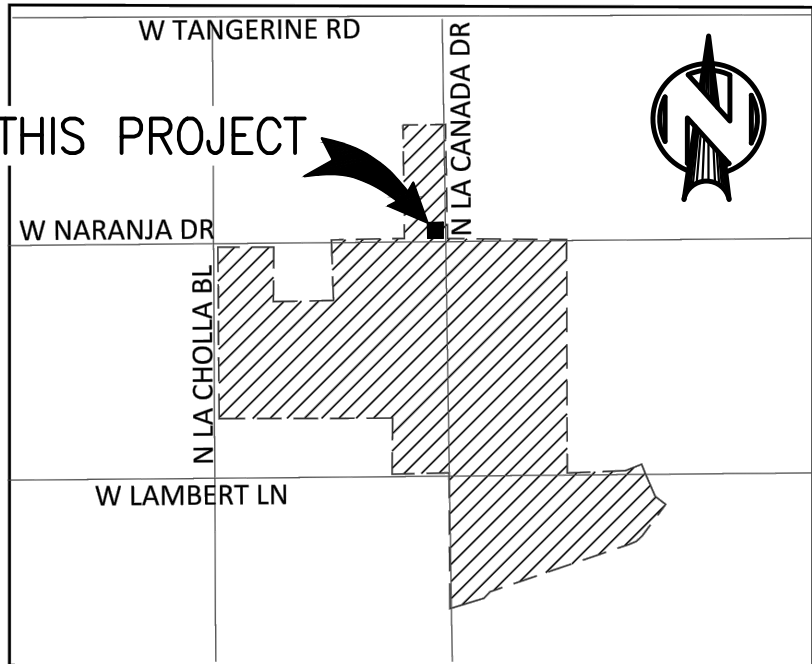
PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT AS ADOPTED BY THE TOWN OF ORO VALLEY:
 - A. INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
 - B. NATIONAL ELECTRICAL CODE.
 - C. ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - D. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS.
 - E. TOWN OF ORO VALLEY POOL CODE.
 - F. PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.) STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
 - G. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
 - H. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL.
 - I. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
 - J. ORO VALLEY TOWN CODE, CURRENT REVISED.

FINAL SITE PLAN FOR
NWC LA CANADA / NARANJA
2302577



NORTH
SCALE: 1"=40'



PAD DISTRICT PLAN

COPPER CREEK 1,
BLOCK 1 (38-87)
BK. 43, PG. 29, M.&P.
ZONING: R-4

APPROVALS

Bayer Vella

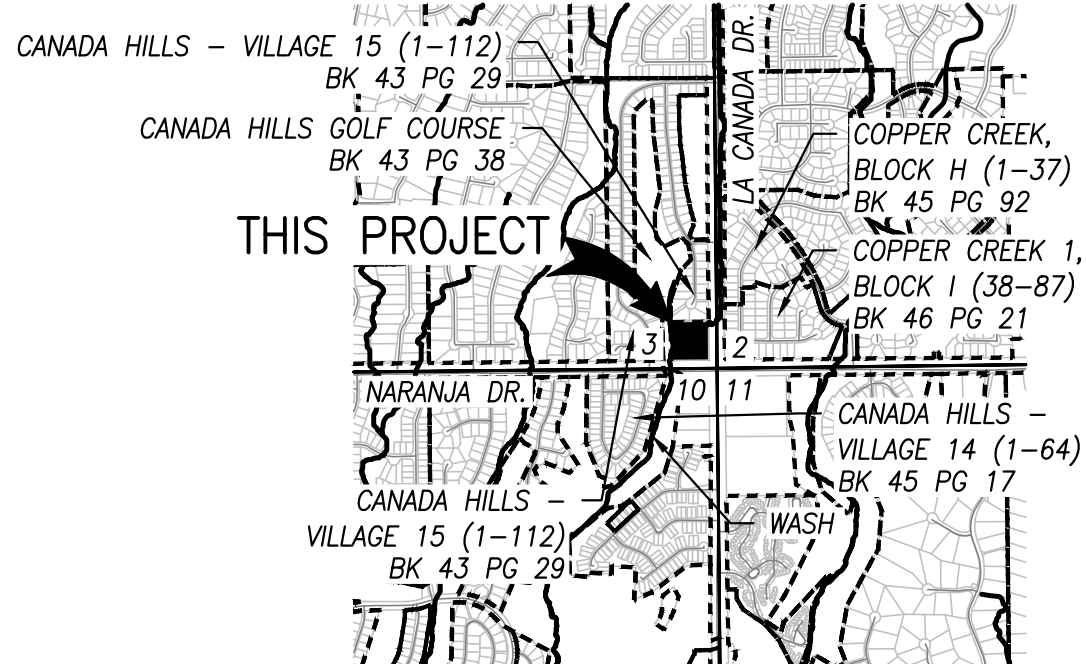
PLANNING AND ZONING ADMINISTRATOR

Digitally signed by Jose Rodriguez
Date: 2024.11.13 11:01:36-0700

TOWN ENGINEER

Peter Abraham

ORO VALLEY WATER UTILITY DIRECTOR



LOCATION MAP

SCALE: 3" = 1 MILE
A PORTION OF SECTION 3, T-12-S,
R-13-E, GILA AND SALT RIVER MERIDIAN,
PIMA COUNTY, ARIZONA

SHEET INDEX

- 1 - C1.0 COVER SHEET
- 2 - C1.1 LEGEND & ABBREVIATIONS
- 3 - C2.0 SITE PLAN
- 4 - C3.0 GRADING PLAN
- 5 - C4.0 PRIVATE UTILITY PLAN
- 6 - C5.0 DETAILS

OWNER/DEVELOPER

LA CANADA/NARANJA LLC

CONTACT : ROBERT SCHWARTZ
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EMAIL : bobonthecoast@usa.net

CIVIL ENGINEER

GRENIER ENGINEERING, INC.

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ARCHITECT

GANSLINE & ASSOCIATES

CONTACT : BILL GANSLINE
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TUCSON, AZ 85718
PHONE : (250) 903-4042
EMAIL : gansline@usa.net

LANDSCAPE ARCHITECT

ARC STUDIOS

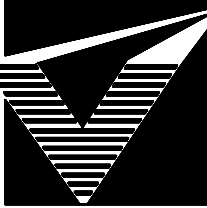
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REGISTRATION NO. 39813

REFERENCE CASE NUMBERS:
2101733, 2101748, 2100814, OV1206-16A, IP1912-06,
G13000016, G1400034, G1500014, G1702595

PARKING, LOADING, AND BICYCLE STORAGE CALCULATIONS

BUILDING NUMBER	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO (PER PAD)	TOTAL PARKING		ACCESSIBLE PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
1	OFFICE/MEDICAL SERVICE	7,195	1:300	24	24	1	1		0	0	1	1	1	2
2	OFFICE/MEDICAL SERVICE	5,428	1:300	19	19	1	1		0	0	1	1	1	2
3	OFFICE/MEDICAL SERVICE	5,428	1:300	19	19	1	2		0	0	1	1	1	2
4	DRIVE-THRU RESTAURANT	2,055	1:200	11	13	1	1		0	0	0	0	1	2
TOTALS		20,106		73	75	4 (1 VAN)	5 (4 VAN)	1:5,000-24,999	1	1	3	3	4	8

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

Rev #	Date	Description
 GRENIER ENGINEERING, Inc. Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508		
Job Number: 21164 Designed By: AR/JEG Drawn By: AR Checked By: JM Date: 3/11/2024 Contour Interval: 1' Scale: Vt: N/A Ht: AS NOTED		
Project: FINAL SITE PLAN FOR NWC LA CANADA / NARANJA PROJECT NAME A PORTION OF SECTION 3, T12S, R13E, G&SRM, PIMA COUNTY, ARIZONA		
Sheet Number: C1.0 Sheet 1 of 6		

Permit #2400614 OV #2302577

GENERAL UTILITY NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

ORO VALLEY WATER UTILITY NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE BEFORE ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
4. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
5. ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM. MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FORWARD FLOW TESTS AT A MINIMUM FLOW RATE OF THE SYSTEM DEMAND INCLUDING HOSE ALLOWANCE WHERE APPLICABLE. PROVIDE TEST HEADERS.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
7. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
8. ALL WELLS WITHIN THE PROJECT BOUNDARIES MUST BE ABANDONED PER ADWR REGULATIONS.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

ORO VALLEY DRAINAGE GENERAL NOTES

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FORM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED." PARCELS AFFECTED BY REGULATORY FLOODPLAIN MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER, IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
4. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
5. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
7. IF APPLICABLE, LIST THE FOLLOWING NOTES AND COMPLETE THE BLANKS.
8. THIS LOT IS AFFECTED BY THE TOWN OF ORO VALLEY FLOODPLAIN REGULATIONS.
9. A FLOODPLAIN USE PERMIT AND/OR FINISHED FLOOR ELEVATION CERTIFICATES ARE REQUIRED FOR THIS LOT.

CUP CONDITIONS (2101748)

1. SHADED SEATING MUST BE PROVIDED AT THE OUTDOOR PATIO AREA ADJACENT TO THE DRIVE-THRU RESTAURANT.
2. AN AUTOMATIC GAIN CONTROL MUST BE INSTALLED AS PART OF THE MENU BOARD SPEAKER TO PREVENT ANY INADVERTENT INCREASE IN NOISE DECIBELS THAT EXCEED ZONING CODE STANDARDS.
3. NOISE THRESHOLDS MAY NOT EXCEED THE LEVELS ESTABLISHED IN THE NOISE IMPACT STUDY.
4. THE ORDER KIOSK LOCATION MUST BE PLACED IN THE LOCATION AS SHOWN IN THE NOISE IMPACT STUDY, OR A REVISED STUDY WILL BE REQUIRED.
5. THE SCREEN WALL FOR VEHICLE STACKING LANES MUST BE COMPLETELY OPAQUE AT THE CURVE WHERE THE ORDER KIOSK IS LOCATED. THE KIOSK MAY NOT EXCEED THE HEIGHT OF THE SCREEN WALL (6- FEET) NOR BE VISIBLE FROM ADJACENT ROADWAYS.
6. HOURS OF OPERATION FOR THE DRIVE-THRU WILL BE LIMITED FROM 5AM TO 10PM.
7. IF ANY OTHER USE THAN AS DESCRIBED BY ITE CATEGORY 937 IS PROPOSED NOW AND/OR IN THE FUTURE FOR THE REQUESTED DRIVE-THROUGH PAD, A COMPLETE REEVALUATION OF TRAFFIC SHALL BE REQUIRED PRIOR TO ANY ACCEPTANCE BY THE TOWN ENGINEER.

CSP CONDITIONS (2101733)

NORTHWEST CORNER OF NARANJA DR. AND LA CAÑADA DR. CONDITIONAL USE PERMIT, GRADING EXCEPTION WAIVER, AND CONCEPTUAL SITE PLAN CONDITIONS OF APPROVAL.

PLANNING AND ZONING COMMISSION
JANUARY 10, 2023

ITEM A – GRADING EXCEPTION WAIVER (OV1206–16A)

PLANNING CONDITIONS

1. MAINTENANCE OF THE DRAINAGE CHANNELS ON THE PROPERTY MAY NOT REDUCE THE NUMBER OF REQUIRED PLANTS NEEDED TO MEET BUFFERYARD REQUIREMENTS.
2. MAINTENANCE OF THE DRAINAGE CHANNELS ON THE PROPERTY MAY NOT REDUCE THE NUMBER OF MATURE TREES NEEDED TO PROVIDE A CONTINUOUS TREE CANOPY FOR SCREENING ADJACENT TO RESIDENTIAL PROPERTIES.

ITEM B – CONCEPTUAL SITE PLAN (2101733)

LEGEND

FEATURE	NEW	EXISTING
SURVEY MONUMENT		
BOUNDARY LINE	---	---
EASEMENT LINE	---	---
MONUMENT LINE		---
CONTOUR LINE – MAJOR		--- 50 ---
CONTOUR LINE – MINOR		--- 51 ---
A.C. PAVEMENT		
CONCRETE CURB		
CONCRETE CURB & GUTTER		
CONCRETE SIDEWALK/PAD		
BUILDING EXTERIOR WALL		
WALL		
UNDERGROUND ELECTRIC LINE		--- UGE ---
ELECTRICAL TRANSFORMER		
ELECTRICAL JUNCTION BOX		
ELECTRICAL CONTROL BOX		
ELECTRICAL METER		
ELECTRICAL MANHOLE		
TRAFFIC SIGNAL		
LARGE STREET LIGHT		
TRAFFIC CONTROL BOX		
STREET LIGHT BOX		
UNDERGROUND TELEPHONE LINE		--- UGT ---
TELEPHONE MANHOLE		
UTILITY BOX/CABINET		
FIBER OPTIC MARKER		
COMMUNICATIONS BOX		
CABLE TELEVISION PEDESTAL		
GAS LINE		--- G ---
GAS MARKER		
UNKNOWN UTILITY		
SANITARY SEWER LINE	— S —	--- S ---
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
STORM DRAIN LINE	— SD —	--- SD ---
STORM DRAIN MANHOLE		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
WATER LINE	— W —	--- W ---
WATER METER		
BACKFLOW PREVENTOR		
WATER VALVE		
WATER STAMP ON CURB		
SLOPE ARROW		
GRADE POINT		
SIGN		
MAILBOX		
GUARDRAIL		
DRAINAGE FLOW LINE	--->---	
GRADING LIMITS	--->---	
100YR FLOODPLAIN LIMITS		
RIPRAP		

ABBREVIATIONS

ABC	AGGREGATE BASE COARSE	ME	MATCH EXISTING
AC	ASPHALTIC CONCRETE	MIN	MINIMUM
ADEQ	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY	N	NORTH
ALT	ALTERNATE	NAVD	NORTH AMERICAN VERTICAL DATUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	NE	NORTHEAST
APC	AUTOMATED PLASTIC CONTAINER	NO	NUMBER
ARCH	ARCHITECTURAL	NOI	NOTICE OF INTENT
ARS	ARIZONA REVISED STATUTES	NTS	NOT TO SCALE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NW	NORTHWEST
AZPDES	ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM	OC	ON CENTER
BC	BACK OF CURB	PC/COT	PIMA COUNTY/CITY OF TUCSON
BCS	BUSINESS CONNECTION	P	PAVEMENT
BK	BOOK	PCC	PORTLAND CEMENT CONCRETE
BLDG	BUILDING	PDS	PLANNING & DEVELOPMENT SERVICES
BLVD	BOULEVARD	PE	POLYETHYLENE
C	CONCRETE, COMPUTED	PG	PAGE
CF	CUBIC FEET	PN	PLAN NUMBER
CFS	CUBIC FEET PER SECOND	PSI	POUNDS PER SQUARE INCH
CI	CAST IRON	PUE	PUBLIC UTILITY EASEMENT
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	PVMT	PAVEMENT
CONC	CONCRETE	R	RANGE, RADIUS, RECORD
COT	CITY OF TUCSON	RCP	REINFORCED CONCRETE PIPE
CY	CUBIC YARDS	RD	ROAD
DIP	DUCTILE IRON PIPE	RLS	REGISTERED LAND SURVEYOR
DKT	DOCKET	ROW	RIGHT-OF-WAY
DTL	DETAIL	RWRD	REGIONAL WASTEWATER RECLAMATION DEPARTMENT
DR	DRIVE	S	SLOPE, SOUTH, SECTION
E	EAST	SE	SOUTHEAST
EG	EXISTING GRADE	SEQ	SEQUENCE
ELEV	ELEVATION	SF	SQUARE FEET
EQUIV	EQUIVALENT	SSPI	STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
EX	EXISTING	STD	STANDARD
EXIST	EXISTING	SVT	SIGHT VISIBILITY TRIANGLE
FC	FACE OF CURB	SW	SIDEWALK, SOUTHWEST
FFE	FINISHED FLOOR ELEVATION	SWR	SEWER
FG	FINISHED GRADE	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
FL	FLOW LINE	T	TOWNSHIP
FT	FEET	TC	TOP OF CURB
G	GUTTER	TYP	TYPICAL
G&SRM	GILA & SALT RIVER MERIDIAN	TW	TOP OF WALL
GA	GAUGE	UDC	UNIFIED DEVELOPMENT CODE
GAL	GALLONS	UNO	UNLESS NOTED OTHERWISE
GFA	GROSS FLOOR AREA	VCP	VITRIFIED CLAY PIPE
HDPE	HIGH-DENSITY POLYETHYLENE	VERT	VERTICAL
IBC	INTERNATIONAL BUILDING CODE	W	WEST, WIDTH
ICC	INTERNATIONAL CODE COUNCIL	WK	WEEK
INV	INVERT	WSEL	WATER SURFACE ELEVATION
L	LENGTH	WTR	WATER
LBS	POUNDS	WWF	WELDED WIRE FABRIC
LF	LINEAR FEET	YR	YEAR
LP	LOOP		
M	MEASURED		
M&P	MAPS & PLATS		
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS		
MAX	MAXIMUM		

REFERENCE CASE NUMBERS:
2101733, 2101748, 2100814, OV1206-16A, IP1912-06,
G13000016, G1400034, G1500014, G1702595

Rev #

Date

Description

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Sheet Name

LEGEND & ABBREVIATIONS

Project

FINAL SITE PLAN FOR
NWC LA CANADA / NARANJA PROJECT NAME
A PORTION OF SECTION 3, T12S, R13E,
G&SRM, PIMA COUNTY, ARIZONA

Job Number:

21164

Designed By:

AR/JEG

Drawn By:

AR

Checked By:

JM

Date:

3/11/2024

Contour Interval:

N/A

Scale:

Vt: N/A Hz: N/A

Sheet Number:

C1.1

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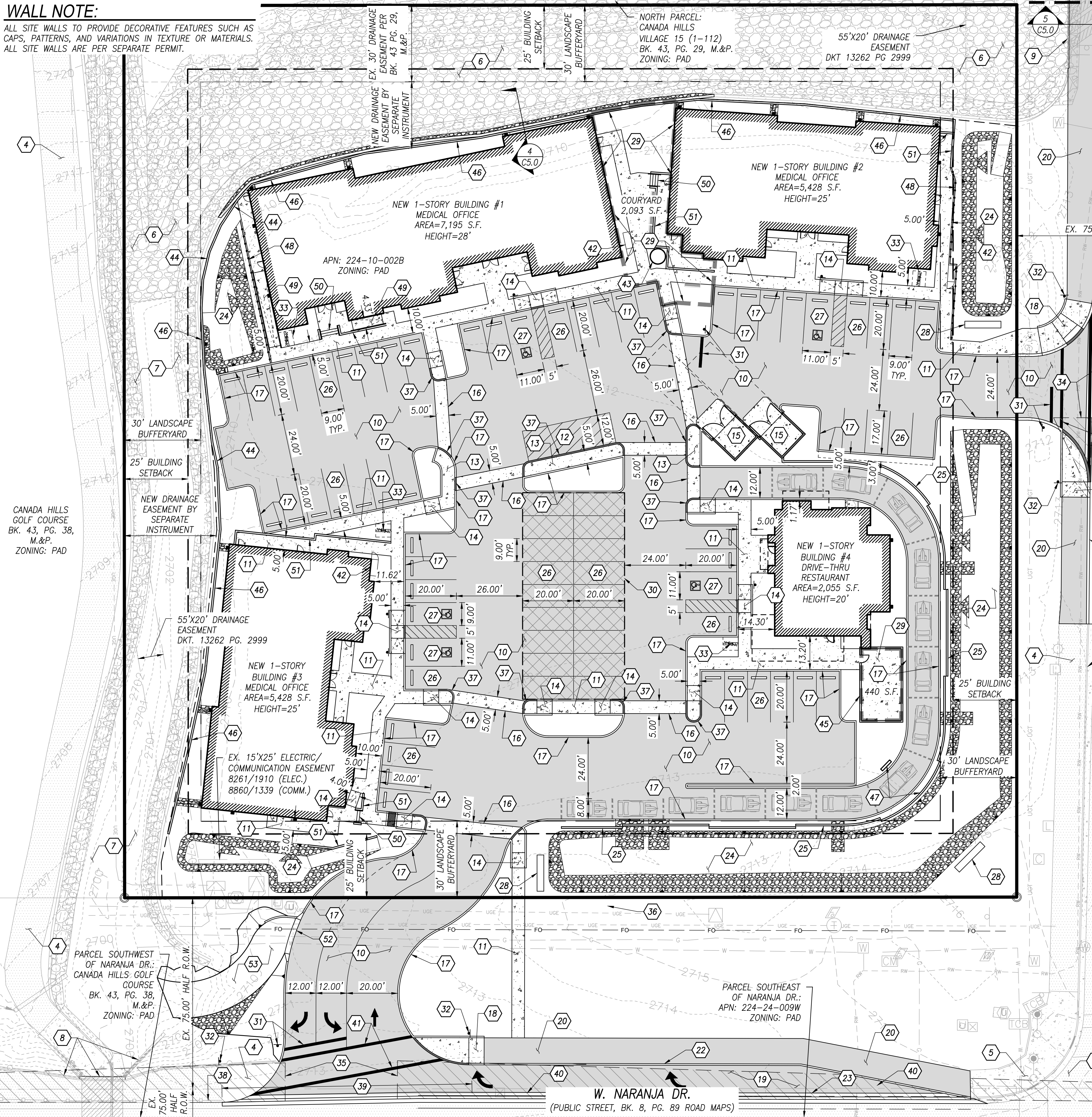
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Professional Engineer
53209
JASON RAY MORSE
Exp. Expires 3-11-24
ARIZONA U.S.A.

Permit #2400614

OV #2302577

WALL NOTE:
ALL SITE WALLS TO PROVIDE DECORATIVE FEATURES SUCH AS CAPS, PATTERNS, AND VARIATIONS IN TEXTURE OR MATERIALS.
ALL SITE WALLS ARE PER SEPARATE PERMIT.



MATCHLINE, SEE RIGHT



- KEYNOTES**
- EXISTING A.C. PAVEMENT TO REMAIN.
 - EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
 - EXISTING CONCRETE VERTICAL CURB TO REMAIN.
 - EXISTING 10' WIDE MULTI-USE A.C. PATH TO REMAIN.
 - EXISTING CURB ACCESS RAMP TO REMAIN.
 - EXISTING GROUTED RIPRAP DRAINAGE CHANNEL TO REMAIN.
 - EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP SIDE SLOPES TO REMAIN.
 - EXISTING BOX CULVERT, HEADWALL, AND WING WALLS TO REMAIN.
 - EXISTING HEADWALL AND STORM PIPES TO REMAIN.
 - NEW A.C. PAVEMENT.
 - NEW CONCRETE SIDEWALK PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.
 - NEW 12' X 35' LOADING ZONE & PASSENGER DROP-OFF.
 - NEW CONCRETE SIDEWALK FLUSH WITH PAVEMENT PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.
 - NEW ACCESSIBLE RAMP.
 - NEW DUMPSTER ENCLOSURE WITH 6' HIGH MASONRY WALLS, FINISH TO MATCH THE ARCHITECTURAL CHARACTER OF THE PROJECT. PROVIDE SELF-CLOSING, SELF-LATCHING GATE.
 - NEW 5' WIDE DECORATIVE CONCRETE OR PAVER CROSSWALK.
 - NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 209, TYPE 2.
 - NEW CURB ACCESS RAMP PER PUBLIC IMPROVEMENT PLANS.
 - NEW RIGHT TURN LANE PER PUBLIC IMPROVEMENT PLANS.
 - NEW 10' WIDE MULTI-USE A.C. PATH PER PUBLIC IMPROVEMENT PLANS.
 - NEW CONCRETE CURB AND GUTTER PER PUBLIC IMPROVEMENT PLANS.
 - NEW CONCRETE VERTICAL CURB PER PUBLIC IMPROVEMENT PLANS.
 - NEW CONCRETE VALLEY GUTTER PER PUBLIC IMPROVEMENT PLANS.
 - NEW DETENTION BASIN, SEE GRADING PLAN.
 - NEW 3'-6" HIGH CMU SCREEN WALL WITH SCREEN ABOVE PER BUILDING PLANS, (TOTAL SCREEN WALL HEIGHT= 6'-0"). WALL SHALL HAVE VARIED SETBACKS AS SHOWN. SEE WALL NOTE THIS SHEET.
 - NEW 9' X 20' STANDARD PARKING SPACES. PRECAST CONCRETE WHEEL STOPS WHERE SHOWN.
 - NEW ACCESSIBLE PARKING SPACE, ACCESS AISLE, AND SIGN PER DIMENSIONS SHOWN.
 - NEW MONUMENT SIGN. REQUIRES SEPARATE APPROVAL.
 - NEW COURTYARD WITH SEATING, SEE LANDSCAPE PLANS.
- KEYNOTES - CONTINUED**
- NEW 5' HIGH CMU RETAINING/SCREEN WALL, SEE WALL NOTE THIS SHEET.
 - OUTDOOR SHADED SEATING AREA WITH NEW 3'-0" HIGH CMU SCREEN WALL, SEE WALL NOTE THIS SHEET.
 - NEW 5' HIGH CMU SCREEN WALL, SEE WALL NOTE THIS SHEET.
 - NEW DRIVE-THRU MENU BOARD AND KIOSK LOCATION. REQUIRES SEPARATE APPROVAL. THE SCREEN WALL FOR VEHICLE STACKING LANES MUST BE COMPLETELY OPAQUE AT THE CURVE WHERE THE ORDER KIOSK IS LOCATED. THE KIOSK MAY NOT EXCEED THE HEIGHT OF THE SCREEN WALL (6'-FEET) NOR BE VISIBLE FROM ADJACENT ROADWAYS.
 - NEW SECURITY RAILING.
 - NEW ACCESSIBLE RAMP WITH HANDRAILS.
 - NEW STAIRS.
 - NEW RETAINING WALL, SEE WALL NOTE THIS SHEET.
 - NEW CONCRETE WEDGE CURB PER P.A.G. STANDARD DETAIL 209.
 - CHANNEL MAINTENANCE PATH, SEE GRADING PLAN.

- KEYNOTES - CONTINUED**
- POTENTIAL COVERED PARKING BY SEPARATE PERMIT. LOCATION AND QUANTITY COULD CHANGE.
 - NEW STOP SIGN & STOP BAR.
 - NEW PEDESTRIAN STOP SIGN.
 - NEW CLASS II BICYCLE PARKING RACK PER DETAIL 2 SHEET C5.0.
 - SIGHT VISIBILITY TRIANGLES: NEAR SIDE=300', FAR SIDE=30' (PEDESTRIAN), STEM=15'
 - SIGHT VISIBILITY TRIANGLES: NEAR SIDE=300', FAR SIDE=470', STEM=15'
 - EXISTING GRAVEL TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW IMPROVEMENTS.
 - NEW CONCRETE HEADER PER P.A.G. STANDARD DETAIL 213.
 - EXISTING GUARDRAIL TO REMAIN.
 - ±98 L.F. OF EXISTING GUARDRAIL TO BE REMOVED PER PUBLIC IMPROVEMENT PLANS.
 - EXISTING SIGN TO BE RELOCATED PER PUBLIC IMPROVEMENT PLANS.
 - NEW CROSSWALK & STOP BAR PER PUBLIC IMPROVEMENT PLANS.
 - NEW CLASS I BICYCLE PARKING LOCKER PER DETAIL 3 SHEET C5.0.
 - NEW PUBLIC ART, SEE LANDSCAPE PLANS.

MATCHLINE, SEE LEFT

REFERENCE CASE NUMBERS:
2101733, 2101748, 2100814, OV1206-16A, IP1912-06,
G1300016, G1400034, G1500014, G1702595

Rev #	Date	Description

GRENIER ENGINEERING, INC.
Structural & Civil Engineering Consultant
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715
Phone: 520.326.7082 ~ Fax: 520.326.7508

Job Number: 21164
Designed By: AR/JEG
Drawn By: AR
Checked By: JM
Date: 3/11/2024
Contour Interval: 1'
Scale: Vt: N/A, H: 1"=20'
Sheet Number: C2.0

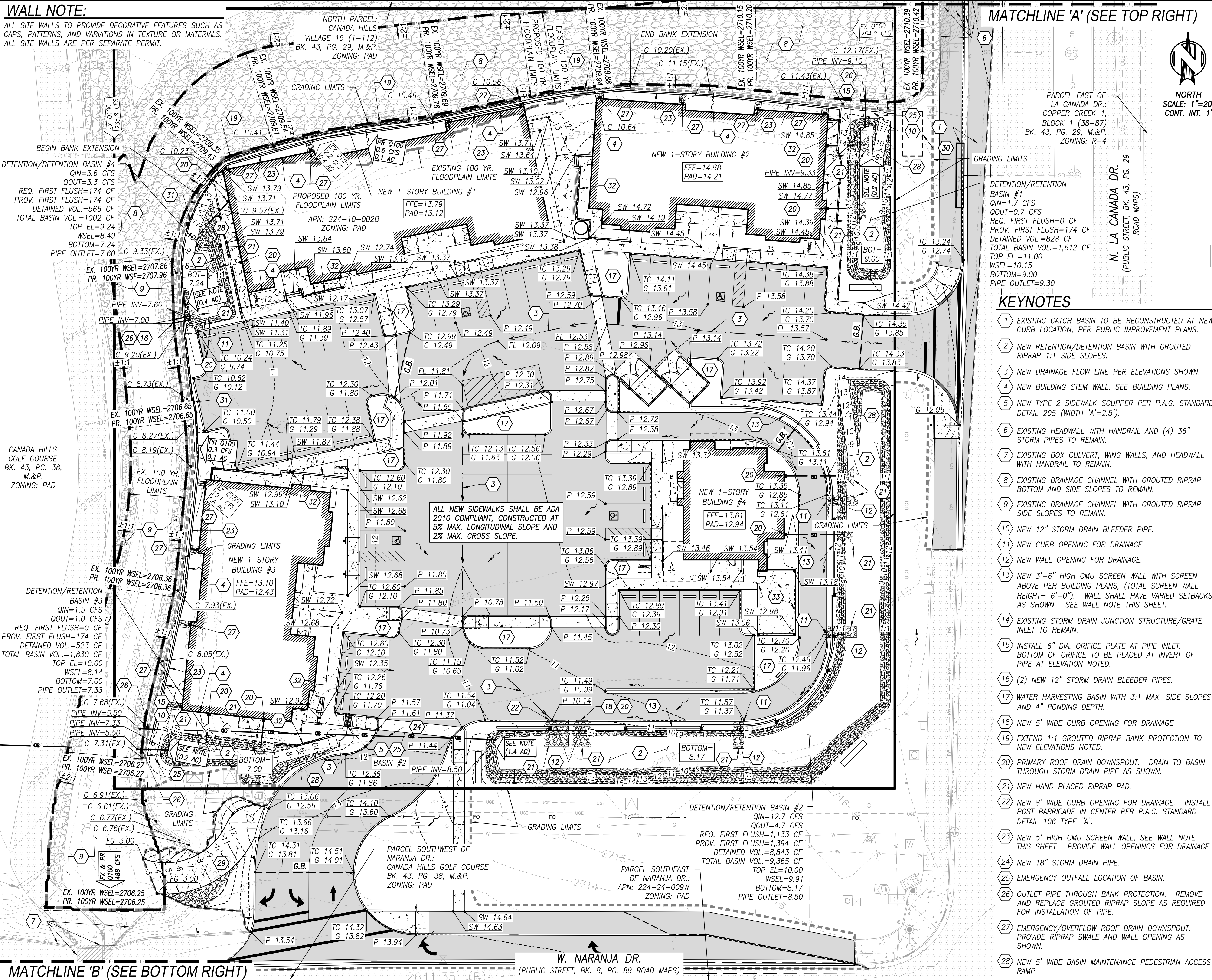
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Sheet 3 of 6

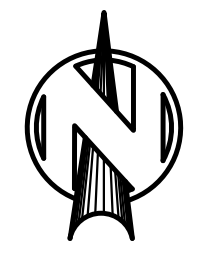
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WALL NOTE:

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MATCHLINE 'A' (SEE TOP RIGHT)



NORTH
SCALE: 1"=20'
CONT. INT. 1'

DETENTION/RETENTION
BASIN #1
QIN=1.7 CFS
QOUT=0.7 CFS
REQ. FIRST FLUSH=0 CF
PROV. FIRST FLUSH=174 CF
DETAINED VOL.=828 CF
TOTAL BASIN VOL.=1,612 CF
TOP EL.=11.00
WSEL=10.15
BOTTOM=9.00
PIPE OUTLET=9.30

KEYNOTES

- 1 EXISTING CATCH BASIN TO BE RECONSTRUCTED AT NEW CURB LOCATION, PER PUBLIC IMPROVEMENT PLANS.
- 2 NEW RETENTION/DETENTION BASIN WITH GROUTED RIPRAP 1:1 SIDE SLOPES.
- 3 NEW DRAINAGE FLOW LINE PER ELEVATIONS SHOWN.
- 4 NEW BUILDING STEM WALL, SEE BUILDING PLANS.
- 5 NEW TYPE 2 SIDEWALK SCUPPER PER P.A.G. STANDARD DETAIL 205 (WIDTH 'A'=2.5').
- 6 EXISTING HEADWALL WITH HANDRAIL AND (4) 36" STORM PIPES TO REMAIN.
- 7 EXISTING BOX CULVERT, WING WALLS, AND HEADWALL WITH HANDRAIL TO REMAIN.
- 8 EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP BOTTOM AND SIDE SLOPES TO REMAIN.
- 9 EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP SIDE SLOPES TO REMAIN.
- 10 NEW 12" STORM DRAIN BLEEDER PIPE.
- 11 NEW CURB OPENING FOR DRAINAGE.
- 12 NEW WALL OPENING FOR DRAINAGE.
- 13 NEW 3'-6" HIGH CMU SCREEN WALL WITH SCREEN ABOVE PER BUILDING PLANS, (TOTAL SCREEN WALL HEIGHT= 6'-0"). WALL SHALL HAVE VARIED SETBACKS AS SHOWN. SEE WALL NOTE THIS SHEET.
- 14 EXISTING STORM DRAIN JUNCTION STRUCTURE/GRATE INLET TO REMAIN.
- 15 INSTALL 6" DIA. ORIFICE PLATE AT PIPE INLET. BOTTOM OF ORIFICE TO BE PLACED AT INVERT OF PIPE AT ELEVATION NOTED.
- 16 (2) NEW 12" STORM DRAIN BLEEDER PIPES.
- 17 WATER HARVESTING BASIN WITH 3:1 MAX. SIDE SLOPES AND 4" PONDING DEPTH.
- 18 NEW 5' WIDE CURB OPENING FOR DRAINAGE
- 19 EXTEND 1:1 GROUTED RIPRAP BANK PROTECTION TO NEW ELEVATIONS NOTED.
- 20 PRIMARY ROOF DRAIN DOWNSPOUT. DRAIN TO BASIN THROUGH STORM DRAIN PIPE AS SHOWN.
- 21 NEW HAND PLACED RIPRAP PAD.
- 22 NEW 8' WIDE CURB OPENING FOR DRAINAGE. INSTALL POST BARRICADE IN CENTER PER P.A.G. STANDARD DETAIL 106 TYPE "A".
- 23 NEW 5' HIGH CMU SCREEN WALL, SEE WALL NOTE THIS SHEET. PROVIDE WALL OPENINGS FOR DRAINAGE.
- 24 NEW 18" STORM DRAIN PIPE.
- 25 EMERGENCY OUTFALL LOCATION OF BASIN.
- 26 OUTLET PIPE THROUGH BANK PROTECTION. REMOVE AND REPLACE GROUTED RIPRAP SLOPE AS REQUIRED FOR INSTALLATION OF PIPE.
- 27 EMERGENCY/OVERFLOW ROOF DRAIN DOWNSPOUT. PROVIDE RIPRAP SWALE AND WALL OPENING AS SHOWN.
- 28 NEW 5' WIDE BASIN MAINTENANCE PEDESTRIAN ACCESS RAMP.

MATCHLINE 'A' (SEE TOP LEFT)

MATCHLINE 'B' (SEE BOTTOM LEFT)

W. NARANJA DR.
(PUBLIC STREET, BK. 8,
PG. 89 ROAD MAPS)



NORTH
SCALE: 1"=20'
CONT. INT. 1'

KEYNOTES - CONTINUED

- 29 NEW 14' WIDE BASIN MAINTENANCE VEHICULAR ACCESS RAMP.
- 30 PARKING AREA FOR EX. CHANNEL MAINTENANCE.
- 31 NEW 5' HIGH CMU RETAINING/SCREEN WALL, SEE WALL NOTE THIS SHEET.
- 32 NEW RETAINING WALL, SEE WALL NOTE THIS SHEET.
- 33 OUTDOOR SHADED SEATING AREA WITH NEW 3'-0" HIGH CMU SCREEN WALL, SEE WALL NOTE THIS SHEET.

REFERENCE CASE NUMBERS:
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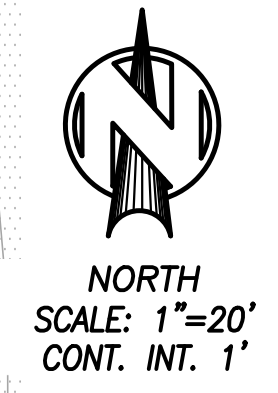
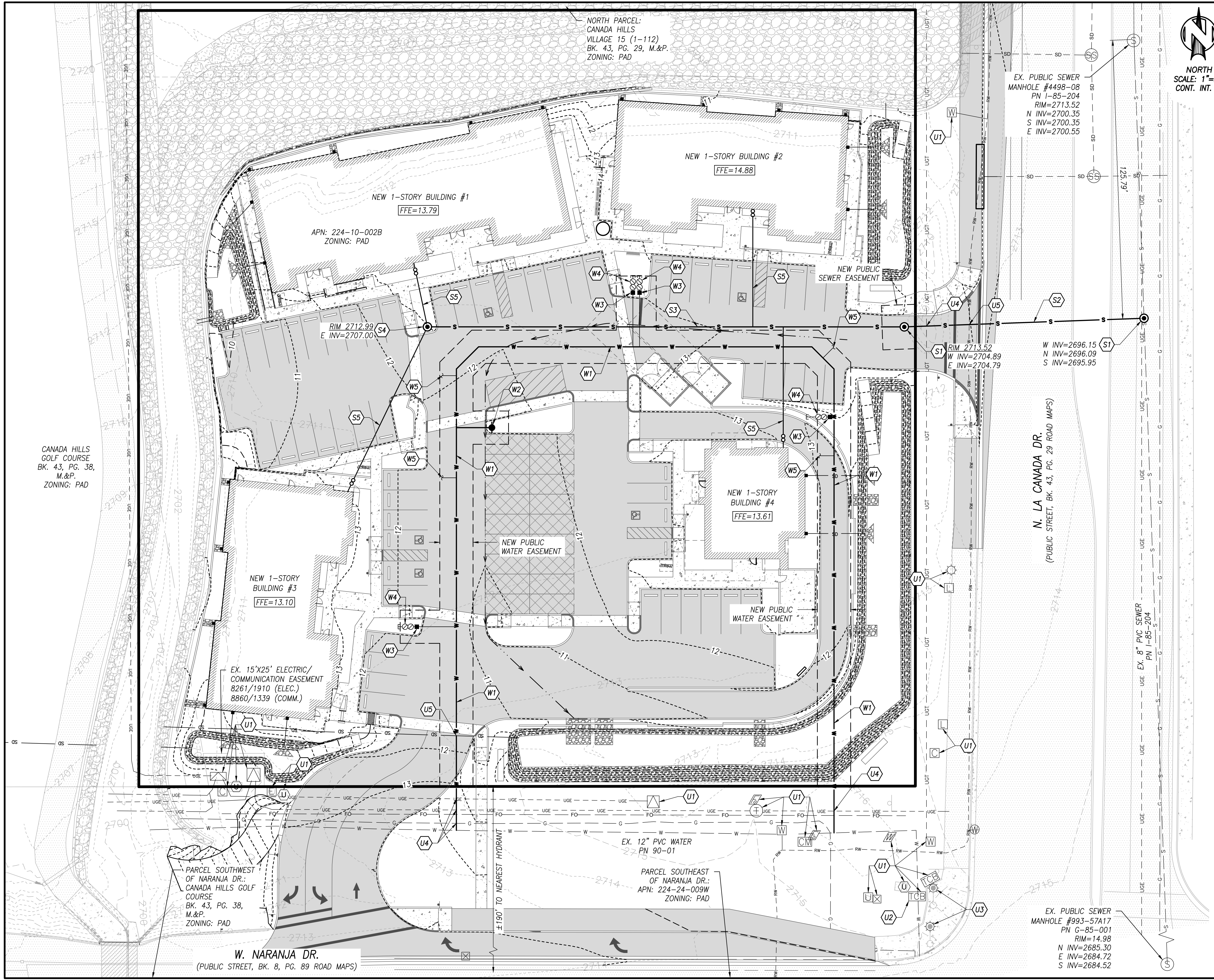
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Drawn By: AR
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Date: 3/11/2024
Contour Interval: 1'
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Sheet Number: C3.0

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Sheet 4 of 6

MATCHLINE 'B' (SEE BOTTOM RIGHT)

W. NARANJA DR.
(PUBLIC STREET, BK. 8, PG. 89 ROAD MAPS)



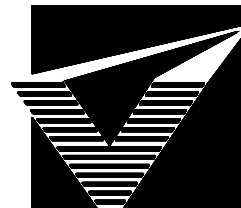
- SEWER KEYNOTES**
- S1 NEW PUBLIC SANITARY SEWER MANHOLE PER PUBLIC SEWER PLANS.
 - S2 NEW PUBLIC SANITARY SEWER MAIN PER PUBLIC SEWER PLANS.
 - S3 NEW PRIVATE SANITARY SEWER MAIN PER PRIVATE SEWER PLANS.
 - S4 NEW PRIVATE SANITARY SEWER MANHOLE PER PRIVATE SEWER PLANS.
 - S5 NEW PRIVATE SANITARY SEWER B.C.S.

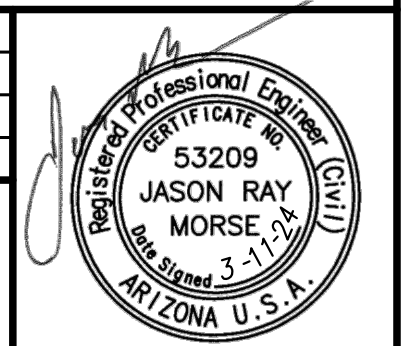
- WATER KEYNOTES**
- W1 NEW PUBLIC WATER MAIN PER PUBLIC WATER PLANS.
 - W2 NEW FIRE HYDRANT PER PUBLIC WATER PLANS.
 - W3 NEW WATER SERVICE LINE AND METER PER PUBLIC WATER PLANS.
 - W4 NEW BACKFLOW PREVENTOR.
 - W5 NEW FIRE SERVICE LINE.

- UTILITY KEYNOTES**
- U1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - U2 CONTRACTOR TO LOCATE EXISTING WIRE TO ADVANCED TRAFFIC SIGNAL LOOP AND PROTECT IN PLACE.
 - U3 EXISTING TRAFFIC LIGHT TO REMAIN.
 - U4 UTILITY CROSSING. 1'-0" MINIMUM SEPARATION.
 - U5 UTILITY CROSSING. 2'-0" MINIMUM SEPARATION.

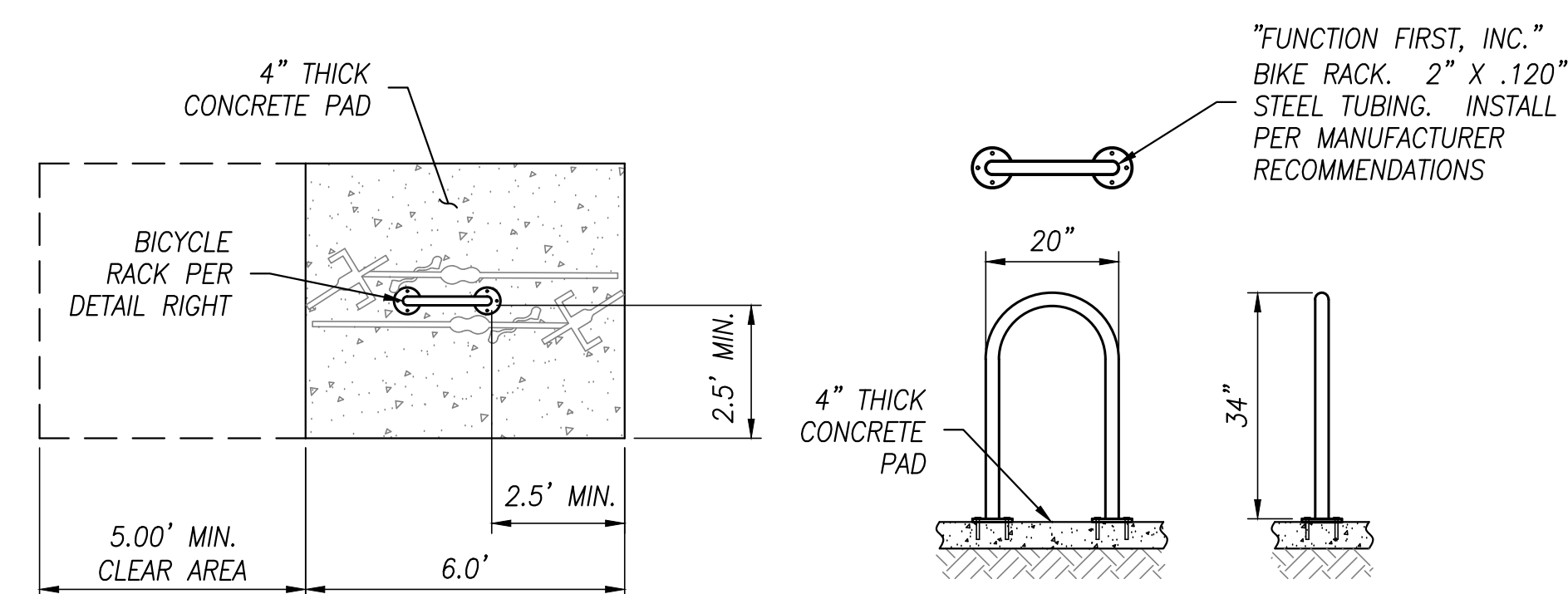
COPPER CREEK 1,
BLOCK 1 (38-87)
BK. 43, PG. 29, M.&P.
ZONING: R-4

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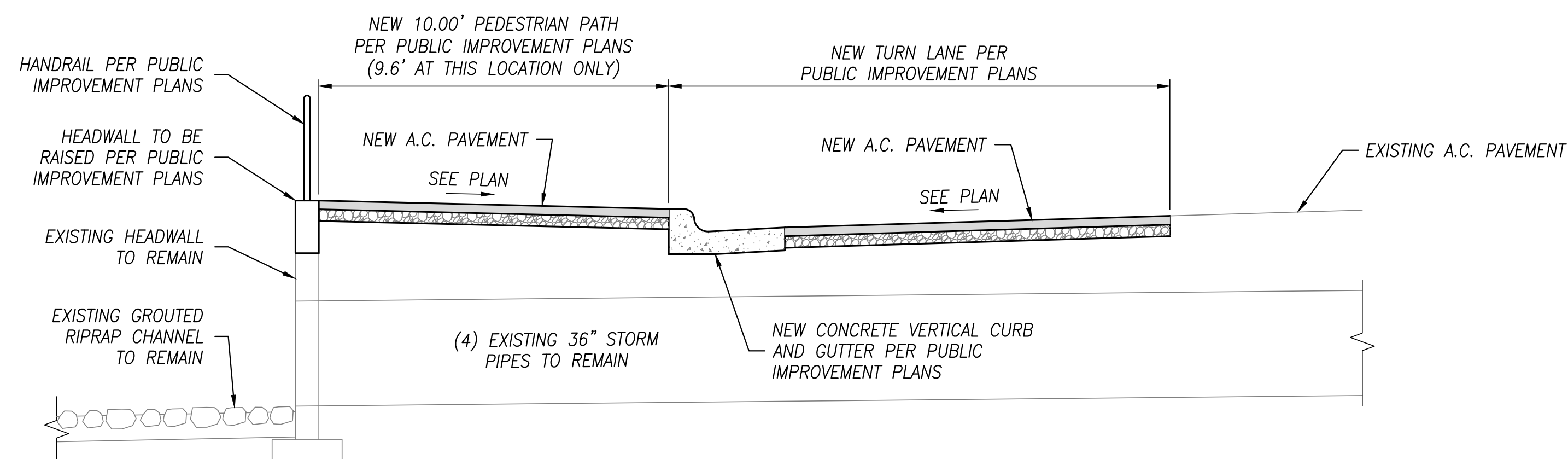
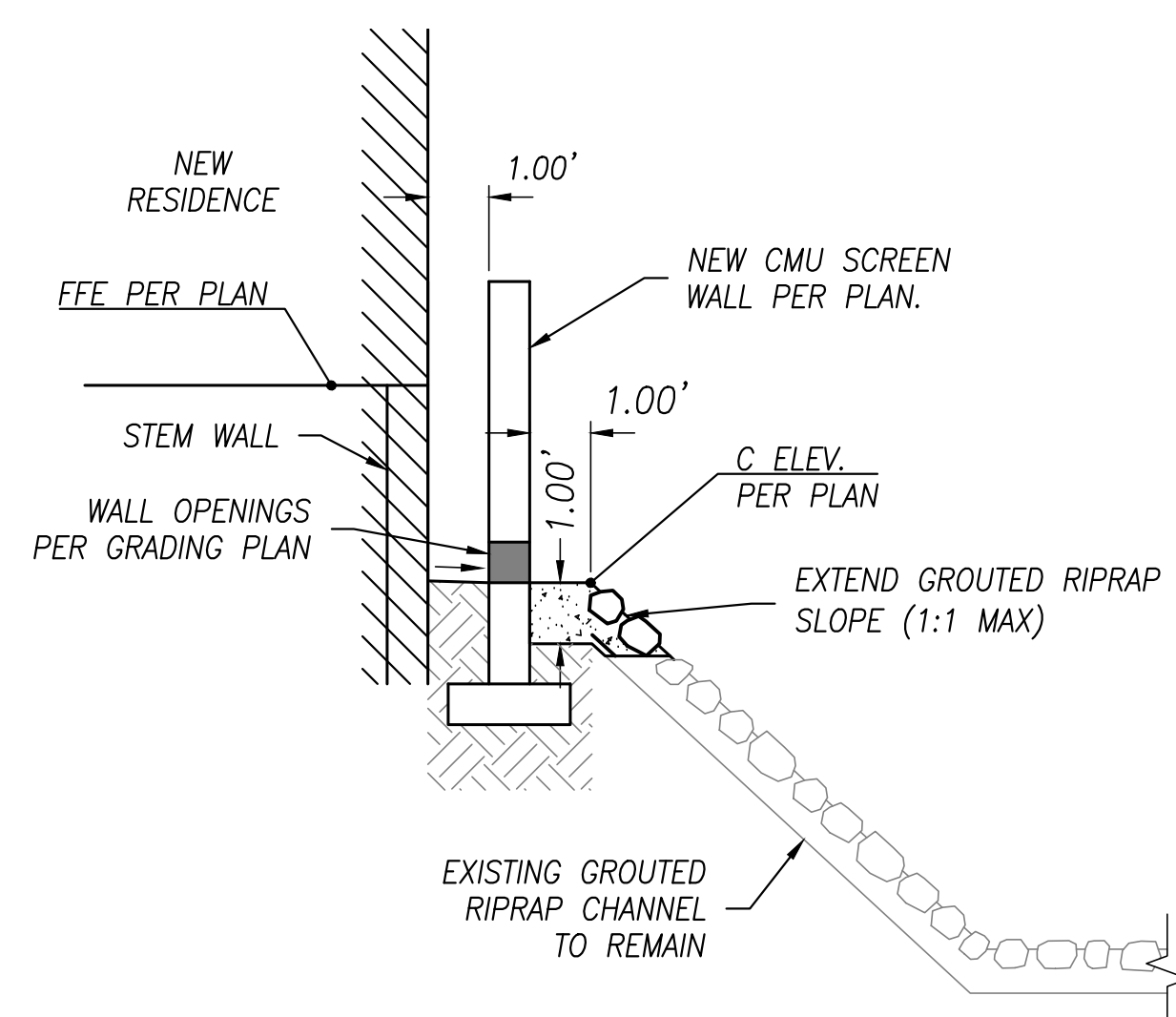
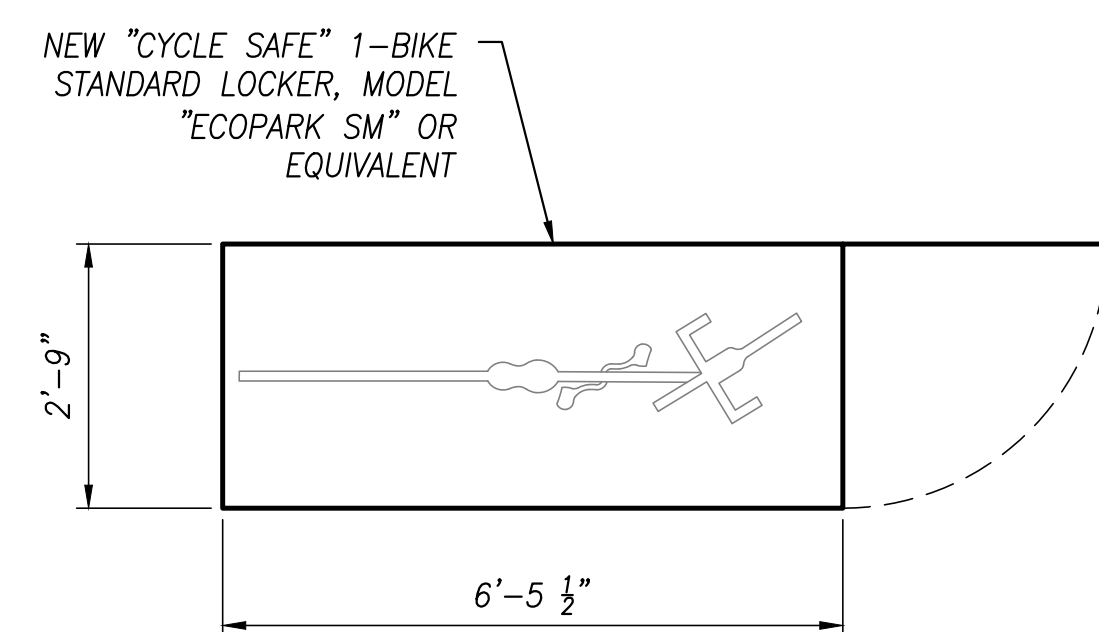
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Sheet		5 of 6	



Permit #2400614 OV #2302577



2 BICYCLE RACK



4 SECTION



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GRENIER

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Sheet Name
Details

DETAILS

FINAL SITE PLAN FOR

NWC LA CANADA / NARANJA

PROJECT NAME

A PORTION OF SECTION 3, T12S, R13E,
G&SRM, PIMA COUNTY, ARIZONA

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C5.0

Sheet 6 of 6