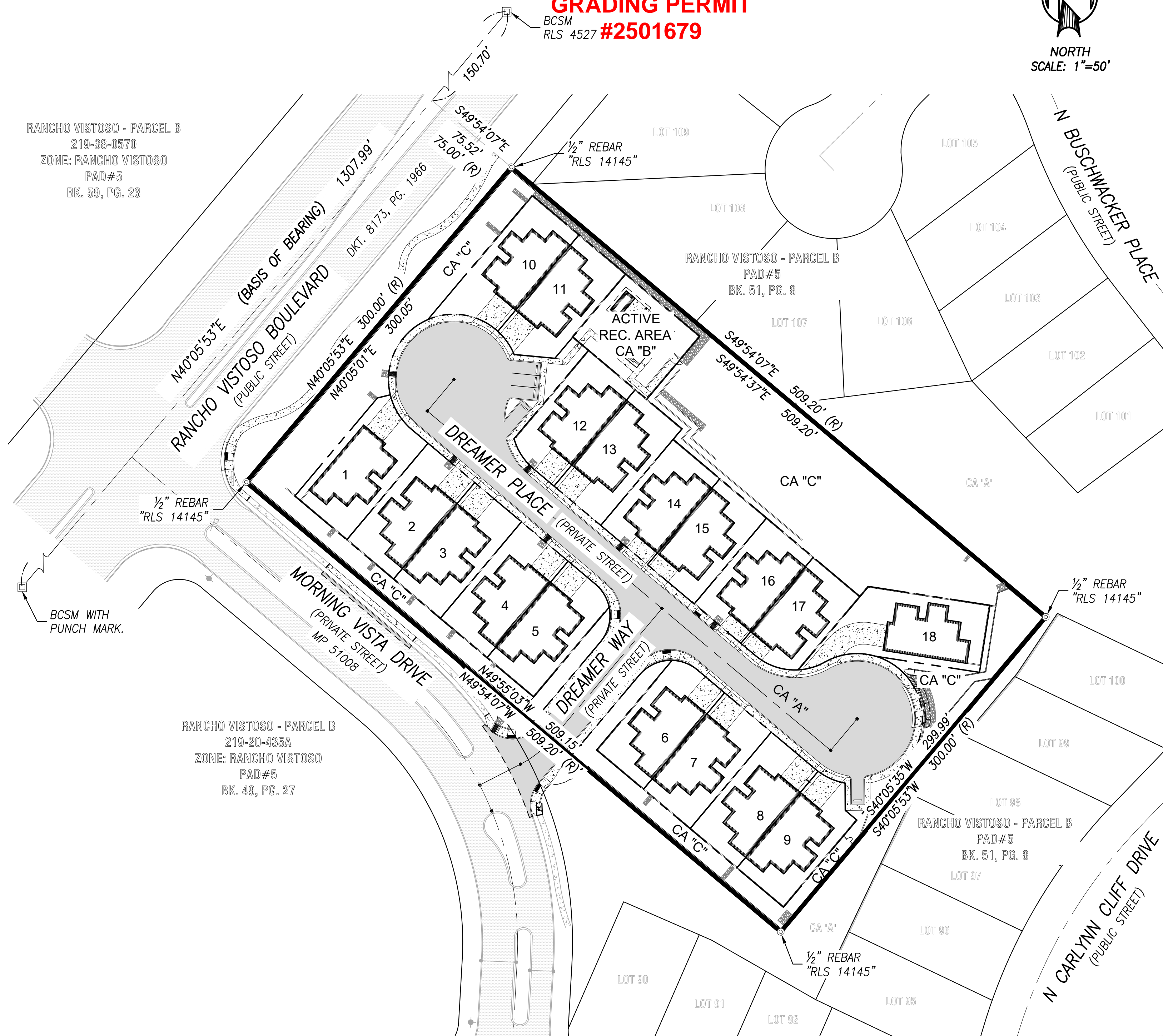


FEATURE	NEW	EXISTING
SURVEY MONUMENT		⊙
BOUNDARY LINE	=====	=====
PROPERTY LINE	-----	-----
EASEMENT LINE	- - - - -	- - - - -
CENTER LINE	=====	=====
CONTOUR LINE - MAJOR	- - - - 50 - - - -	- - - - 50 - - - -
CONTOUR LINE - MINOR	- - - - 51 - - - -	- - - - 51 - - - -
A.C. PAVEMENT		
CONCRETE CURB	=====	=====
DEPRESSED CURB	=====	=====
CONCRETE SIDEWALK/PAD		
BUILDING EXTERIOR WALL		
WALL	=====	=====
ELECTRICAL TRANSFORMER		
STREET LIGHTING PULLBOX		
ELECTRICAL METER		
STREET LIGHT		
ELECTRICAL MANHOLE		
TELEPHONE MANHOLE		
TELEPHONE PEDESTAL		
UTILITY PEDESTAL		
SANITARY SEWER LINE	----- S -----	- - - - S - - - -
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
FIRE HYDRANT		
WATER LINE	----- W -----	- - - - W - - - -
RECLAIMED WATER LINE		- - - - RW - - - -
WATER METER		
BACKFLOW PREVENTOR		
BACKFLOW VALVE		
WATER VALVE		
RECLAIMED WATER VALVE		
WATER METER		
SLOPE ARROW		
GRADE POINT		
SIGN		
BOLLARD		
FENCE	----- X -----	----- X -----
IRRIGATION CONTROL VALVE		
RIPRAP		
TRADE AREA FOR 25% SLOPE DISTURBANCE		
SLOPES GREATER THAN 25%		

THE BASIS OF BEARING FOR THIS PROJECT IS, ACCORDING TO BOOK 51 OF MAPS AND PLATS AT PAGE 8, PIMA COUNTY, ARIZONA BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF RANCHO VISTOSO BOULEVARD, AS SHOWN.

THE BASIS OF ELEVATION FOR THIS PROJECT IS THE PIMA COUNTY OPUS CONTROL POINT R21. A 1/2" REBAR NORTH EDGE OF CONCRETE WALK NORTH SIDE OF VISTOSO HIGHLANDS DRIVE. ELEVATION BEING: 2950.40'  
DATUM: NAVD88

2102029  
GRADING PERMIT  
BCSM  
RLS 4527 #2501679



SPECTRUM CAPITAL  
HOLDINGS 2, LLC  
CONTACT : MATT HORN  
ADDRESS : 5425 E BROADWAY BLVD #200  
TUCSON, AZ 85711

**DSW COMMERCIAL REAL ESTATE**  
**CONTACT : MICHAEL A. SARABIA**  
**ADDRESS : 1795 E. SKYLINE DR., STE. 193**  
**TUCSON, AZ 85718**  
**PHONE : (520) 297-8929**  
**EMAIL : msarabia@dswwcommercial.com**

**JAMES E. McMAHON ARCHITECTURE  
& PLANNING, PLLC**  
CONTACT : JAMES E. McMAHON  
ADDRESS : 6340 N. CAMPBELL AVE., #270  
TUCSON, AZ 85718  
PHONE : (520) 321-0468  
EMAIL : jimcmahon@aol.com

**NOVAK ENVIRONMENTAL, INC.**  
CONTACT : KAREN CESARE  
ADDRESS : 4574 NORTH FIRST AVENUE, SUITE 100  
TUCSON, AZ 85718  
PHONE : (520) 206-0591  
EMAIL : [karen@novakenvironmental.com](mailto:karen@novakenvironmental.com)

1 - C1.0	COVER SHEET & LEGEND
2 - C1.1	NOTES
3 - C1.2	NOTES
4 - C2.0	DEMOLITION PLAN
5 - C3.0	TENTATIVE PLAT - SITE PLAN
6 - C3.1	TENTATIVE PLAT - ANNOTATION
7 - C4.0	GRADING PLAN
8 - C5.0	UTILITY PLAN
9 - C5.1	UTILITY PLAN
10 - C6.0	ROAD PLAN & PROFILE
11 - C6.1	ROAD PLAN & PROFILE
12 - C7.0	DETAILS
13 - C7.1	DETAILS
14 - C7.2	DETAILS
15 - C8.0	HORIZONTAL CONTROL PLAN
16 - C9.0	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
17 - C10.0	UNDERGROUND DETENTION TANK DETAILS - FOR REFERENCE

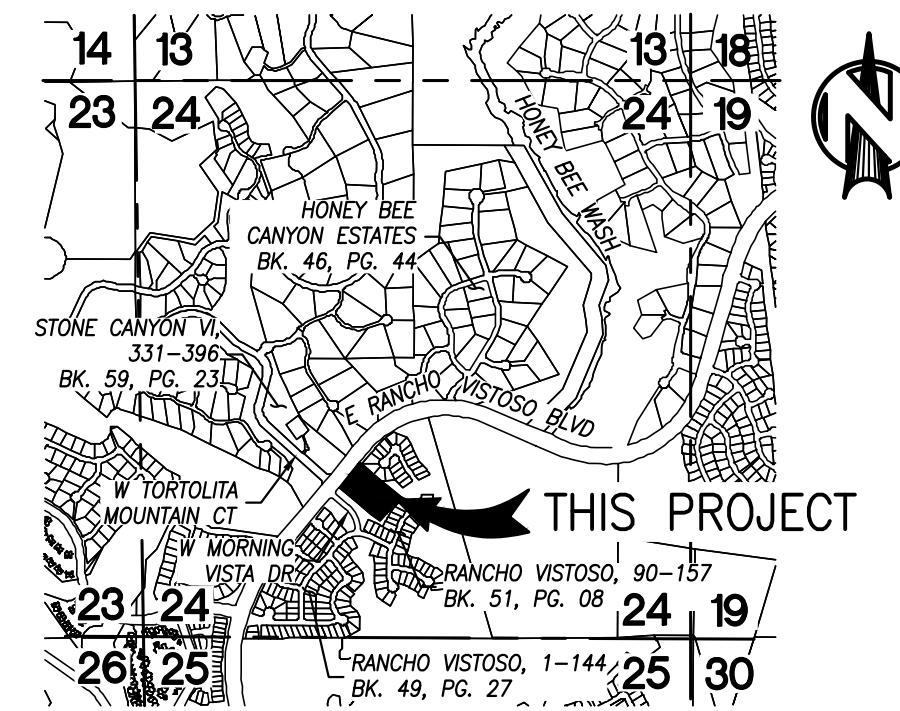
**Bayer Vella**  
 Digitally signed by Bayer Vella  
 DN: C=US, E=bayervella@orovalleyaz.gov, O=Town  
 of Oro Valley, OU=Planning Division, CN=Bayer  
 Vella  
 Date: 2023.09.26 14:04:14-07'00'

**PLANNING AND ZONING ADMINISTRATOR**      **DATE**  
 2023.09.26  
 08:57:47-07'00'

**TOWN ENGINEER**      **DATE**

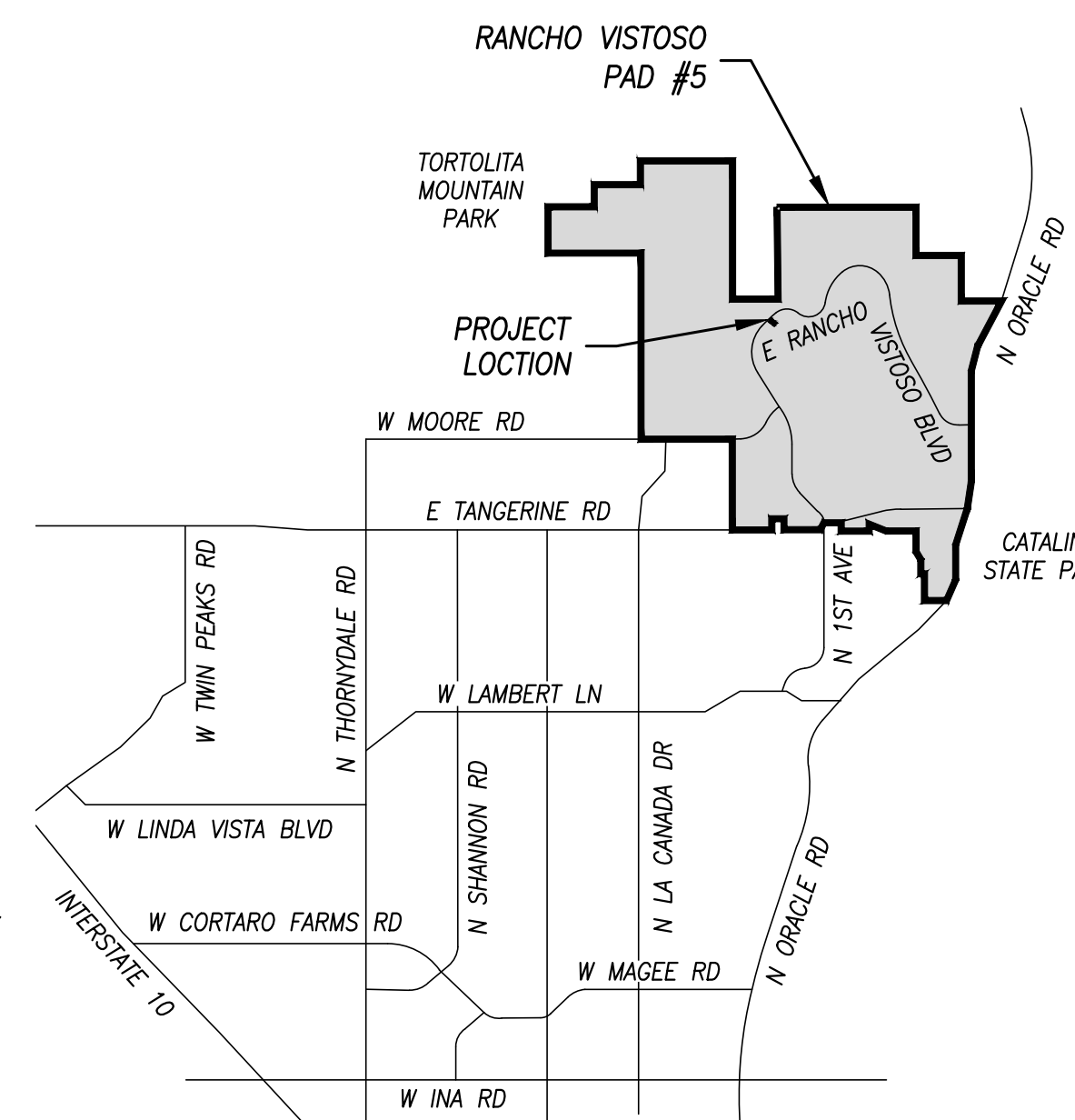
**Peter Abraham**  
 Digitally signed by Peter Abraham  
 DN: C=US, E=petraabraham@orovalleyaz.gov, O=Town  
 of Oro Valley, OU=Town Water Utility, CN=Peter Abraham  
 Date: 2023.09.26 10:47:48-07'00'

**ORO VALLEY WATER UTILITY DIRECTOR**      **DATE**



SCALE: 3" = 1 MILE  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM, TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755


**GRENIER ENGINEERING, INC.**  
CONTACT : JASON MORSE, P.E.  
ADDRESS : 6300 E. EL DORADO PLAZA,  
SUITE A120, TUCSON, AZ 85715  
PHONE : (520) 326-7082  
EMAIL : [jmorse@greniereng.com](mailto:jmorse@greniereng.com)



## NTS

REF.: 2003075

Rev #	Date	Description	



## GRENIER ENGINEERING, INC.

Structural & Civil Engineering Consultant

6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
 Phone: 520.326.7082 ~ Fax: 520.326.7508


Sheet Name

# COVER SHEET

Project

## RESIDENCES AT MORNING VISTA

LOT 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
 A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
 R-13-E G&SRM, TOWN OF ORO VALLEY, PIMA  
 COUNTY, ARIZONA 85755



Job Number: 20124

Designed By: JR/JM

Drawn By: JR

CHECKED By: JM

Date: 6/23/2023

Scale: Vt: N/A H: AS NOTE

Sheet Number:

# C1.0

Sheet 1 of 17

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

GRADING PERMIT #2501679



T.O.V. GENERAL NOTES:

- GROSS AREA OF DEVELOPMENT IS 152,761.5 SQFT., OR 3.51 ACRES.
- RESIDENTIAL UNITS (18 TOTAL) PER ACRE (3.51 AC.) FOR THIS PROJECT IS 5.1.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0.
- TOTAL MILES OF NEW PRIVATE STREETS IS 0.12.
- THIS PROJECT IS DESIGNED TO MEET THE RANCHO VISTOSO HILLSIDE DISTRICT CRITERIA.
- ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
- SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

T.O.V. PLANNING NOTES:

- EXISTING ZONING IS PAD (PLANNED AREA DEVELOPMENT, RANCHO VISTOSO), HIGH DENSITY RESIDENTIAL, AND WILL REMAIN.
- NO BUILDING SHALL EXCEED 3--STORIES & THE EXTERIOR HEIGHT SHALL NOT EXCEED THIRTY--FOUR (34) FEET.
- THE PROPOSED COMMON AREAS ON THIS PROJECT WILL BE OWNED AND MAINTAINED BY A HOME OWNERS ASSOCIATION FOR USE BY THE SUBDIVISION FOR ACCESS, LANDSCAPING AND RECREATION.
- ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
- THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT AS ADOPTED BY THE TOWN OF ORO VALLEY:
  - INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
  - NATIONAL ELECTRICAL CODE
  - ADA STANDARDS FOR ACCESSIBLE DESIGN
  - GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
  - TOWN OF ORO VALLEY POOL CODE
  - PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
  - TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
  - TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
  - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
  - ORO VALLEY TOWN CODE, CURRENT REVISED
- RETAINING WALLS, ANY STRUCTURE USED TO RETAIN SLOPES SHALL BE DESIGNED TO BLEND WITH THE SURROUNDING NATURAL COLORS OF THE NATIVE ROCK AND SOILS OF THE SITE. THE SURFACE SHALL BE ROUGH TEXTURED WITH HEAVY SHADOW PATTERNS, WHICH MAY BE ACHIEVED BY COLOR--TREATED OR VENEERED SURFACES (OR OTHER METHODS APPROVED BY THE TOWN).

OPEN SPACE AREA CALCULATIONS

NATURAL OPEN SPACE (PORTION OF CA "C")	16,271 S.F.
LANDSCAPE AREA (PORTION OF CA "C")	26,012 S.F.
RECREATIONAL AREA (CA "B")	4,227 S.F.
TOTAL OPEN SPACE (MINIMUM 30% REQUIRED PER RANCHO VISTOSO PAD)	46,510 S.F. (30.4% OF SITE)

- A.P.N.: 219--20--001C
- JURISDICTION: TOWN OF ORO VALLEY
- MIN. LOT AREA PER DWELLING UNIT: 2,000 S.F.
- REQUIRED PERIMETER YARD SETBACKS:
  - FRONT: 20'
  - SIDE: 5' (0 FOR COMMON WALLS)
  - REAR: 5'
- REQUIRED SEPARATION BETWEEN BUILDINGS:
  - (STRUCTURE SEPARATION PER R--6 STANDARDS)
    - BETWEEN 2 SINGLE STORY BUILDINGS: 10'
    - BETWEEN A SINGLE STORY AND A TWO STORY BUILDING: 15'
    - BETWEEN 2 -- TWO STORY BUILDINGS: 20'
  - PROVIDED SEPERATION BETWEEN BUILDINGS: 10'
- REQUIRED BUFFERYARDS:
  - ALONG RANCHO VISTOSO: 25' TYPE B
  - ALONG MORNING VISTA: 15' TYPE A
  - ALONG ADJACENT RESIDENTIAL: NONE

VEHICULAR PARKING CALCULATIONS

	REQUIRED	PROVIDED
RESIDENTIAL PARKING -- 1.75 SPACES PER DWELLING UNIT 18 X 1.75 = 32 SPACES	32	36 (IN ATTACHED GARAGES)
VISITOR PARKING -- 1 SPACE PER EVERY 4 DWELLING UNITS  18 / 4 = 5 SPACES	5	5

GRADING CALCULATIONS

GRADABLE AREA  
(PARCEL AREA MINUS 25% SLOPES) = 142,520 S.F.

25% SLOPE DISTURBANCE AREA = 4,922 S.F.  
(3.45% OF GRADABLE AREA)

PROVIDED TRADE AREA = 16,271 S.F.

T.O.V. ENGINEERING NOTES:

- THE DESIGN SPEED FOR THIS PROJECT IS 25 MPH AND THE DESIGN VEHICLE TO BE USED FOR THIS PROJECT IS A WB--40.
- ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- THE BASIS OF BEARING FOR THIS PROJECT IS, ACCORDING TO BOOK 51 OF MAPS AND PLATS AT PAGE 8, PIMA COUNTY, ARIZONA BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF RANCHO VISTOSO BOULEVARD, AS SHOWN.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE PIMA COUNTY OPUS CONTROL POINT R21. A 1/2" REBAR NORTH EDGE OF CONCRETE WALK NORTH SIDE OF VISTOSO HIGHLANDS DRIVE. ELEVATION BEING: 2950.40' DATUM: NAVD88
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY--TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
- ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.

T.O.V. DRAINAGE NOTES

- ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FROM THE BUILDING OFFICIAL FOR PARCELS AFFECTED BY REGULATORY FLOODPLAIN. PARCELS AFFECTED BY REGULATORY FLOODPLAIN MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER, IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
- DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
- DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
- ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
- DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
- PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED A MINIMUM OF ONCE EACH YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED CIVIL ENGINEER A MINIMUM OF ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE 5--YEAR ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST. THE REPORT SHALL IDENTIFY THE MAINTENANCE NEEDS FOR THE NEXT 5--YEAR PERIOD, INCLUDING AN ANTICIPATED ANNUAL COST OF MAINTENANCE AND REPAIR.

ORO VALLEY WATER UTILITY NOTES

- ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
- THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
- THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
- ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
- A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY PUBLIC WATER INFRASTRUCTURE CONSTRUCTION WORK COMMENCING FOR THIS PROJECT.
- WATER INFRASTRUCTURE AS REPRESENTED ON THE PLAT OR DEVELOPMENT PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE PUBLIC WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL PUBLIC WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE PUBLIC WATER IMPROVEMENT PLAN SUBMITTAL.

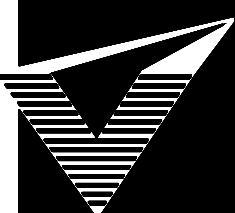

GOLDER RANCH FIRE GENERAL NOTES

- APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
- ROADWAYS SHALL BE SURFACED WITH AN ALL--WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
- TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
- ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

ABBREVIATIONS

ABC	AGGREGATE BASE COARSE	N	NORTH
AC	ASPHALTIC CONCRETE	NAVD	NORTH AMERICAN VERTICAL DATUM
ADEQ	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY	NE	NORTHEAST
ALT	ALTERNATE	NO	NUMBER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	NOI	NOTICE OF INTENT
APC	AUTOMATED PLASTIC CONTAINER	NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	NW	NORTHWEST
ARS	ARIZONA REVISED STATUTES	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OV	ORO VALLEY
AZPDES	ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM	PC/COT	PIMA COUNTY/CITY OF TUCSON
BC	BACK OF CURB	P	PAVEMENT
BCS	BUSINESS CONNECTION SEWER	PCC	PORTLAND CEMENT CONCRETE
BK	BOOK	PDSO	PLANNING & DEVELOPMENT SERVICES
BLDG	BUILDING	PE	POLYETHYLENE
BLVD	BOULEVARD	PG	PAGE
C	CONCRETE, COMPUTED	PN	PLAN NUMBER
CF	CUBIC FEET	PSI	POUNDS PER SQUARE INCH
CFS	CUBIC FEET PER SECOND	PUE	PUBLIC UTILITY EASEMENT
CI	CAST IRON	PVC	POLYVINYL CHLORIDE
CLR	CLEAR	PVMT	PAVEMENT
CMU	CONCRETE MASONRY UNIT	R	RANGE, RADIUS, RECORD
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
COT	CITY OF TUCSON	RD	ROAD
CY	CUBIC YARDS	RLS	REGISTERED LAND SURVEYOR
DIP	DUCTILE IRON PIPE	ROW	RIGHT--OF--WAY
DKT	DOCKET	RWRD	REGIONAL WASTEWATER RECLAMATION DEPARTMENT
DTL	DETAIL	S	SLOPE, SOUTH, SECTION
DR	DRIVE	SE	SOUTHEAST
E	EAST	SEQ	SEQUENCE
EG	EXISTING GRADE	SF	SQUARE FEET
ELEV	ELEVATION	SSPI	STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
EQUIV	EQUIVALENT	STD	STANDARD
EX	EXISTING	SVT	SIGHT VISIBILITY TRIANGLE
EXIST	EXISTING	SW	SIDEWALK, SOUTHWEST
FC	FACE OF CURB	SWR	SEWER
FFE	FINISHED FLOOR ELEVATION	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
FG	FINISHED GRADE	T	TOWNSHIP
FL	FLOW LINE	TC	TOP OF CURB
FT	FEET	TYP	TYPICAL
G	GUTTER	TW	TOP OF WALL
G&SRM	GILA & SALT RIVER MERIDIAN	UDC	UNIFIED DEVELOPMENT CODE
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GAL	GALLONS	VCP	VITRIFIED CLAY PIPE
GFA	GROSS FLOOR AREA	VERT	VERTICAL
HDPE	HIGH--DENSITY POLYETHYLENE	W	WEST, WIDTH
IBC	INTERNATIONAL BUILDING CODE	WK	WEEK
ICC	INTERNATIONAL CODE COUNCIL	WSEL	WATER SURFACE ELEVATION
INV	INVERT	WTR	WATER
L	LENGTH	WWF	WELDED WIRE FABRIC
LBS	POUNDS	YR	YEAR
LF	LINEAR FEET		
LP	LOOP		
M	MEASURED		
M&P	MAPS & PLATS		
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS		
MAX	MAXIMUM		
ME	MATCH EXISTING		
MIN	MINIMUM		

REF.: 2003075

Rev #	Date	Description	
			
<b>GRENIER ENGINEERING, Inc.</b> Structural & Civil Engineering Consultant		Job Number: 20124	
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508		Designed By: AR/JM	
Sheet Name		Drawn By: AR	
<b>NOTES</b>		Checked By: JM	
		Date: 6/23/2023	
Project		Scale: Vt: N/A Ht: AS NOTED	
<b>RESIDENCES AT MORNING VISTA</b> LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C" A PORTION OF THE SW QTR. SECTION 24, T-11-S, R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA 85755		Sheet Number: <b>C1.1</b>	
		Sheet 2 of 17	

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

GRADING PERMIT #2501679



T.O.V. GENERAL GRADING NOTES

1. ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PIMA ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (P.A.G. S.S.P.I.), EDITION OF 2003, EXCEPT AS MODIFIED HEREBY.
2. ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH P.A.G. S.S.P.I., EDITION OF 2003, EXCEPT AS MODIFIED HEREBY.
3. ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 15 OF THE ORO VALLEY ZONING CODE REVISED.
4. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO P.A.G. S.S.P.I., SECTION 203-5.
5. ALL CONCRETE SHALL CONFORM TO P.A.G. S.S.P.I., SECTION 1006, CLASS S, 3,000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
6. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
7. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
8. CONTRACTOR SHALL CALL BLUE STAKE (1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. CONTRACTORS SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
10. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S 28-650.
11. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
12. ALL STATIONING SHOWN ON PLAN AND PROFILE ARE ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
14. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:

a) WALL(S), RETAINING OR OTHER TYPE(S).

b) ANY REINFORCED CONCRETE STRUCTURE(S).

c) ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE.

THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
15. THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
16. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
17. IT SHALL BE THE CONTRACTOR'S REPSPONSIBILITY TO FULLY COMPLY WITH ADEQ STORMWATER DISCHARGE PERMIT IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
18. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHING +0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE ENGINEER.
19. A REPORT OF SOILS INVESTIGATIONS HAS BEEN PREPARED FOR THIS PROJECT SEE ENGINEER'S NOTE #2.
20. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, IS TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.

T.O.V. GENERAL GRADING NOTES - CONT.

21. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
23. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK ( CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC..) ENCROACHING OR AFFECTING - DIRECTLY OR INDIRECTLY - ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS (OR) ON THIS PLAT.
24. THE PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT AS-BUILT RECORD DRAWINGS AND CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS-BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE DEPARTMENT OF PUBLIC WORKS AND THE RELEASE OF ASSURANCES, EXCEPT FOR MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED THE ABOVE PERTAINS TO EACH PHASE.
25. FOR THE PROJECT BASIS OF ELEVATION SEE T.O.V. ENGINEERING NOTE #5.
26. ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.

T.O.V. TYPE 2 GRADING STANDARD CONDITIONS

1. A COPY OF THE APPROVED GRADING PERMIT, AS WELL AS ANY SPECIAL CONDITIONS, AND A SET OF THE APPROVED GRADING PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES.
2. ANY CHANGES TO THE APPROVED PLANS SHALL REQUIRE THE SUBMITTAL OF A REVISION TO THE TOWN OF ORO VALLEY FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF SAID CHANGES IN THE FIELD.
3. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND PROPERLY MAINTAINED TO PREVENT EROSION OF SLOPES, AND CLEARED, BRUSHED, GRUBBED OR GRADED AREAS.
4. THE CONTRACTOR SHALL INSTALL STABILIZATION DEVICES WHEN NECESSARY TO PREVENT EROSION OR SEDIMENT TRANSPORT FROM THE CONSTRUCTION SITE.
5. ALL EXPOSED GRADED AREAS, CUT AND FILL SLOPES SHALL BE RE-VEGETATED, STABILIZED, AND/OR CONSTRUCTED PRIOR TO THE EXPIRATION OF THE GRADING PERMIT. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS, CODES AND APPROVED PLANS.
6. THE TOP OF A CUT SLOPE SHALL BE MADE NOT NEARER TO THE SITE BOUNDARY LINE THAN ONE-FIFTH THE VERTICAL HEIGHT OF CUT, WITH A MINIMUM OF TWO FEET. THE TOE OF A FILL SLOPE SHALL BE MADE NOT NEARER TO THE SITE BOUNDARY THAN ONE-HALF THE VERTICAL HEIGHT OF THE FILL, WITH A MINIMUM OF TWO FEET.
7. NO GRADING ACTIVITY SHALL BE ALLOWED IN ANY FLOODPLAIN, EXCEPT AS PROVIDED IN THE TOWN OF ORO VALLEY FLOODPLAIN MANAGEMENT ORDINANCE AND AUTHORIZED BY PERMIT FROM THE TOWN OF ORO VALLEY.
8. EARTH AND VEGETATION REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROVED LOCATION.
9. NOISE GENERATED BY CONSTRUCTION, DEMOLITION, EXCAVATION OR GRADING ACCORDING TO THE FOLLOWING RESTRICTIONS.
10. CONCRETE. THE POURING OF CONCRETE AND ALL ASSOCIATED WORK MAY BE CONDUCTED FROM APRIL 15 THROUGH OCTOBER 15 BETWEEN THE HOURS OF 5:00 A.M. AND 7:00 P.M. AND FROM OCTOBER 16 THROUGH APRIL 14 BETWEEN THE HOURS OF 6:00 A.M. AND 6:00 P.M. OR AS AUTHORIZED PURSUANT TO AN EXTENDED CONSTRUCTION HOURS WORK PERMIT (ECHWP) ISSUED UNDER ORO VALLEY TOWN CODE SECTION 10-1-4.
11. ALL OTHER CONSTRUCTION. WITHIN 500 FT. OF A RESIDENTIAL ZONE, ALL OTHER CONSTRUCTION MAY OCCUR BETWEEN THE HOURS OF 6:00 A.M. AND 6:00 P.M. CONSTRUCTION SITES MORE THAN 500 FT. FROM A RESIDENTIAL ZONE MAY CONDUCT WORK BETWEEN THE HOURS OF 5:00 A.M. AND 6:00 P.M. CONSTRUCTION HOURS MAY BE EXTENDED PURSUANT TO AN ECHWP ISSUED UNDER ORO VALLEY TOWN CODE SECTION 10-1-4. THE DISTANCE FROM A RESIDENTIAL ZONE SHALL BE DETERMINED BY MEASURING FROM ALL PROPERTY LINES OF THE CONSTRUCTION SITE.
12. NO VEHICLES OR EQUIPMENT SHALL ENROACH ONTO AREAS DESIGNATED TO REMAIN IN A NATURAL STATE ON THE APPROVED FINAL PLAT, DEVELOPMENT PLAN, GRADING, LANDSCAPE OR NATIVE SALVAGE PLANS. POINTS OF ENTRY TO THE SITE DURING GRADING SHALL BE ONLY AS DESIGNATED ON THE APPROVED GRADING PLAN.
13. DURING GRADING AND UNTIL RE-VEGETATION OR STABILIZATION HAS TAKEN PLACE, DUST SHALL BE MINIMIZED THROUGH THE APPLICATION OF APPROVED DUST CONTROLS IN ACCORDANCE WITH SECTION 27.9.2A OF THE ORO VALLEY ZONING CODE REVISED (OVZCR).
14. PUBLIC RIGHTS-OF-WAY, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED DURING GRADING IN A NEAT AND CLEAN CONDITION, FREE OF LOOSE SOIL, CONSTRUCTION DEBRIS AND TRASH. ANY DAMAGED AREAS SHALL BE RESTORED TO ORIGINAL APPEARANCE AT NO COST TO THE TOWN OF ORO VALLEY. DEBRIS, FILL MATERIAL OR EQUIPMENT SHALL NOT BE STORED WITHIN A PUBLIC RIGHT-OF-WAY WITHOUT THE WRITTEN APPROVAL OF THE TOWN ENGINEER.
15. THE PERMIT HOLDER SHALL PROVIDE NOTIFICATION TWENTY-FOUR (24) HOURS PRIOR TO AN INSPECTION REQUEST, OR AS SPECIFIED BY THE GRADING PERMIT.
16. THE CONTRACTOR SHALL CALL FOR ROUGH GRADING, CERTIFICATION OF THE BUILDING PAD ELEVATION, AND FINAL GRADING INSPECTIONS.
17. NOTICE OF VIOLATION, STOP WORK ORDER, AND/OR CITATION MAY BE ISSUED WHENEVER TOWN OF ORO VALLEY DETERMINES THAT THE GRADING DOES NOT COMPLY WITH TOWN OF ORO VALLEY APPROVED PLANS OR PERMIT CONDITIONS.
18. A TYPE 2 GRADING PERMIT SHALL BE NULL AND VOID IF THE AUTHORIZED WORK HAS NOT BEEN COMPLETED WITHIN ONE YEAR OF PERMIT ISSUANCE.

T.O.V. TYPE 2 GRADING SPECIAL CONDITIONS

1. A RIGHT-OF-WAY USER PERMIT IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHT-OF-WAY.
2. PRIOR TO CONSIDERATION FOR CERTIFICATION OF OCCUPANCY (C. OF 0.) AND/OR RELEASE OF ASSURANCES.

A. AS-BUILT'S OF THE PROJECT WILL NEED TO BE STAMPED BY THE ENGINEER OF RECORD ALONG WITH A LETTER OF SUBSTANTIAL COMPLETION.

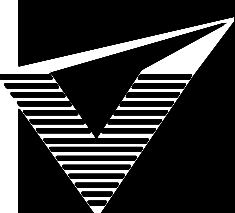
B. ALL SURVEILLANCE NOTES WILL BE HANDED IN FROM THE ENGINEER OF RECORD OR HIS REPRESENTATIVE.

C. IF DURING THE COURSE OF REVIEWING THE PROJECT THERE ARE MORE THAN 10 PUNCH LIST ITEMS, THE TOWN OF ORO VALLEY WILL CONSIDER THE PROJECT NOT TO BE IN SUBSTANTIAL COMPLETION AND A MEETING WILL BE HELD WITH THE ENGINEER OF RECORD TO DETERMINE THE STATUS OF THE PROJECT AND WHEN FINAL ASSURANCES MAY BE RELEASED.
3. THE APPLICANT HEREBY CERTIFIES THAT HE/SHE UNDERSTANDS THAT THE GRANTING OF A GRADING PERMIT DOES NOT GIVE HIM/HER THE AUTHORITY TO COMMENCE CONSTRUCTION OF ANY WATER IMPROVEMENTS OR RELATED WORKS. HE/SHE FURTHER CERTIFIES THAT HE/SHE UNDERSTANDS THAT CONSTRUCTION OF ANY WATER IMPROVEMENTS REQUIRES A PRIOR APPROVAL TO CONSTRUCT ISSUED BY THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, PURSUANT TO ARIZONA ADMINISTRATIVE CODE RULE R18-4-505, AND THE SATISFACTION OF ANY OTHER APPLICABLE RULES, REGULATIONS, LAWS OR ORDINANCES.
4. A FIELD PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF ANY WATER SYSTEM CONSTRUCTION. CONTACT MARK MOORE, ORO VALLEY WATER UTILITY, 229-5017.
5. BY RECEIPT OF THIS PERMIT, THE PROPERTY OWNER/APPLICANT AGREES THAT TOWN OF ORO VALLEY DESIGNEES MAY ENTER ONTO THE PROPERTY IN ORDER TO MAKE INSPECTIONS OF THE PROPERTY FOR COMPLIANCE WITH TOWN OF ORO VALLEY CODES.
6. ANY STOCKPILE ON THIS SITE SHALL NOT EXCEED SIX FEET IN HEIGHT AND SHALL BE LOCATED ONLY WITHIN THE APPROVED LIMITS OF GRADING UNDER THIS PERMIT.
7. TRASH DUMPSTERS MUST BE PROVIDED FOR TRASH DISPOSAL AT THE CONSTRUCTION SITE. WIRE RECEPTACLES ARE NOT ALLOWED FOR TRASH STORAGE.
8. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED PRIOR TO THE ONSET OF CONSTRUCTION ACTIVITIES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AS DIRECTED BY THE STORMWATER POLLUTION PREVENTION PLAN AND PERMITTED BY ADEQ.
9. A STORMWATER PREVENTION PLAN IS PROVIDED FOR THIS SITE. THE PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED DURING CONSTRUCTION. THE MEASURES SUCH AS CONSTRUCTION ENTRANCE(S), SILT FENCES, AND STRAW BALE AREAS HAVE BEEN STABILIZED WITH PERMANENT EROSION CONTROL MEASURES.
10. TEMPORARY STORMWATER POLLUTION PREVENTION MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THE GRADED AREAS HAVE BEEN SATISFACTORILY STABILIZED.
11. AS-BUILT PLANS AND ENGINEER AND GEOTECHNICAL LETTER OF CERTIFICATION SHALL BE SUBMITTED A MINIMUM OF TWO WEEKS PRIOR TO THE EXPIRATION DATE OF THE PERMIT AND MUST BE ACCEPTED BY THE TOWN OF ORO VALLEY.
12. IN ALL CASES THE TYPE 2 GRADING PERMIT MUST REMAIN ACTIVE UNTIL THE SITE CERTIFICATION HAS BEEN ACCEPTED BY THE TOWN OF ORO VALLEY. APPLICANT SHALL REAPPLY OR EXTEND PERMIT AS NECESSARY.
13. IF CULTURAL RESOURCES ARE DISCOVERED DURING DEVELOPMENT, WORK SHALL CEASE UNTIL A QUALIFIED ARCHEOLOGIST INSPECTS THE SITE AND MATERIALS AND MAKES RECOMMENDATIONS REGARDING TREATMENT. IF HUMAN REMAINS ARE DISCOVERED, THE CONTRACTOR SHALL COORDINATE WITH THE TOWN AND THE STATE MUSEUM TO CONTACT RELATED TRIBES OR COMMUNITIES WHO MAY HAVE ANCESTRAL TIES TO THE REMAINS.
14. MONTHLY REPORTING IS REQUIRED. REPORTS SHALL CONTAIN:

1) ENGINEER'S OBSERVATION REPORTS

2) MATERIAL (SITE) GEOTECHNICAL REPORTS.

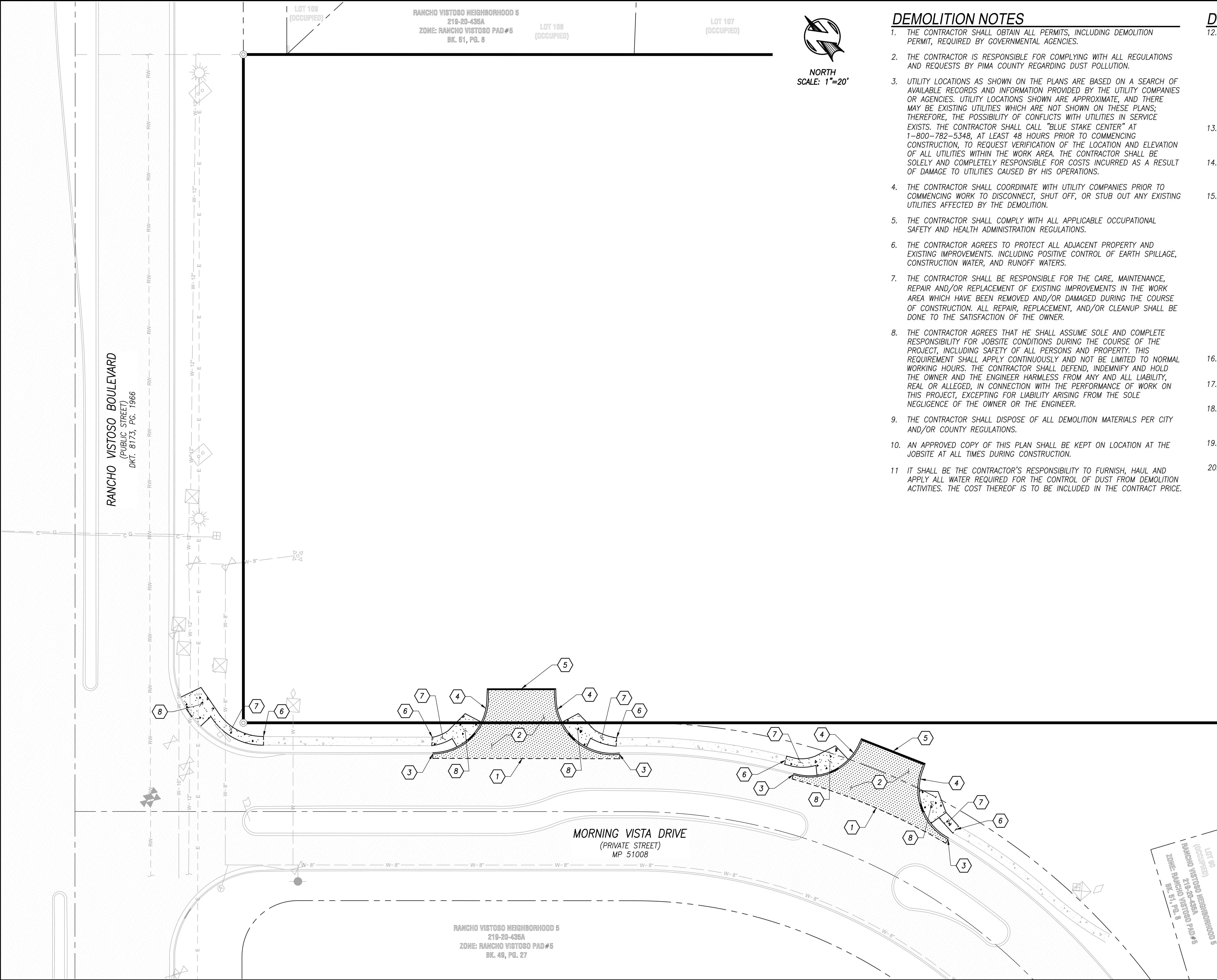
REF.: 2003075

Rev #	Date	Description	
		<b>GRENIER ENGINEERING, Inc.</b> Structural & Civil Engineering Consultant	
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508			
Sheet Name		NOTES	
Project		RESIDENCES AT MORNING VISTA LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C" A PORTION OF THE SW QTR. SECTION 24, T-11-S, R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA 85755	
		Job Number: 20124 Designed By: AR/JM Drawn By: AR Checked By: JM Date: 6/23/2023 Scale Vt: N/A Ht: AS NOTED Sheet Number: C1.2	
		Sheet 3 of 17	

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

GRADING PERMIT #2501679





### DEMOLITION NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INCLUDING DEMOLITION PERMIT, REQUIRED BY GOVERNMENTAL AGENCIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY PIMA COUNTY REGARDING DUST POLLUTION.
3. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE PLANS; THEREFORE, THE POSSIBILITY OF CONFLICTS WITH UTILITIES IN SERVICE EXISTS. THE CONTRACTOR SHALL CALL "BLUE STAKE CENTER" AT 1-800-782-5348, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATION AND ELEVATION OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING WORK TO DISCONNECT, SHUT OFF, OR STUB OUT ANY EXISTING UTILITIES AFFECTED BY THE DEMOLITION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
6. THE CONTRACTOR AGREES TO PROTECT ALL ADJACENT PROPERTY AND EXISTING IMPROVEMENTS, INCLUDING POSITIVE CONTROL OF EARTH SPILLAGE, CONSTRUCTION WATER, AND RUNOFF WATERS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
9. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS PER CITY AND/OR COUNTY REGULATIONS.
10. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT ON LOCATION AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE.

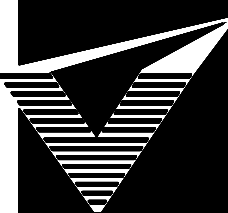
### DEMOLITION NOTES - CONTINUED

12. THE EXISTENCE AND LOCATION OF ANY EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A REPRESENTATION OF THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT ANY UTILITY NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
13. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING DUST CONTROL AND ASBESTOS/NESHAP.
14. THE CONTRACTOR SHALL OBTAIN APPROVAL AND CLEARANCE FROM GOLDER RANCH FIRE DEPARTMENT PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK.
15. REGARDING DEMOLITION OF EXISTING LANDSCAPE IMPROVEMENT, THE CONTRACTOR SHALL:
  - A. CUT AND CAP ALL LANDSCAPE IRRIGATION LINES SERVING PLANTS TO BE REMOVED.
  - B. ENSURE CONTINUED IRRIGATION SERVICE TO PLANT MATERIAL TO REMAIN.
  - C. PROTECT ALL PLANT MATERIAL TO REMAIN: DO NOT COMPACT SOIL OR PLACE CONSTRUCTION EQUIPMENT OR MATERIAL WITHIN THE AREA UNDER THE PLANT CANOPY.
  - D. SALVAGE AND OFFER ALL LANDSCAPE IRRIGATION EQUIPMENT TO THE OWNER.
  - E. ALL STUMPS OF REMOVED TREES MUST BE COMPLETELY REMOVED BELOW GRADE.
  - F. ALL EXISTING BACKFLOW PREVENTORS SHALL BE SALVAGED.
16. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT FOR EXISTING WATER SERVICES TO BE ABANDONED.
17. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR ARCHITECT FOR MATERIALS TO BE SALVAGED FOR REUSE OR STORAGE.
18. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED CITY AND/OR COUNTY REGULATIONS.
19. PRIOR TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY.
20. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

### KEYNOTES

- 1 SAWCUT EXISTING PAVEMENT, SEE HORIZONTAL CONTROL PLAN (C8.0) FOR LIMITS OF NEW CONSTRUCTION.
- 2 EXISTING A.C. PAVEMENT TO BE REMOVED.
- 3 SAWCUT EXISTING CONCRETE VERTICAL CURB, SEE HORIZONTAL CONTROL PLAN (C8.0) AND ROAD PLAN AND PROFILE (C6.0) FOR LIMITS OF NEW CONSTRUCTION.
- 4 EXISTING CONCRETE VERTICAL CURB TO BE REMOVED.
- 5 EXISTING CONCRETE HEADER TO BE REMOVED.
- 6 SAWCUT EXISTING CONCRETE SIDEWALK, SEE HORIZONTAL CONTROL PLAN (C8.0) FOR LIMITS OF NEW CONSTRUCTION.
- 7 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 8 EXISTING CURB ACCESS RAMP TO BE REMOVED.

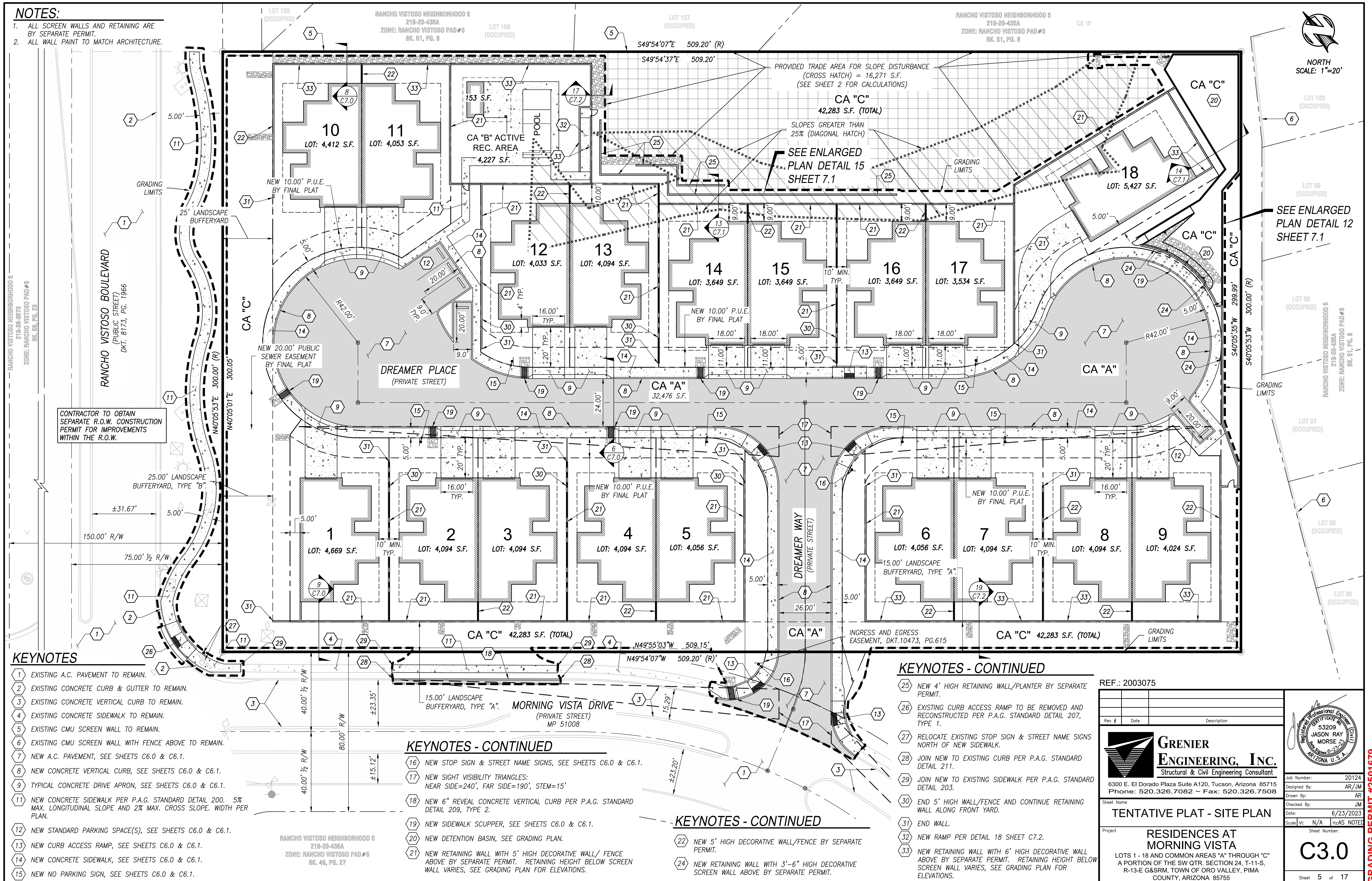
REF.: 2003075

Rev #		Date	Description
 <b>GRENIER ENGINEERING, Inc.</b> Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508			
Sheet Name		DEMOLITION PLAN	
Project		RESIDENCES AT MORNING VISTA LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C" A PORTION OF THE SW QTR. SECTION 24, T-11-S, R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA 85755	
Job Number:		20124	
Designed By:		AR/JM	
Drawn By:		AR	
Checked By:		JM	
Date:		6/23/2023	
Scale:		Vt: N/A Ht: AS NOTED	
Sheet Number:		C2.0	
Sheet		4 of 17	

GRADING PERMIT #2501679

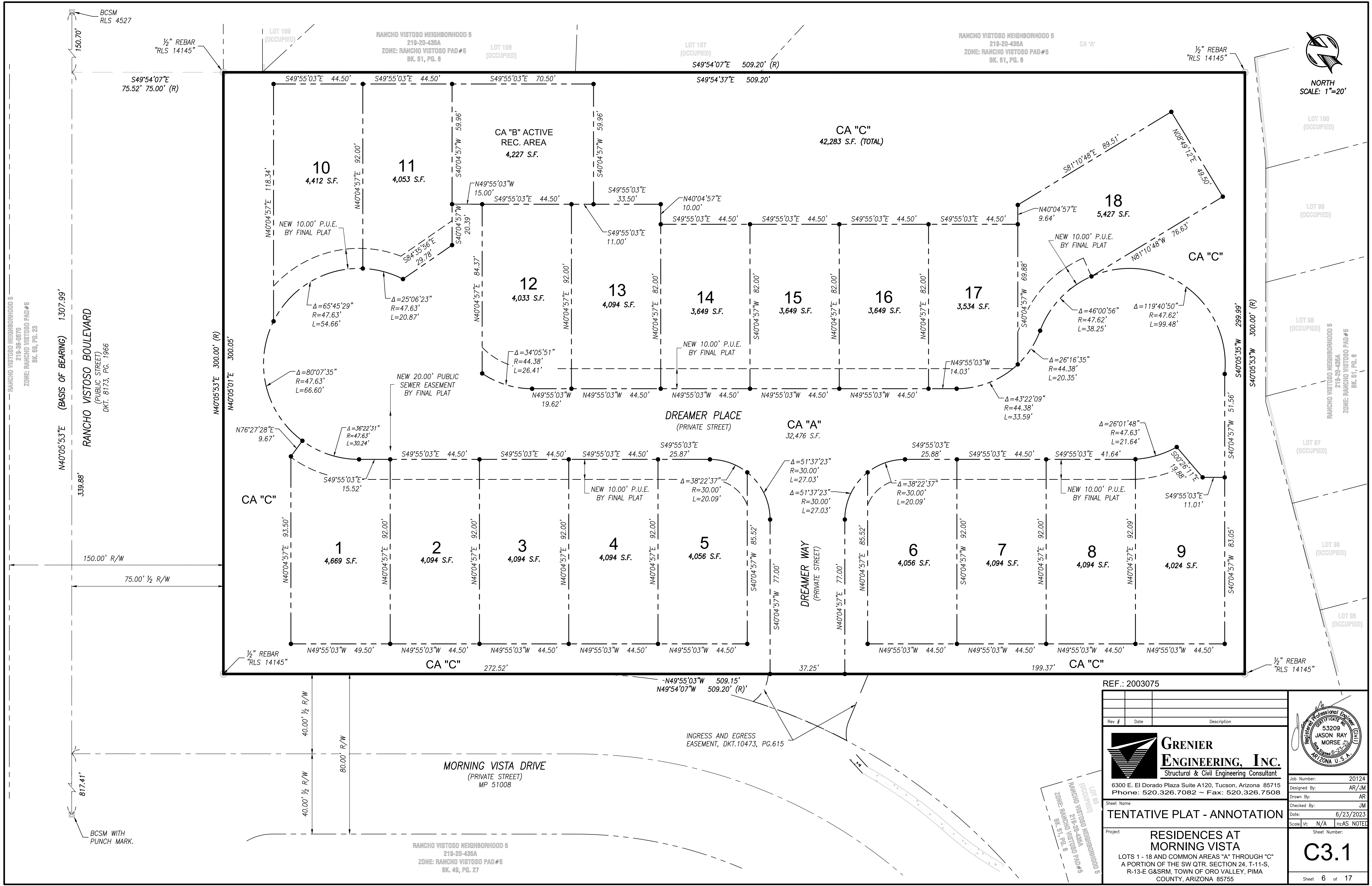


1. ALL SCREEN WALLS AND RETAINING ARE BY SEPARATE PERMIT.
2. ALL WALL PAINT TO MATCH ARCHITECTURE.



**E1010C7# 11M1719NIDYIS**





REF.: 2003075

Rev #	Date	Description

**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultant  
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
Phone: 520.326.7082 ~ Fax: 520.326.7508

TENTATIVE PLAT - ANNOTATION

Project: RESIDENCES AT MORNING VISTA  
LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755

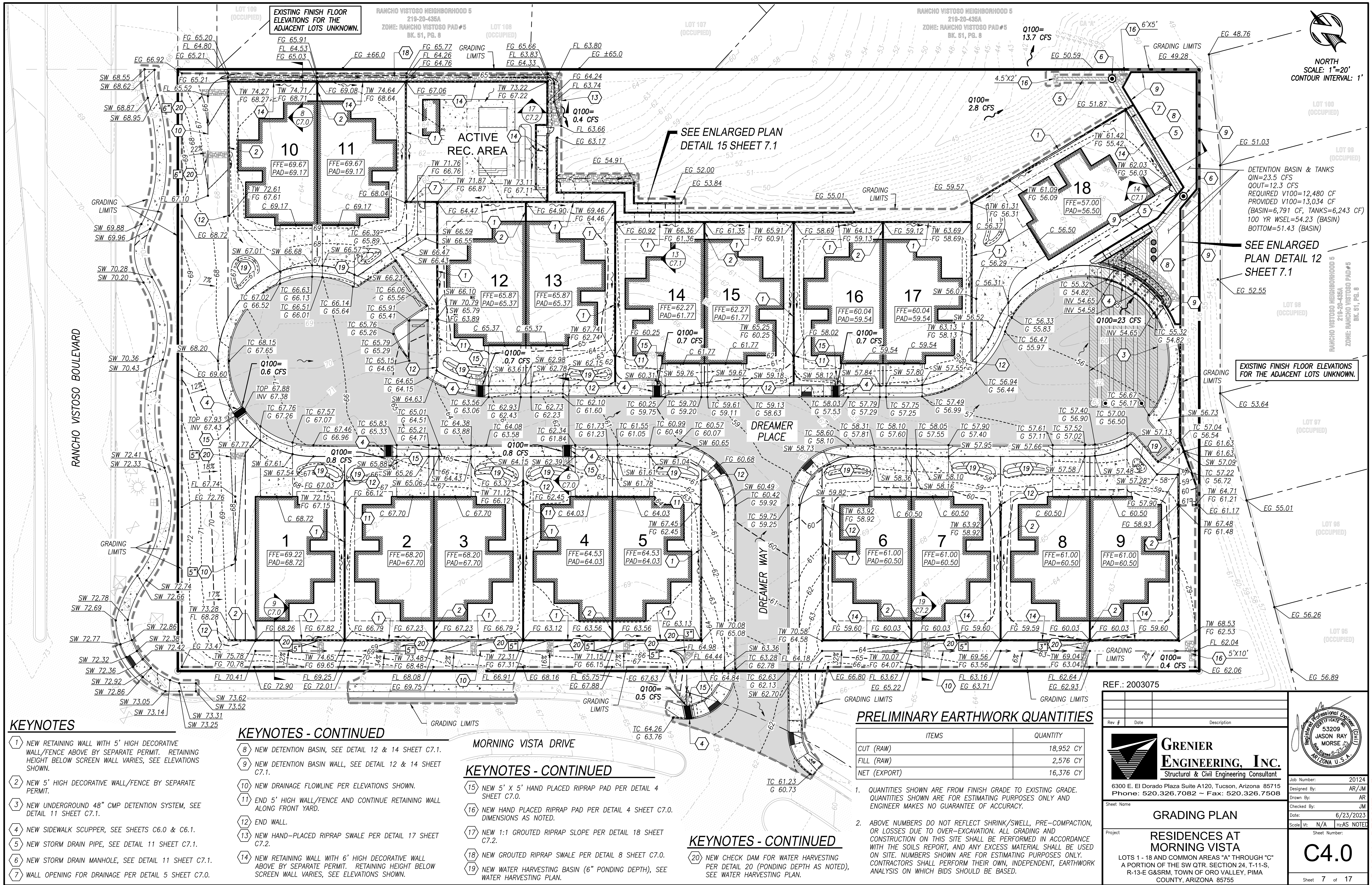
Job Number: 20124  
Designed By: AR/JM  
Drawn By: AR  
Checked By: JM  
Date: 6/23/2023  
Scale: Vt: N/A H: AS NOTED

Sheet Number:  
**C3.1**  
Sheet 6 of 17

GRADING PERMIT #2501679

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.





KEYNOTES

- 1 NEW RETAINING WALL WITH 5' HIGH DECORATIVE WALL/FENCE ABOVE BY SEPARATE PERMIT. RETAINING HEIGHT BELOW SCREEN WALL VARIES, SEE ELEVATIONS SHOWN.
- 2 NEW 5' HIGH DECORATIVE WALL/FENCE BY SEPARATE PERMIT.
- 3 NEW UNDERGROUND 48" CMP DETENTION SYSTEM, SEE DETAIL 11 SHEET C7.1.
- 4 NEW SIDEWALK SCUPPER, SEE SHEETS C6.0 & C6.1.
- 5 NEW STORM DRAIN PIPE, SEE DETAIL 11 SHEET C7.1.
- 6 NEW STORM DRAIN MANHOLE, SEE DETAIL 11 SHEET C7.1.
- 7 WALL OPENING FOR DRAINAGE PER DETAIL 5 SHEET C7.0.

KEYNOTES - CONTINUED

- 8 NEW DETENTION BASIN, SEE DETAIL 12 & 14 SHEET C7.1.
- 9 NEW DETENTION BASIN WALL, SEE DETAIL 12 & 14 SHEET C7.1.
- 10 NEW DRAINAGE FLOWLINE PER ELEVATIONS SHOWN.
- 11 END 5' HIGH WALL/FENCE AND CONTINUE RETAINING WALL ALONG FRONT YARD.
- 12 END WALL.
- 13 NEW HAND-PLACED RIPRAP SWALE PER DETAIL 17 SHEET C7.2.
- 14 NEW RETAINING WALL WITH 6' HIGH DECORATIVE WALL ABOVE BY SEPARATE PERMIT. RETAINING HEIGHT BELOW SCREEN WALL VARIES, SEE ELEVATIONS SHOWN.

MORNING VISTA DRIVE

KEYNOTES - CONTINUED

- 15 NEW 5' X 5' HAND PLACED RIPRAP PAD PER DETAIL 4 SHEET C7.0.
- 16 NEW HAND PLACED RIPRAP PAD PER DETAIL 4 SHEET C7.0. DIMENSIONS AS NOTED.
- 17 NEW 1:1 GROUTED RIPRAP SLOPE PER DETAIL 18 SHEET C7.2.
- 18 NEW GROUTED RIPRAP SWALE PER DETAIL 8 SHEET C7.0.
- 19 NEW WATER HARVESTING BASIN (6" PONDING DEPTH), SEE WATER HARVESTING PLAN.

KEYNOTES - CONTINUED

- 20 NEW CHECK DAM FOR WATER HARVESTING PER DETAIL 20 (PONDING DEPTH AS NOTED), SEE WATER HARVESTING PLAN.

PRELIMINARY EARTHWORK QUANTITIES

ITEMS	QUANTITY
CUT (RAW)	18,952 CY
FILL (RAW)	2,576 CY
NET (EXPORT)	16,376 CY

- QUANTITIES SHOWN ARE FROM FINISH GRADE TO EXISTING GRADE. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY AND ENGINEER MAKES NO GUARANTEE OF ACCURACY.
- ABOVE NUMBERS DO NOT REFLECT SHRINK/SWELL, PRE-COMPACTON, OR LOSSES DUE TO OVER-EXCAVATION. ALL GRADING AND CONSTRUCTION ON THIS SITE SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT, AND ANY EXCESS MATERIAL SHALL BE USED ON SITE. NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN, INDEPENDENT, EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.

REF.: 2003075

**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultant  
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
Phone: 520.326.7082 ~ Fax: 520.326.7508

Rev #	Date	Description

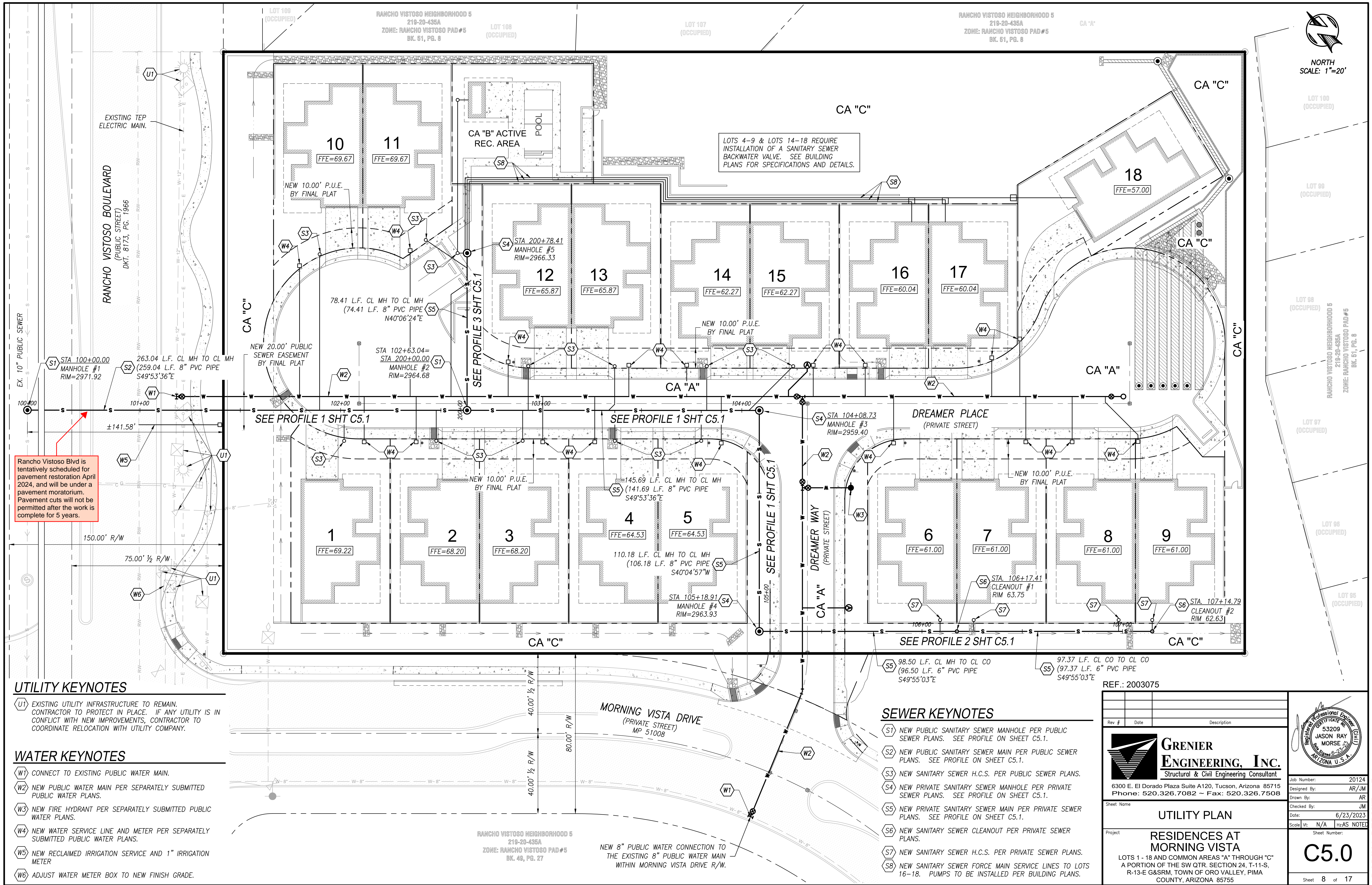
Job Number: 20124  
Designed By: AR/JM  
Drawn By: AR  
Checked By: JM  
Date: 6/23/2023  
Scale: Vt: N/A Ht: AS NOTED  
Sheet Number: 7 of 17

**GRADING PLAN**  
**RESIDENCES AT MORNING VISTA**  
LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755

**C4.0**

GRADING PERMIT #2501679





Rancho Vistoso Blvd is tentatively scheduled for pavement restoration April 2024, and will be under a pavement moratorium. Pavement cuts will not be permitted after the work is complete for 5 years.

UTILITY KEYNOTES

- U1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE. IF ANY UTILITY IS IN CONFLICT WITH NEW IMPROVEMENTS, CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.

WATER KEYNOTES

- W1 CONNECT TO EXISTING PUBLIC WATER MAIN.
- W2 NEW PUBLIC WATER MAIN PER SEPARATELY SUBMITTED PUBLIC WATER PLANS.
- W3 NEW FIRE HYDRANT PER SEPARATELY SUBMITTED PUBLIC WATER PLANS.
- W4 NEW WATER SERVICE LINE AND METER PER SEPARATELY SUBMITTED PUBLIC WATER PLANS.
- W5 NEW RECLAIMED IRRIGATION SERVICE AND 1" IRRIGATION METER
- W6 ADJUST WATER METER BOX TO NEW FINISH GRADE.

SEWER KEYNOTES

- S1 NEW PUBLIC SANITARY SEWER MANHOLE PER PUBLIC SEWER PLANS. SEE PROFILE ON SHEET C5.1.
- S2 NEW PUBLIC SANITARY SEWER MAIN PER PUBLIC SEWER PLANS. SEE PROFILE ON SHEET C5.1.
- S3 NEW SANITARY SEWER H.C.S. PER PUBLIC SEWER PLANS.
- S4 NEW PRIVATE SANITARY SEWER MANHOLE PER PRIVATE SEWER PLANS. SEE PROFILE ON SHEET C5.1.
- S5 NEW PRIVATE SANITARY SEWER MAIN PER PRIVATE SEWER PLANS. SEE PROFILE ON SHEET C5.1.
- S6 NEW SANITARY SEWER CLEANOUT PER PRIVATE SEWER PLANS.
- S7 NEW SANITARY SEWER H.C.S. PER PRIVATE SEWER PLANS.
- S8 NEW SANITARY SEWER FORCE MAIN SERVICE LINES TO LOTS 16-18. PUMPS TO BE INSTALLED PER BUILDING PLANS.

REF.: 2003075

Rev #		Date	Description
<div><b>GRENIER ENGINEERING, INC.</b> Structural &amp; Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508</div>			
Sheet Name		Project	
UTILITY PLAN		RESIDENCES AT MORNING VISTA LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C" A PORTION OF THE SW QTR. SECTION 24, T-11-S, R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA 85755	
Job Number: 20124		Designed By: AR/JM	
Drawn By: AR		Checked By: JM	
Date: 6/23/2023		Scale: Vt: N/A Ht: AS NOTED	
Sheet Number: C5.0		Sheet 8 of 17	

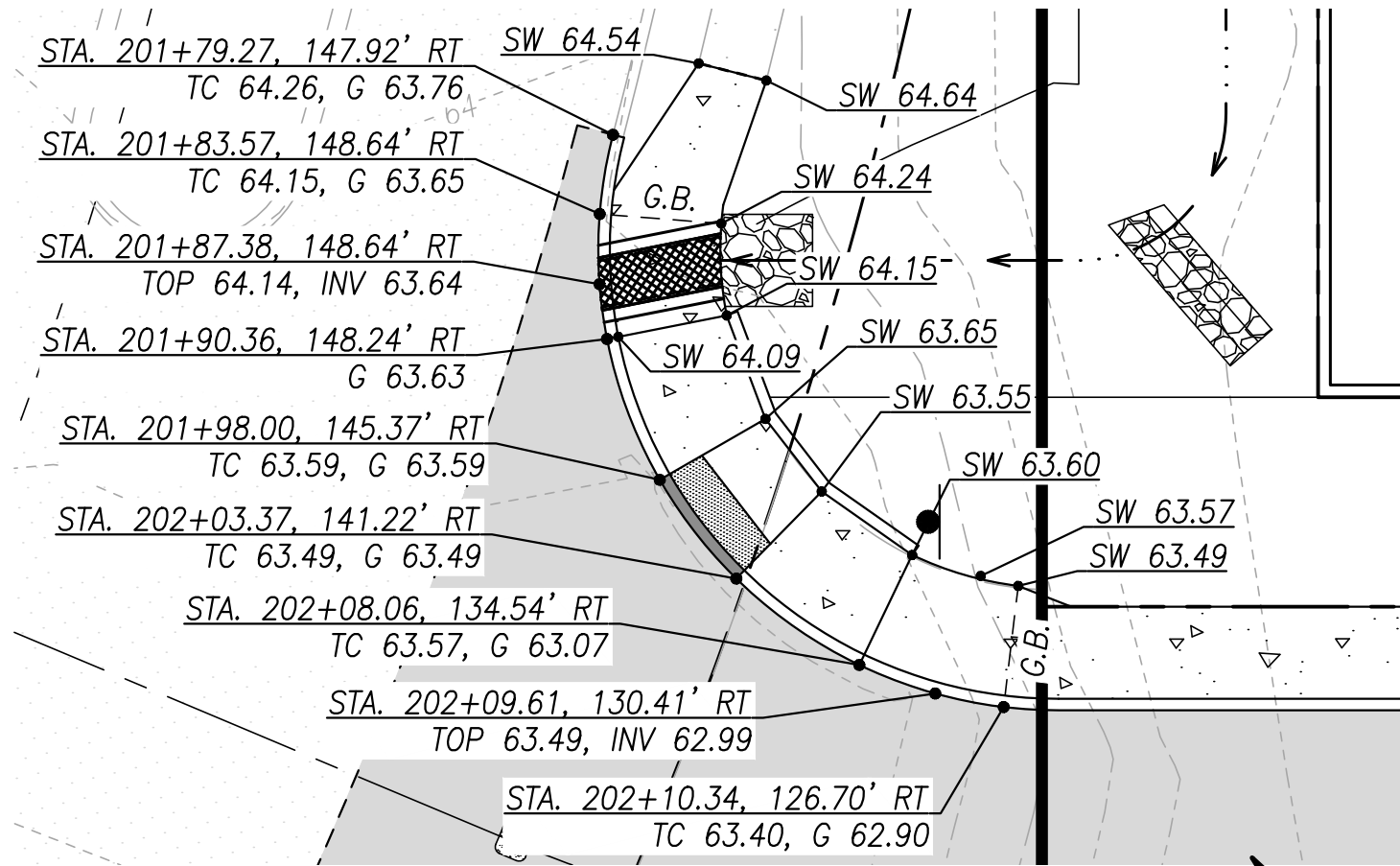
GRADING PERMIT #2501679

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ENGINEER OF RECORD. REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

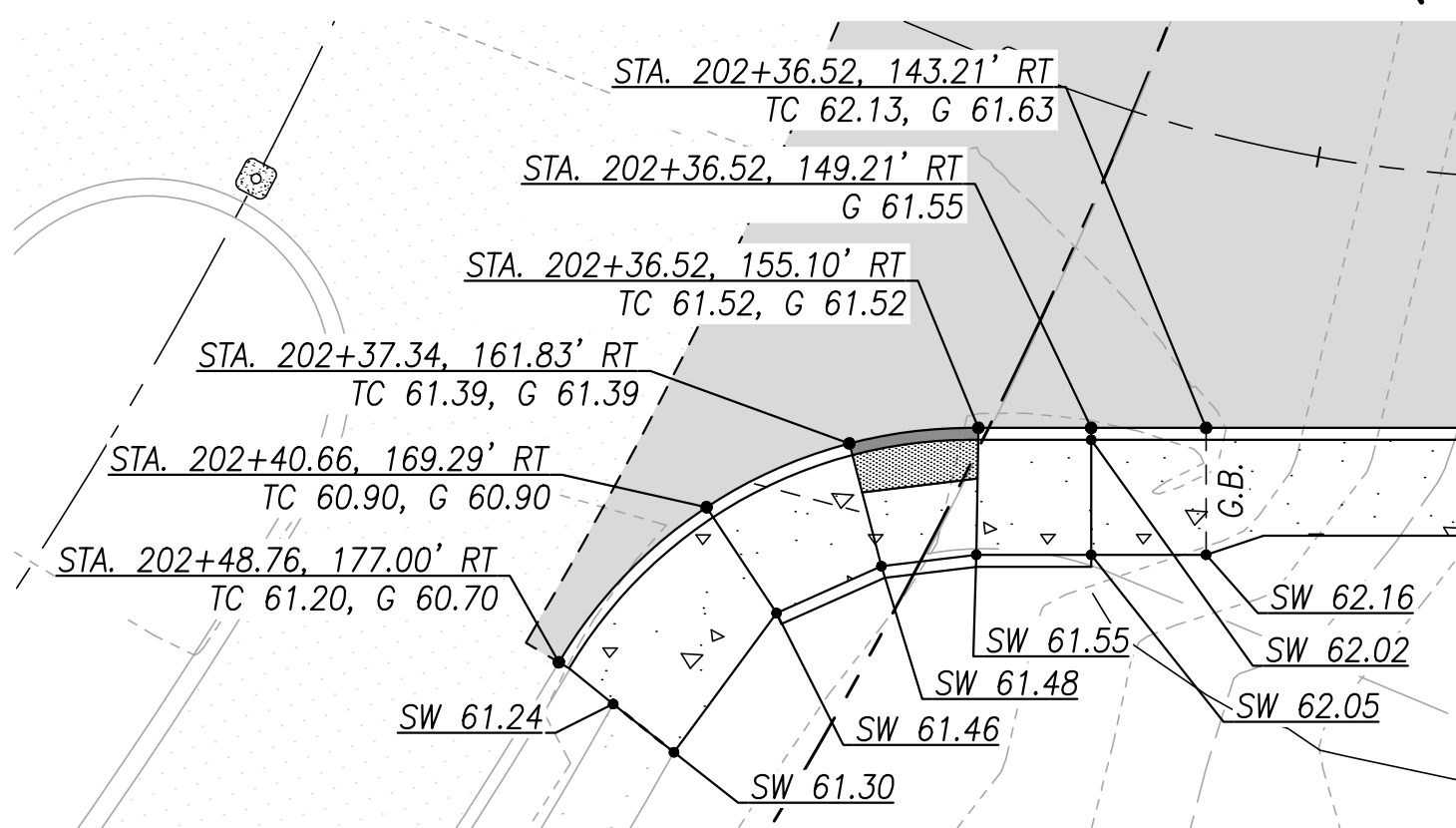




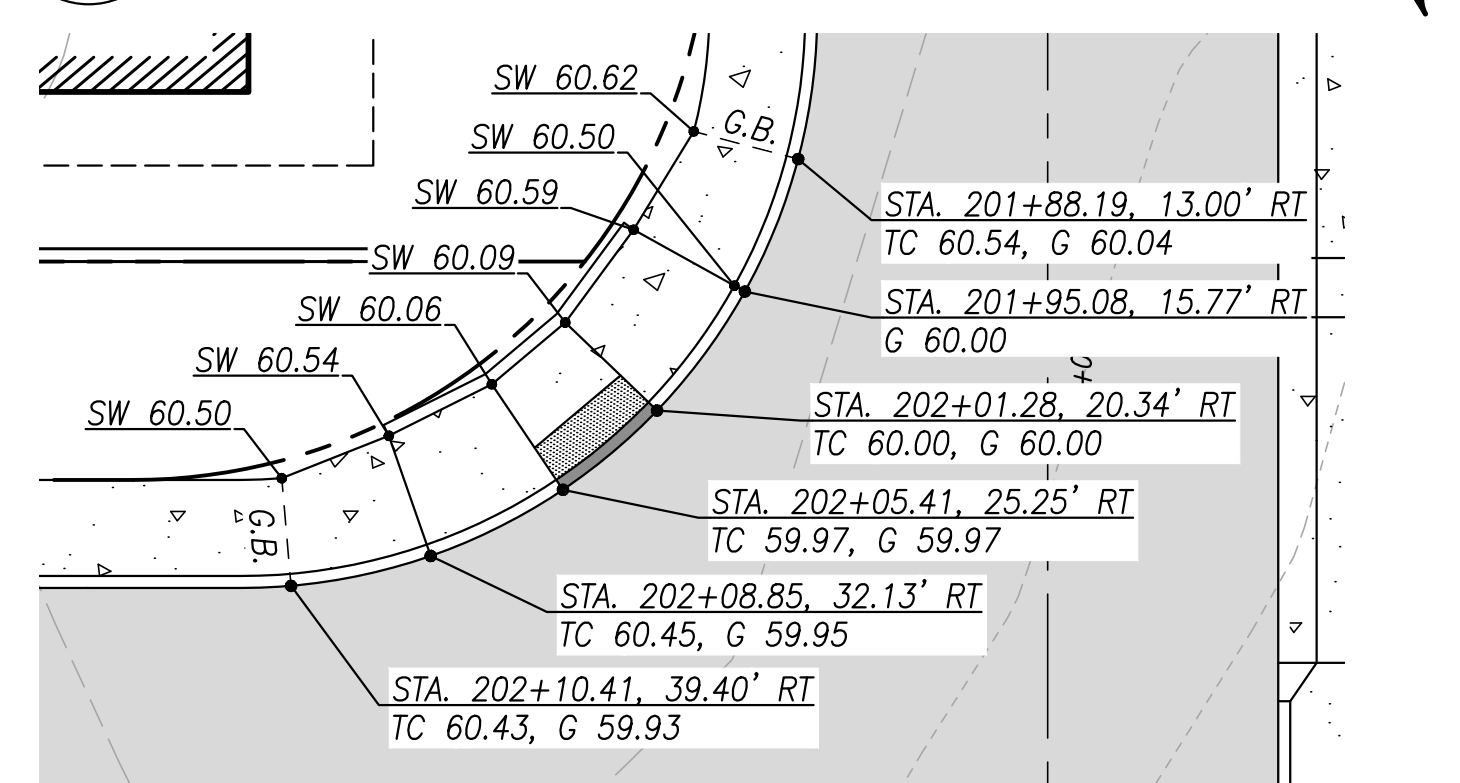




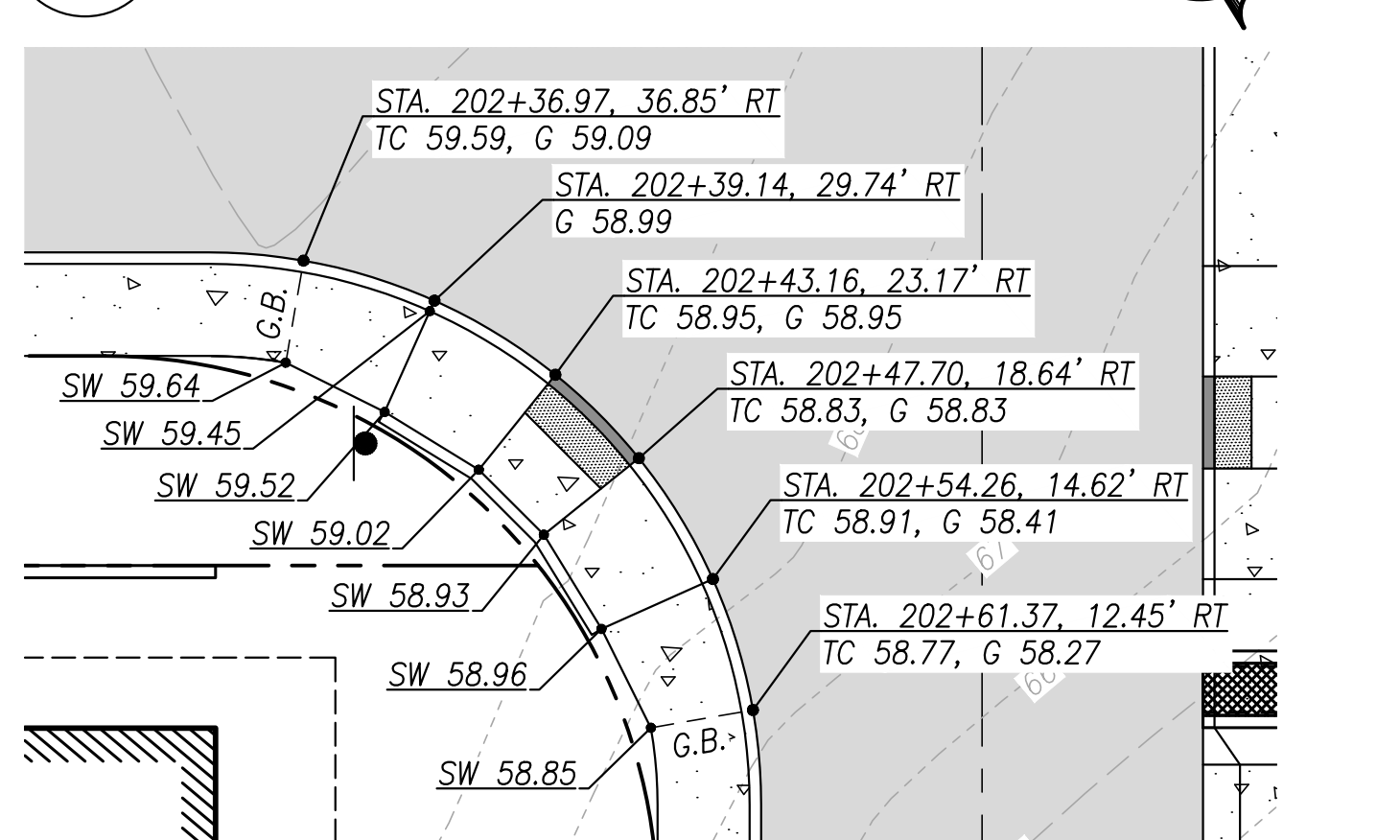
**C RAMP DETAIL**  
SCALE: 1"=10'



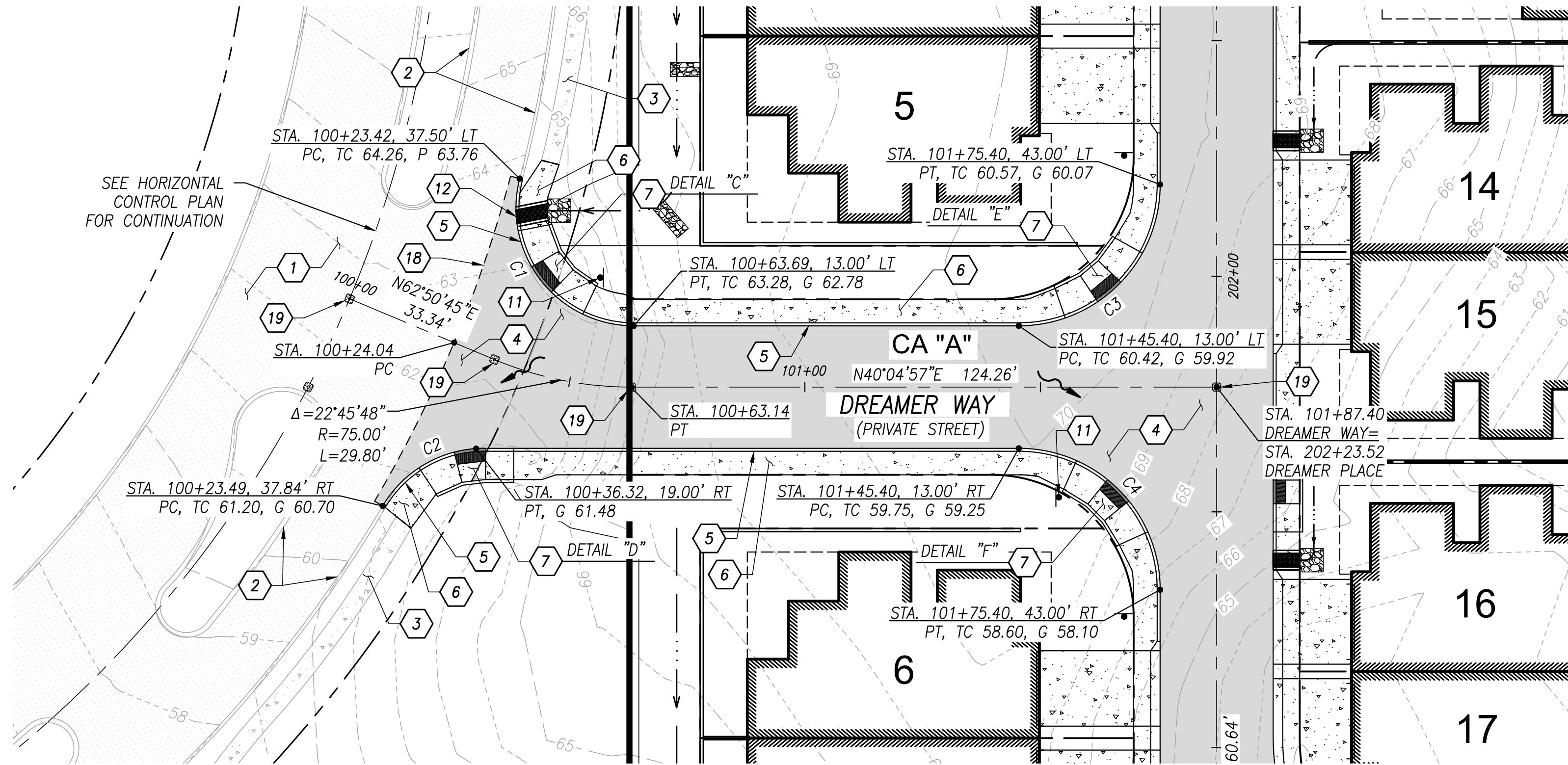
**D RAMP DETAIL**  
SCALE: 1"=10'



**E RAMP DETAIL**  
SCALE: 1"=10'

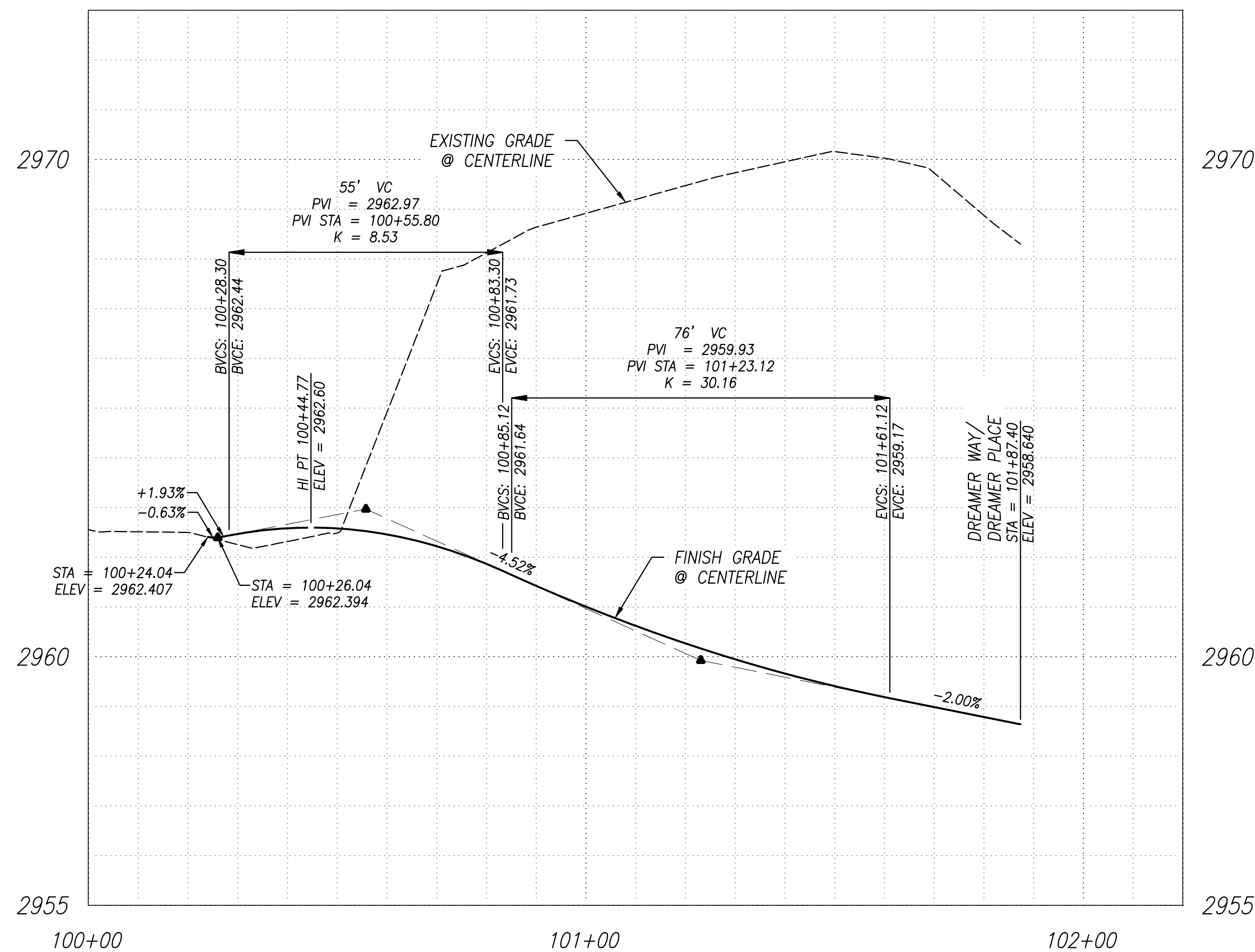


**F RAMP DETAIL**  
SCALE: 1"=10'



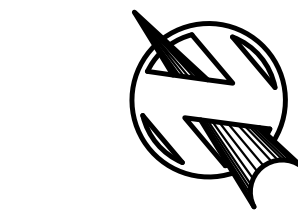
**DREAMER WAY PLAN**

CONSTRUCTION CENTERLINE IS  
ALONG ROAD MONUMENT LINE  
SCALE: 1" = 20' HORIZONTAL



**DREAMER WAY PROFILE**

CONSTRUCTION CENTERLINE IS  
ALONG ROAD MONUMENT LINE  
SCALE: 1" = 20' HORIZONTAL  
SCALE: 1" = 2' VERTICAL



NORTH  
CONTOUR INTERVAL: 1'

## KEYNOTES

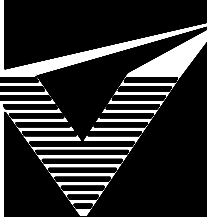
- 1 EXISTING A.C. PAVEMENT TO REMAIN.
- 2 EXISTING CONCRETE VERTICAL CURB TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4 NEW A.C. PAVEMENT PER DETAIL 3 SHEET C7.0.
- 5 NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 209, TYPE 2.
- 6 NEW CONCRETE SIDEWALK PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE. WIDTH PER PLAN.
- 7 NEW TYPE 1 CURB ACCESS RAMP PER P.A.G. STANDARD DETAIL 207. SEE DETAIL NOTED FOR GRADES & STATIONS.
- 11 NEW STOP SIGN (R1-1) & (2) STREET NAME SIGNS (D-3) PER MUTCD AND PC/COT SIGNING & PAVEMENT MARKING MANUAL LATEST EDITION.
- 12 NEW TYPE 2 SIDEWALK SCUPPER PER P.A.G. STANDARD DETAIL 205, CELL WIDTH 'A' = 2'-6".
- 18 TRIM, TACK, & JOIN NEW TO EXISTING PAVEMENT.
- 19 NEW SURVEY MONUMENT PER P.A.G. STANDARD DETAIL 103.

CURVE TABLE **			
CURVE #	RADIUS	LENGTH	DELTA
C1	25.00'	45.59'	104°29'32"
C2	25.00'	25.87'	59°17'51"
C3	30.00'	47.12'	90°00'00"
C4	30.00'	47.12'	90°00'00"

\*\* NOTE: CURVE DATA IS ALONG FACE OF CURB

REF.: 2003075

Rev #	Date	Description



**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultant  
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
Phone: 520.326.7082 ~ Fax: 520.326.7508

Job Number: 20124  
Designed By: AR/JM  
Drawn By: AR  
Checked By: JM  
Date: 6/23/2023  
Scale: Vt:AS NOTED H:AS NOTED

Project: **ROAD PLAN & PROFILE**

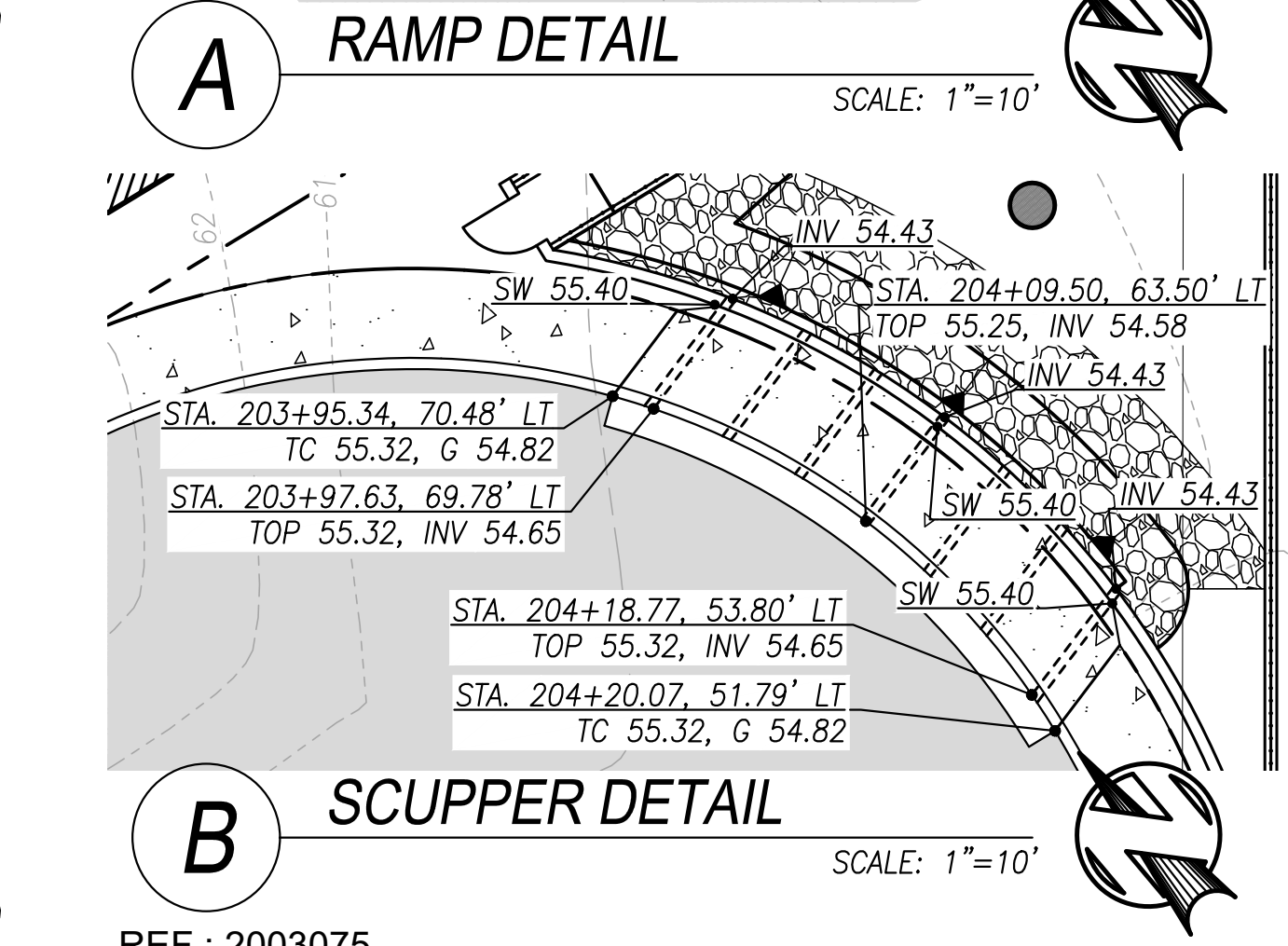
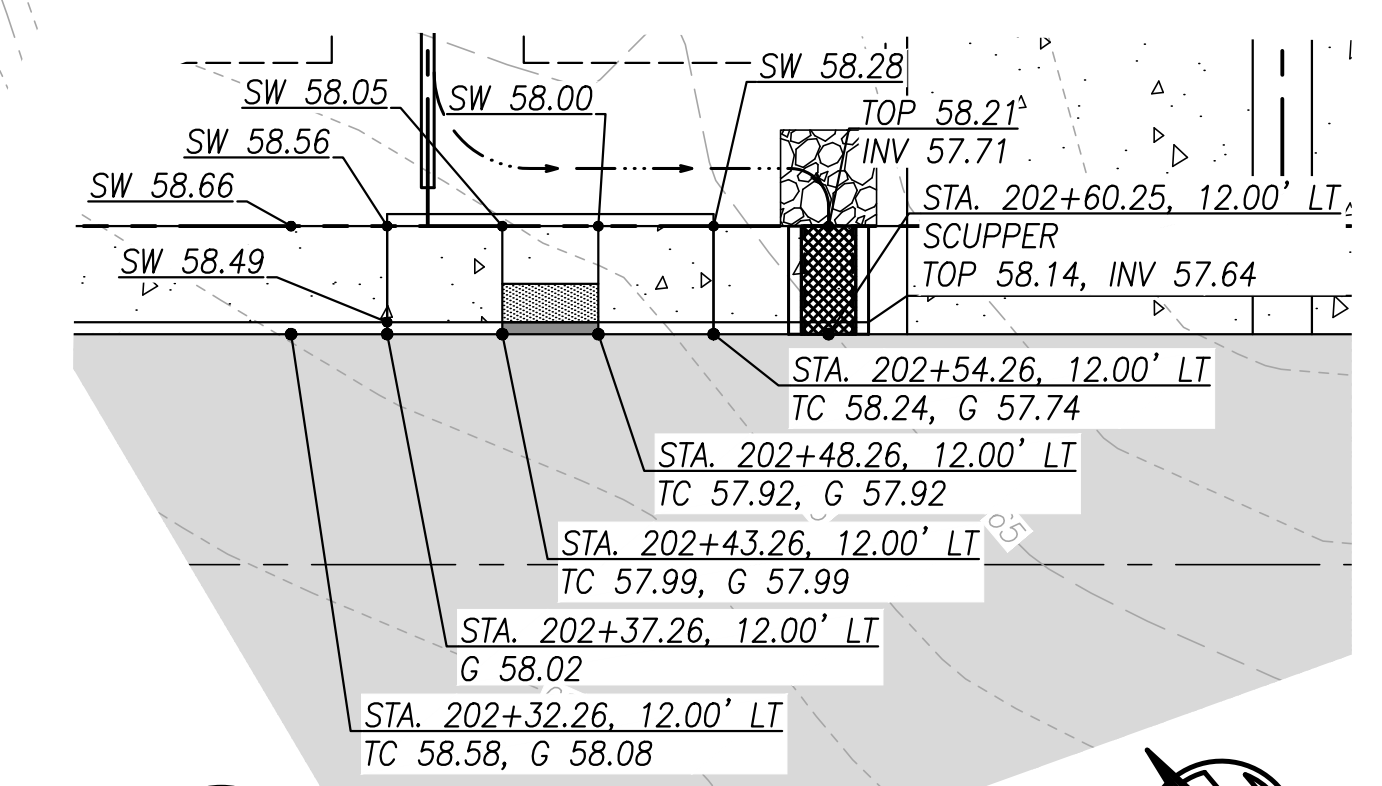
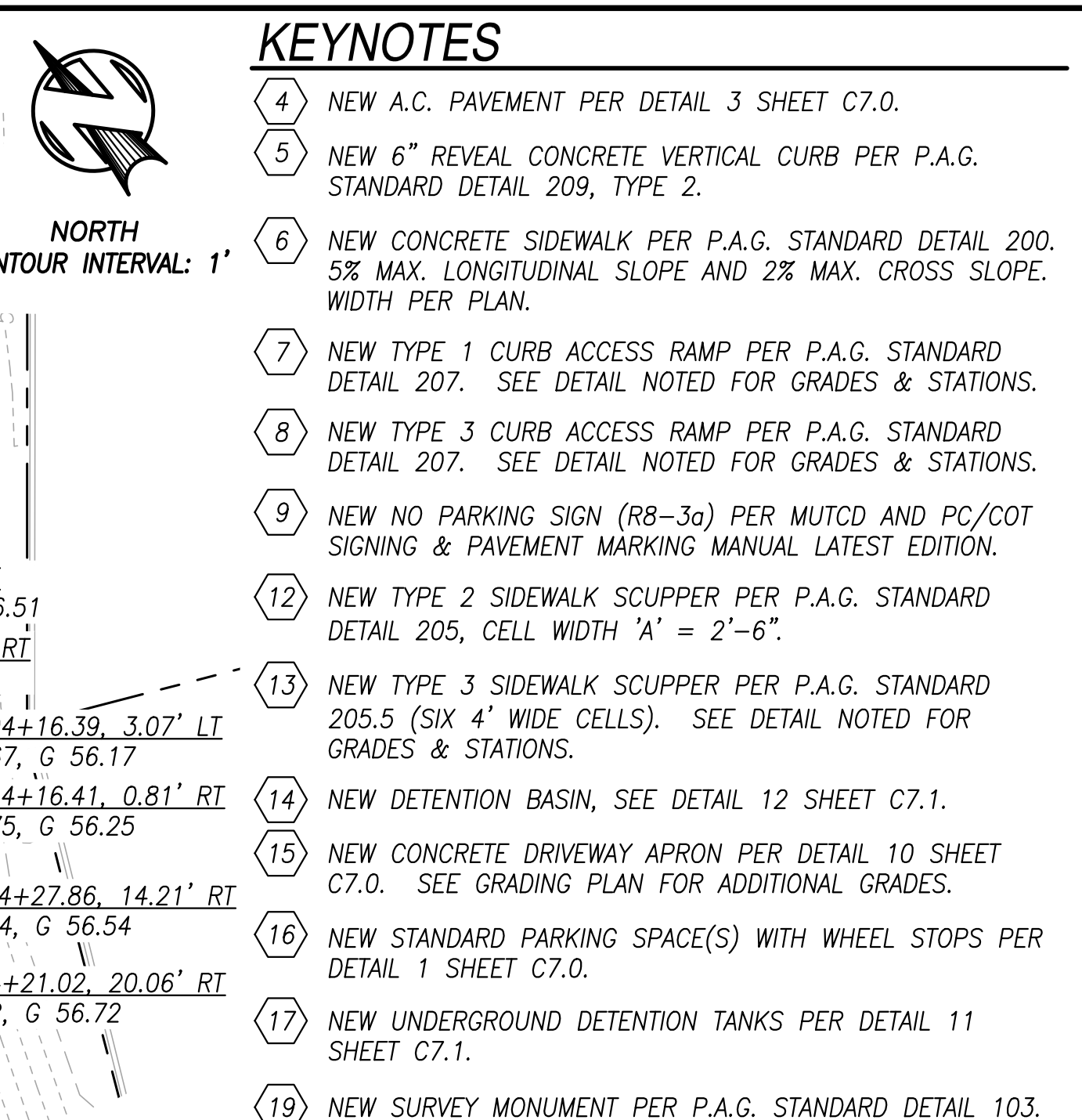
**RESIDENCES AT MORNING VISTA**  
LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755

Sheet Number: **C6.0**

Sheet 10 of 17

GRADING PERMIT #2501679





CURVE TABLE **			
CURVE #	RADIUS	LENGTH	DELTA
C3	30.00'	47.12'	90°00'00"
C4	30.00'	47.12'	90°00'00"
C5	42.00'	152.42'	207°56'00"
C6	3.00'	3.28'	62°36'53"
C7	3.00'	4.04'	77°08'07"
C8	50.00'	15.56'	17°49'34"

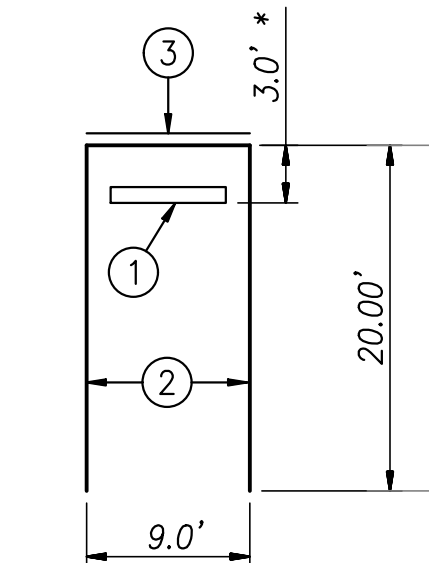
CURVE TABLE **			
CURVE #	RADIUS	LENGTH	DELTA
C9	50.00'	31.56'	36°09'34"
C10	50.00'	60.78'	69°38'44"
C11	42.00'	146.27'	199°31'58"
C12	3.00'	4.21'	80°24'21"
C13	3.00'	4.21'	80°24'21"
C14	42.00'	22.67'	30°55'29"

\*\* NOTE: CURVE DATA IS ALONG FACE OF CURVE

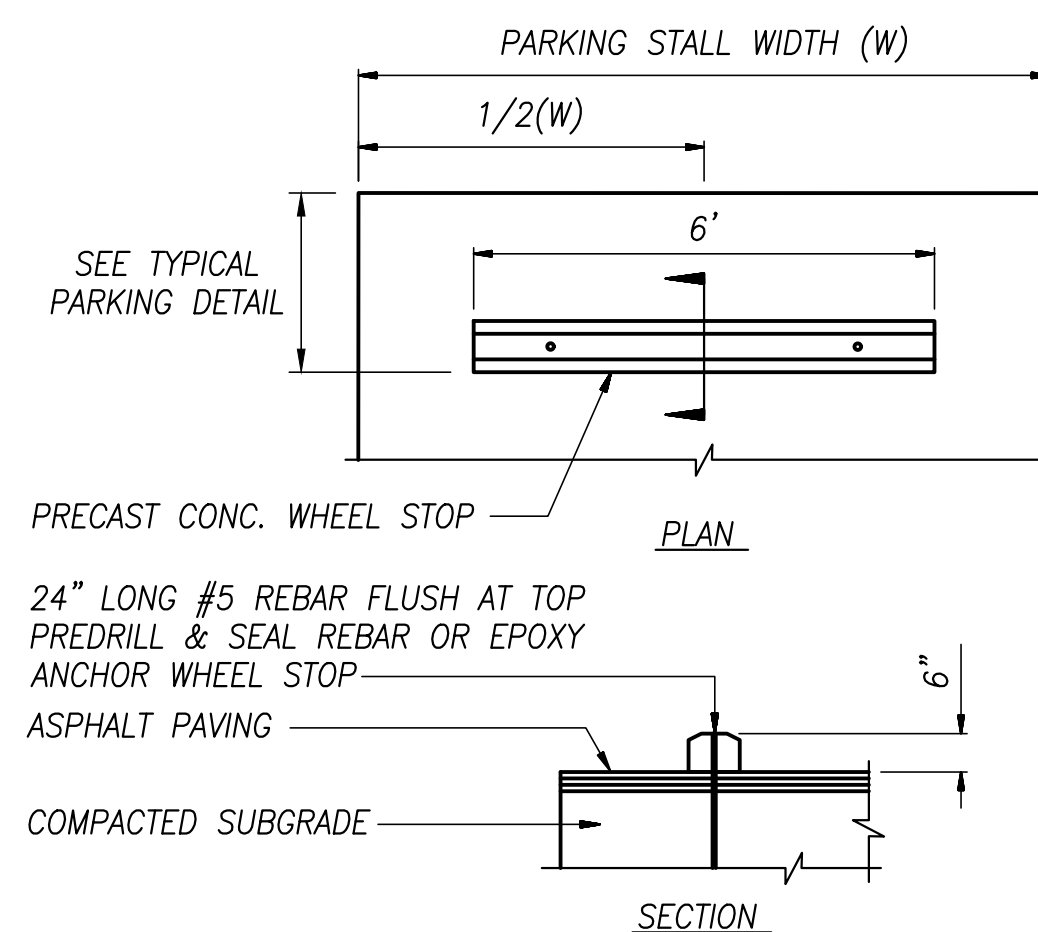
**DREAMER PLACE PROFILE**  
CONSTRUCTION CENTERLINE IS  
ALONG ROAD MONUMENT LINE  
SCALE: 1" = 20' HORIZONTAL  
SCALE: 1' = 2' VERTICAL

**GRADING PERMIT #2501679**





- ① PRECAST CONCRETE WHEEL STOP PER DETAIL 2, WHERE SHOWN ON PLAN.
- ② 4" WIDE SOLID WHITE STRIPE
- ③ CURB WHERE SHOWN ON PLAN.

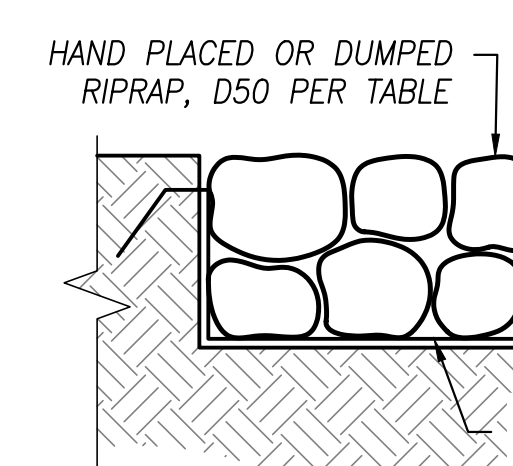


A.C. — 2.5"

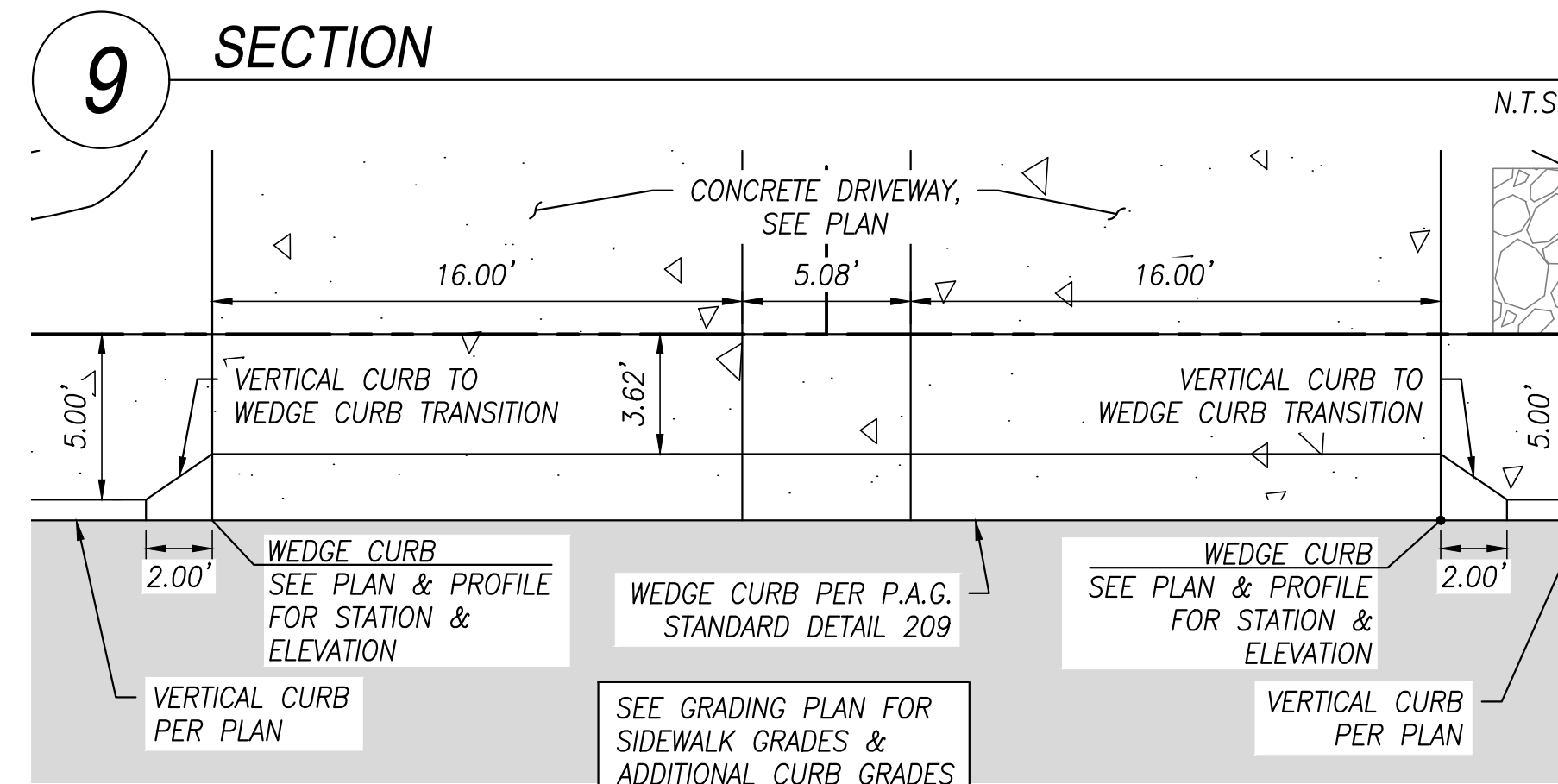
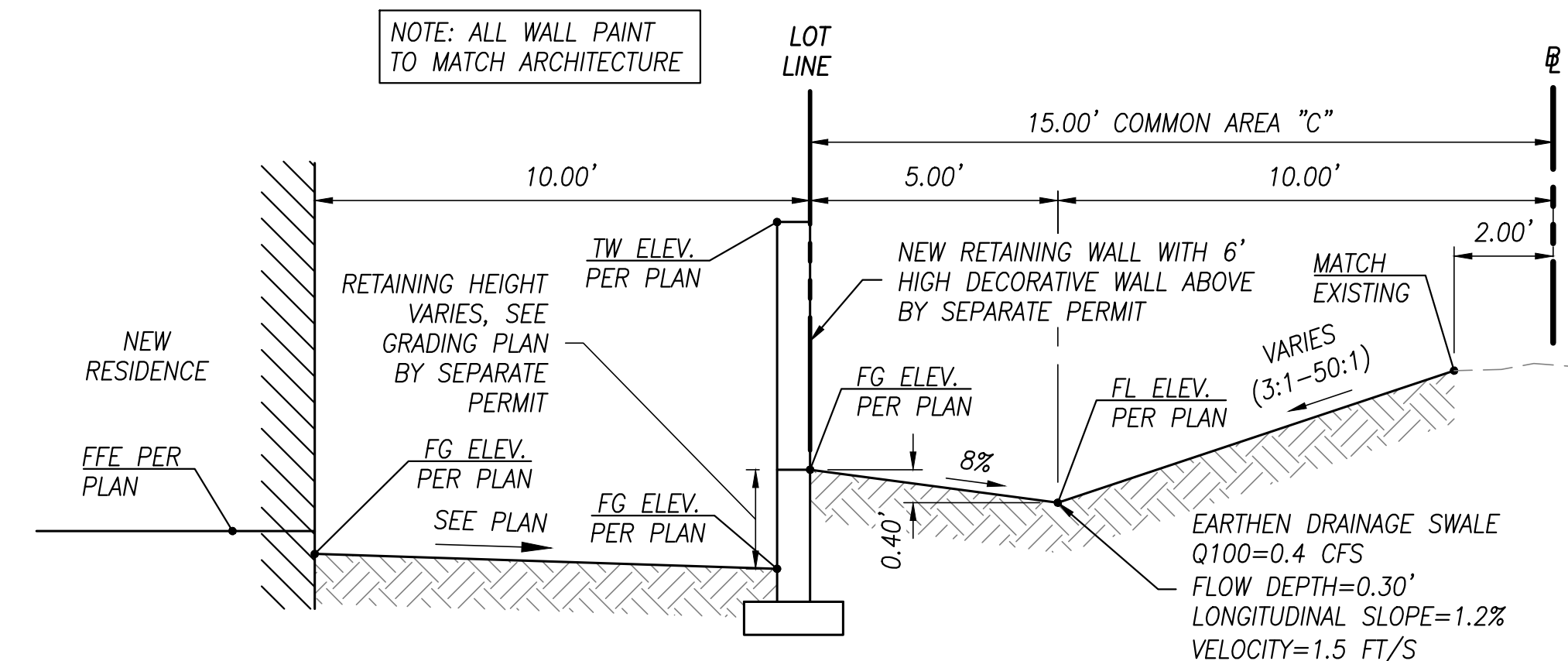
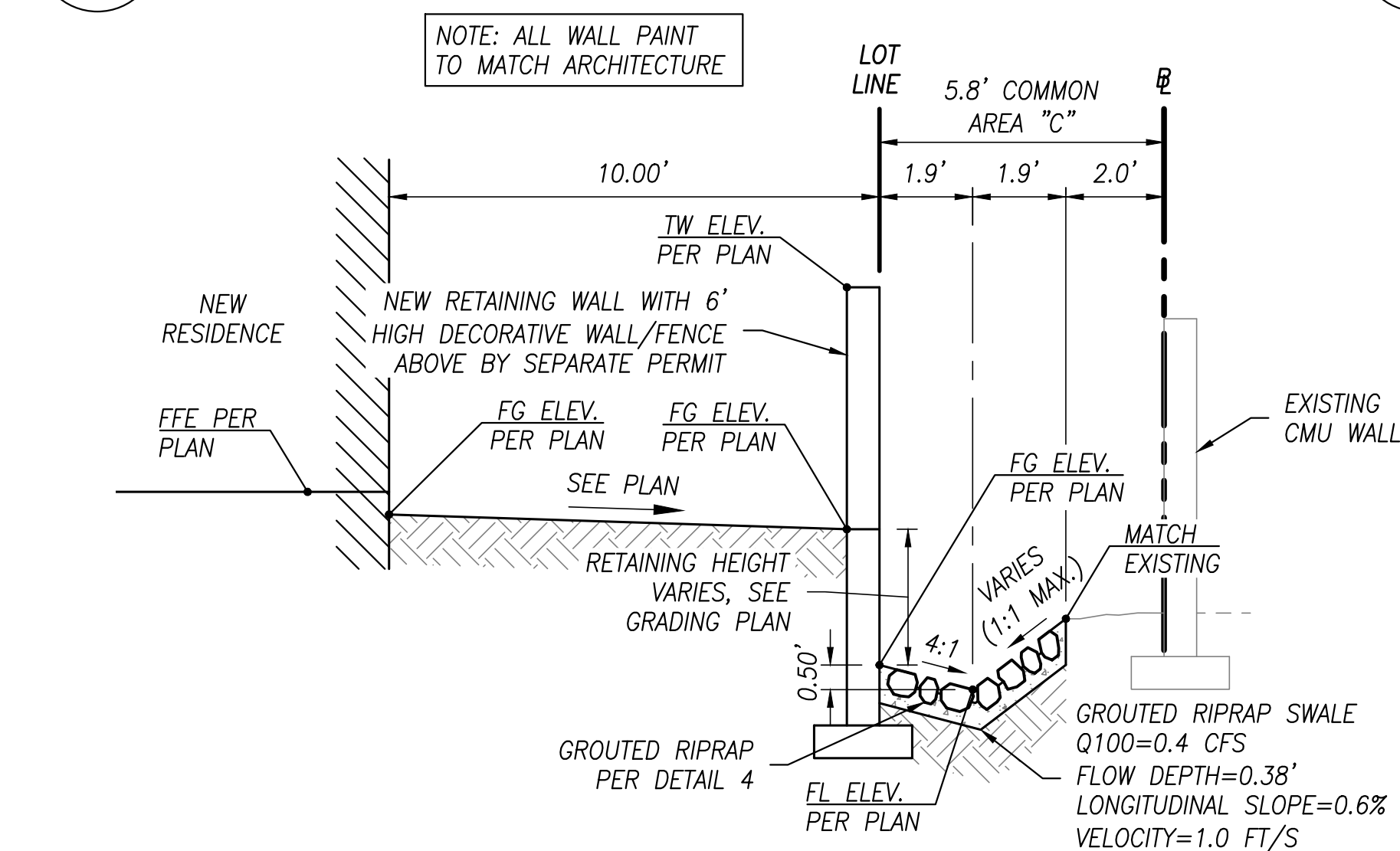
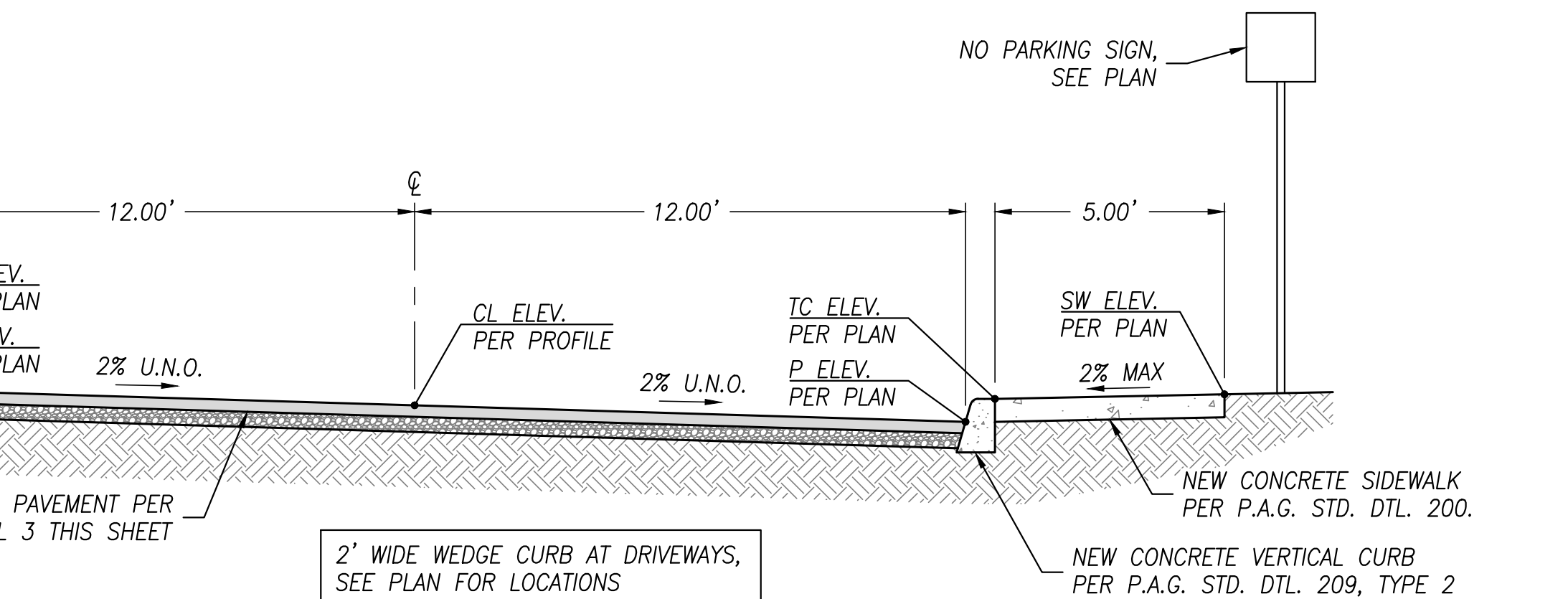
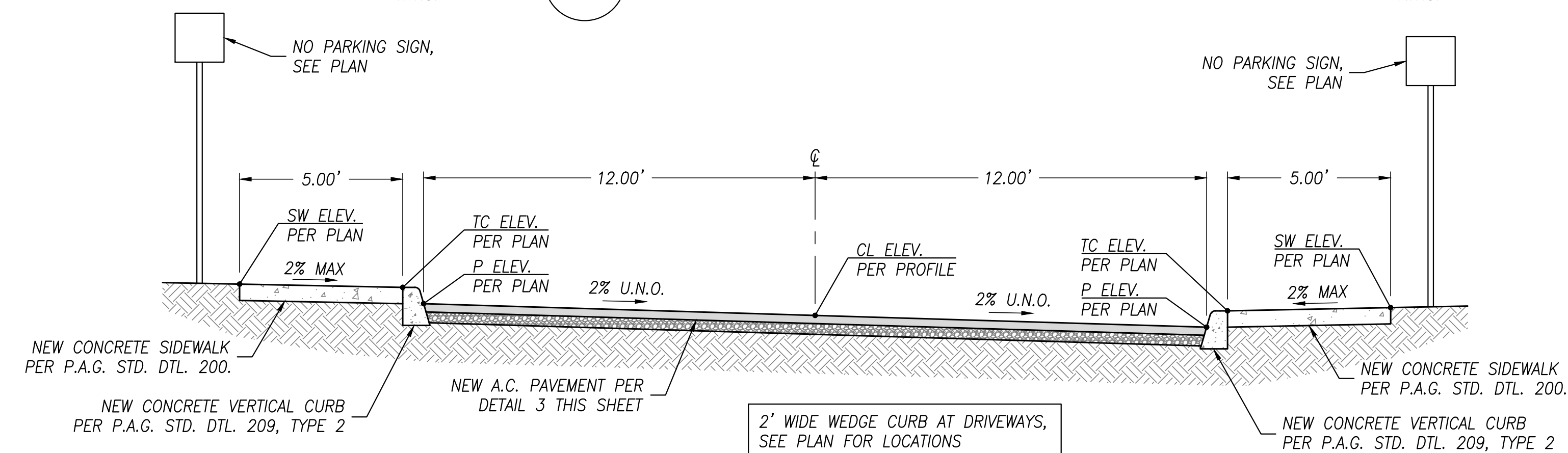
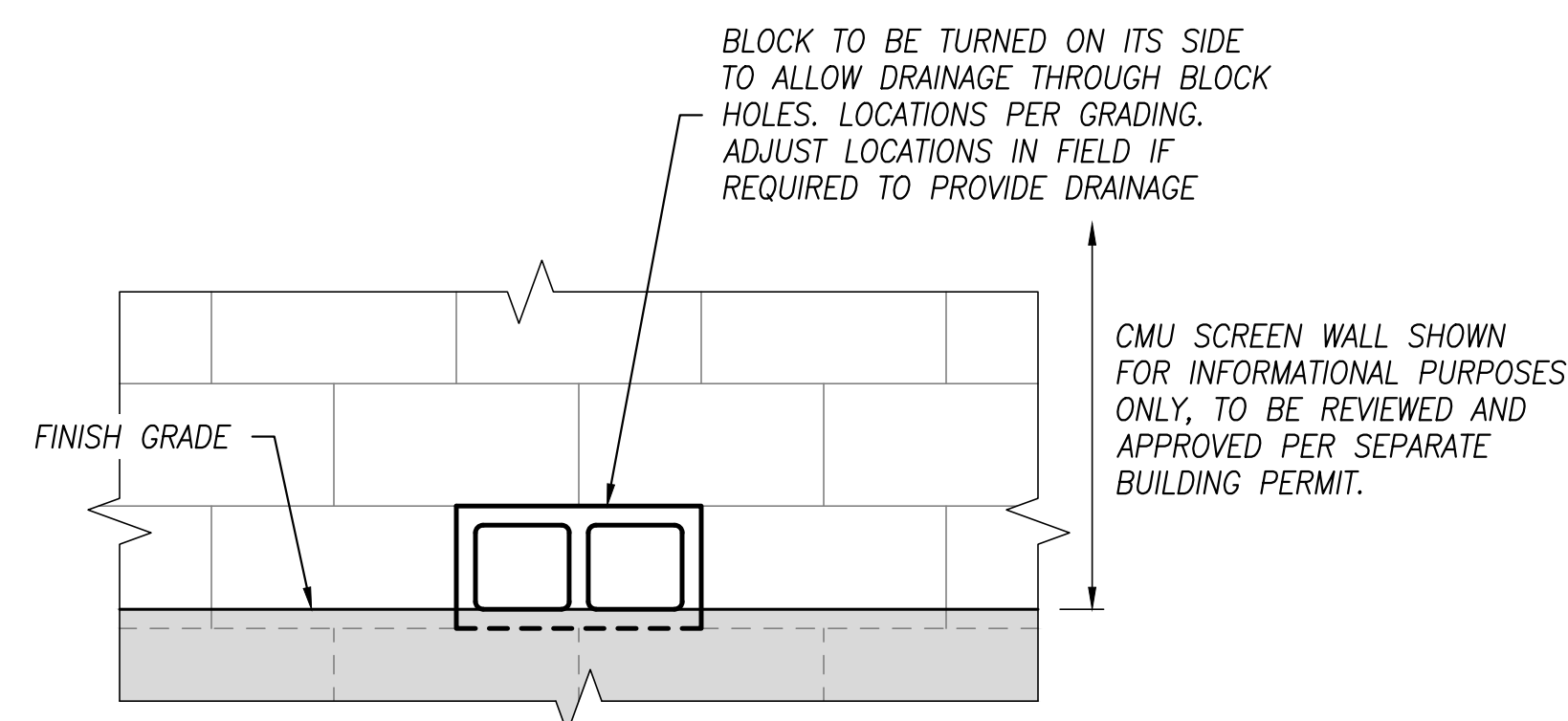
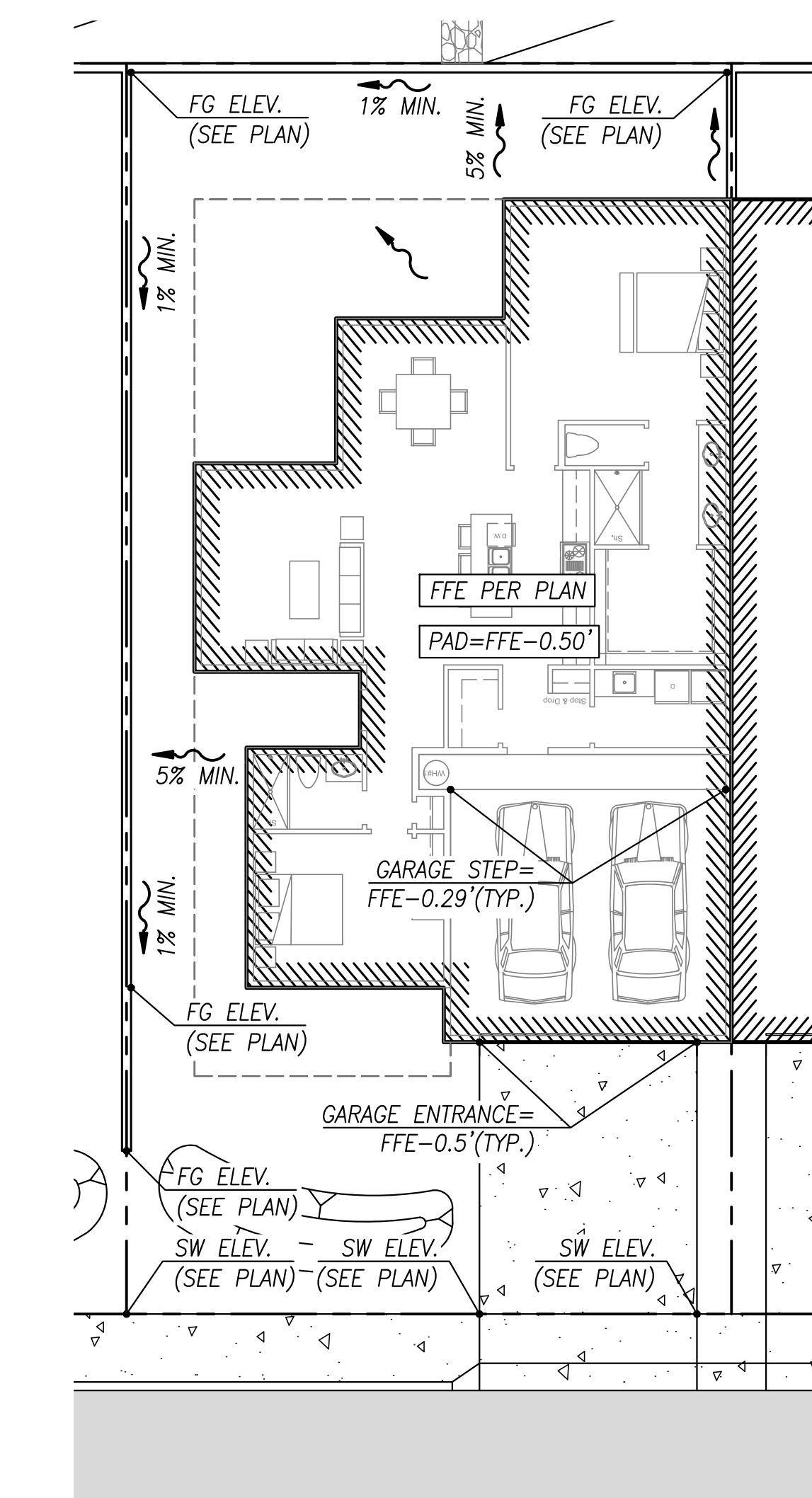
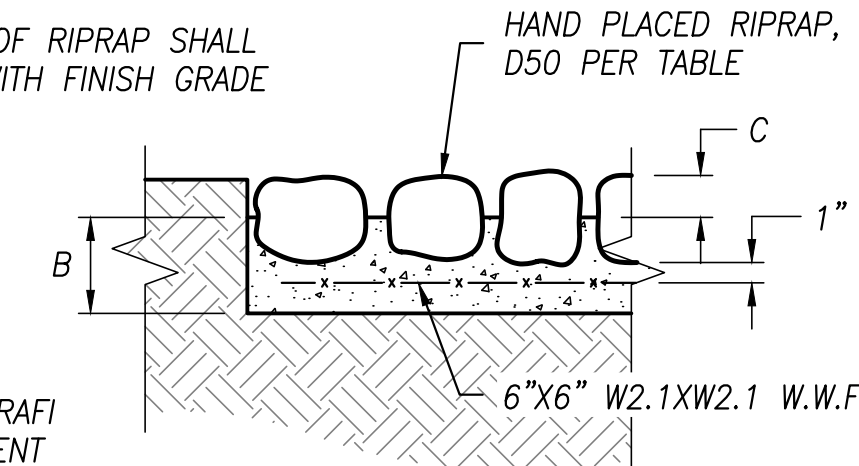
A.B.C. — 4"


SUBGRADE COMPACTED


TYPE	D50	A	B	C
GROUTED	6"	—	6"	3"
HANDPLACED/DUMPED	6"	12"	—	—



NOTE: TOP OF RIPRAP SHALL  
BE FLUSH WITH FINISH GRADE



Rev #	Date	Description
 <div style="margin-left: 20px;"> <h1 style="margin: 0;">GRENIER</h1> <h2 style="margin: 0;">ENGINEERING, INC.</h2> <p style="margin: 0;"><u>Structural &amp; Civil Engineering Consultant</u></p> </div>		
<p>6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715          Phone: 520.326.7082 ~ Fax: 520.326.7508</p>		
<h3>DETAILS</h3>		
<p>Project: <b>RESIDENCES AT MORNING VISTA</b>          LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"          A PORTION OF THE SW QTR. SECTION 24, T-11-S,          R-13-E G&amp;SRM, TOWN OF ORO VALLEY, PIMA          COUNTY, ARIZONA 85755</p>		



Job Number: 20124  
 Designed By: AR/JM  
 Drawn By: AR  
 Checked By: JM  
 Date: 6/23/2023  
 Scale: 1/1" = 8'-0" AS NOTED

Sheet Number:

# C7.0

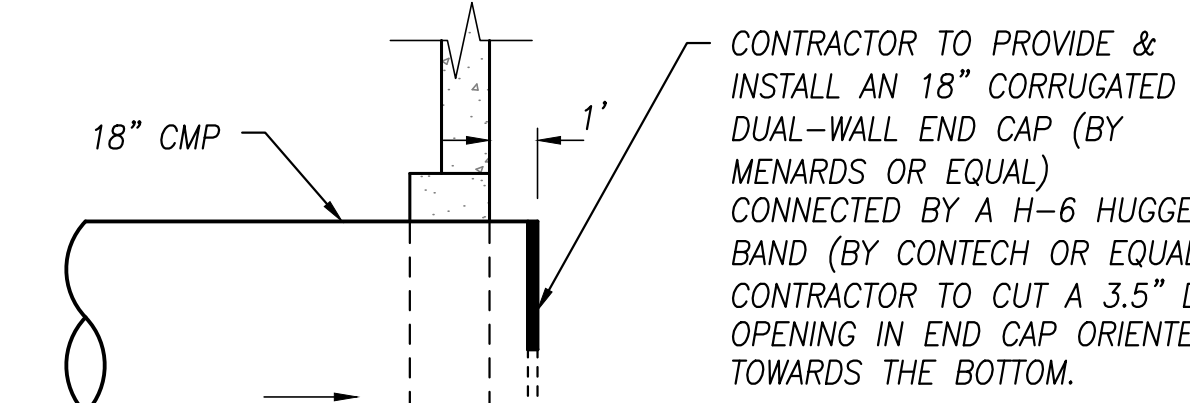
Sheet 11 of 17

GRADING PERMIT #2501679

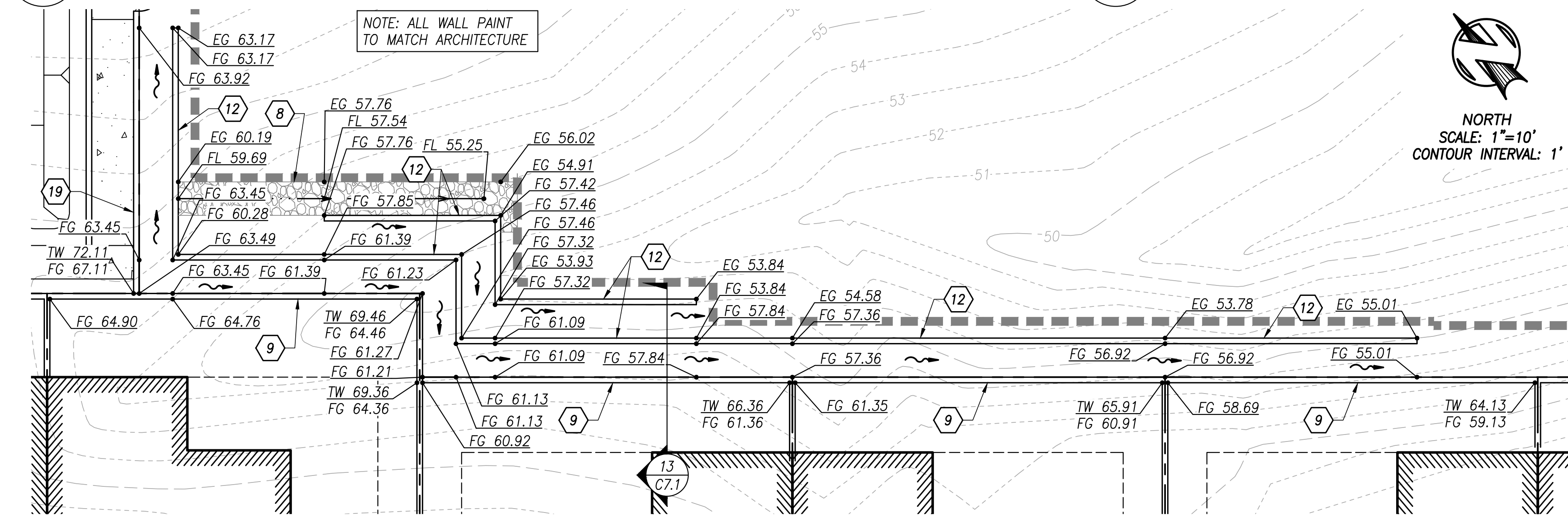


KEYNOTES

- 1 NEW UNDERGROUND 48" CMP DETENTION SYSTEM (497 L.F., 6,243 C.F.) BY CONTECH OR APPROVED EQUAL. SEE UNDERGROUND DETENTION NOTE THIS SHEET.
- 2 NEW 18" CMP (SMOOTH INTERIOR) BLEEDER PIPE, LENGTH & SLOPE AS NOTED.
- 3 NEW STORM DRAIN MANHOLE PER P.A.G. STANDARD DETAIL 302. INSTALL WATERTIGHT FRAME AND COVER.
- 4 WALL OPENING PER DETAIL 5 SHEET C7.0.
- 5 NEW ACCESS MANHOLE WITH 30" DIA. FRAME & SOLID LID PER TANK MANUFACTURER, SEE SHEET C10.0.
- 6 INSTALL ORIFICE PLATE AT END OF PIPE PER DETAIL BELOW.
- 7 NEW 30" DIA. FRAME & GRATE PER TANK MANUFACTURER, SEE SHEET C10.0. TOP OF GRATE TO BE SET 0.2' ABOVE BOTTOM OF BASIN.
- 8 NEW RIPRAP SWALE PER DETAIL 16 THIS SHEET.
- 9 NEW RETAINING WALL WITH 5' HIGH DECORATIVE WALL/FENCE ABOVE BY SEPARATE PERMIT. RETAINING HEIGHT BELOW SCREEN WALL VARIES, SEE ELEVATIONS SHOWN.
- 10 NEW WEIR PER DETAIL ON THIS SHEET.
- 11 NEW DETENTION BASIN RETAINING WALL WITH 42" HIGH WROUGHT IRON FENCE ABOVE.
- 12 NEW RETAINING WALL BY SEPARATE PERMIT.
- 13 PROVIDE WALL OPENING FOR FULL WIDTH OF SCUPPER CELLS.
- 14 NEW GROUTED RIPRAP SLOPE (1:1) PER DETAIL 4 SHEET C7.0.
- 15 NEW RETAINING WALL WITH 3'-6" HIGH DECORATIVE WALL/FENCE ABOVE BY SEPARATE PERMIT. RETAINING HEIGHT BELOW SCREEN WALL VARIES, SEE ELEVATIONS SHOWN.
- 16 NEW RIPRAP PAD PER DETAIL 4 SHEET C7.0 AND DIMENSIONS NOTED.
- 17 NEW GRADUATED MARKER OR STORY POLL WITH 0.1' INCREMENTS. INSTALL PER MANUFACTURER SPECIFICATIONS.
- 18 NEW 42" HIGH WROUGHT IRON FENCE ALONG EDGE OF RAMP BY SEPARATE PERMIT.
- 19 NEW RETAINING WALL WITH 6' HIGH DECORATIVE WALL/FENCE ABOVE BY SEPARATE PERMIT. RETAINING HEIGHT BELOW SCREEN WALL VARIES, SEE ELEVATIONS SHOWN.



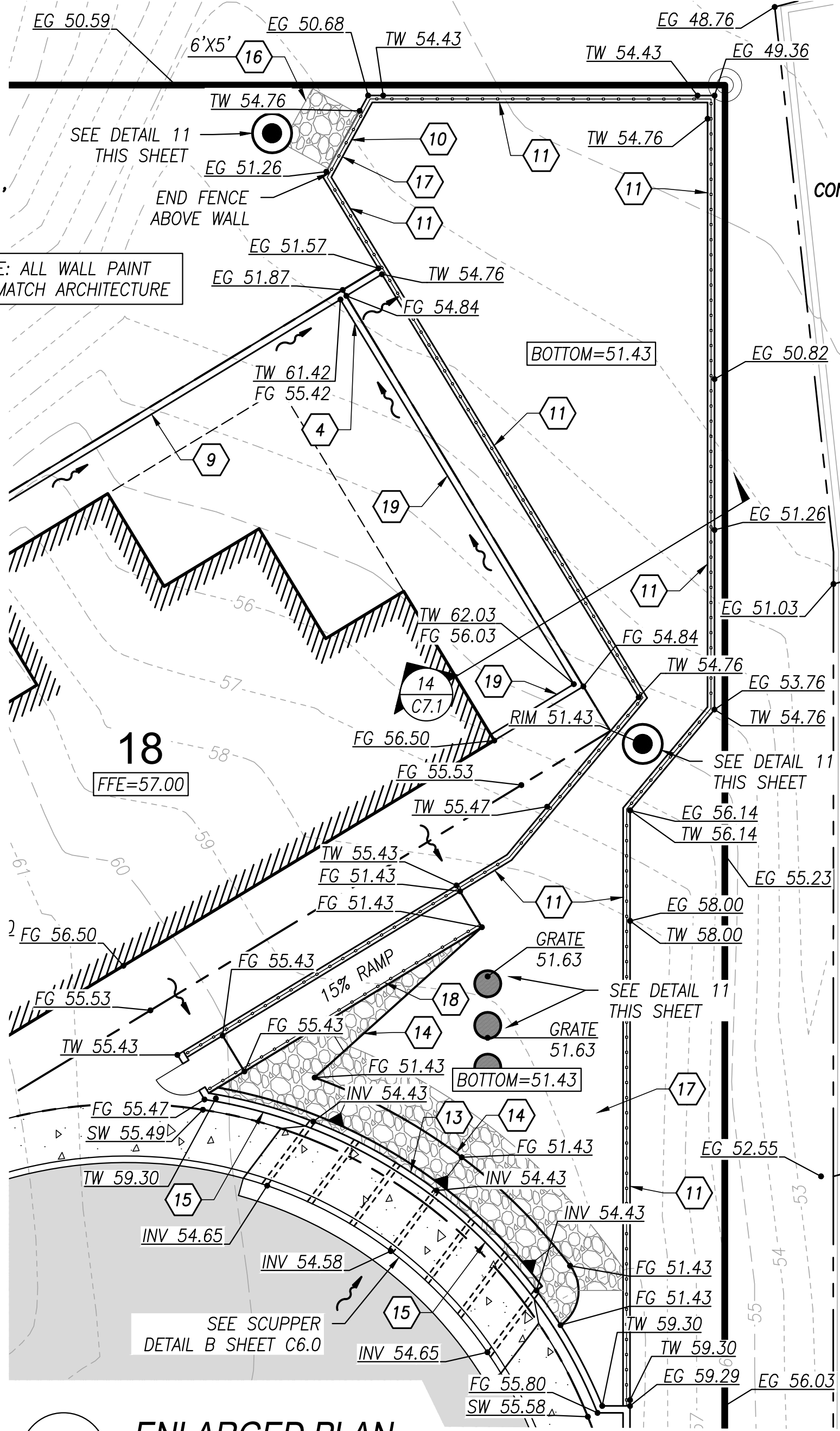
11 UNDERGROUND DETENTION



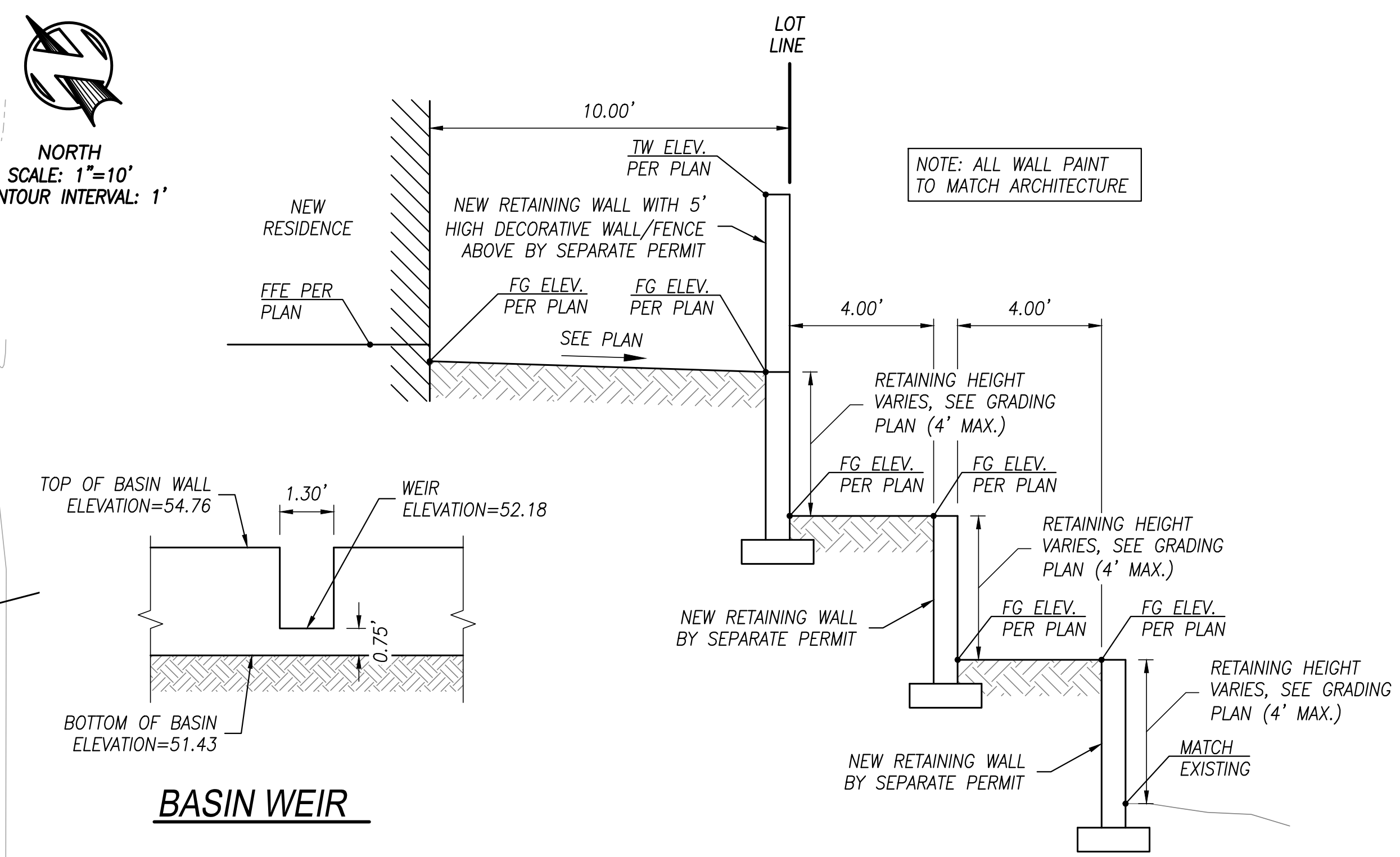
15 ENLARGED PLAN

UNDERGROUND DETENTION NOTES:

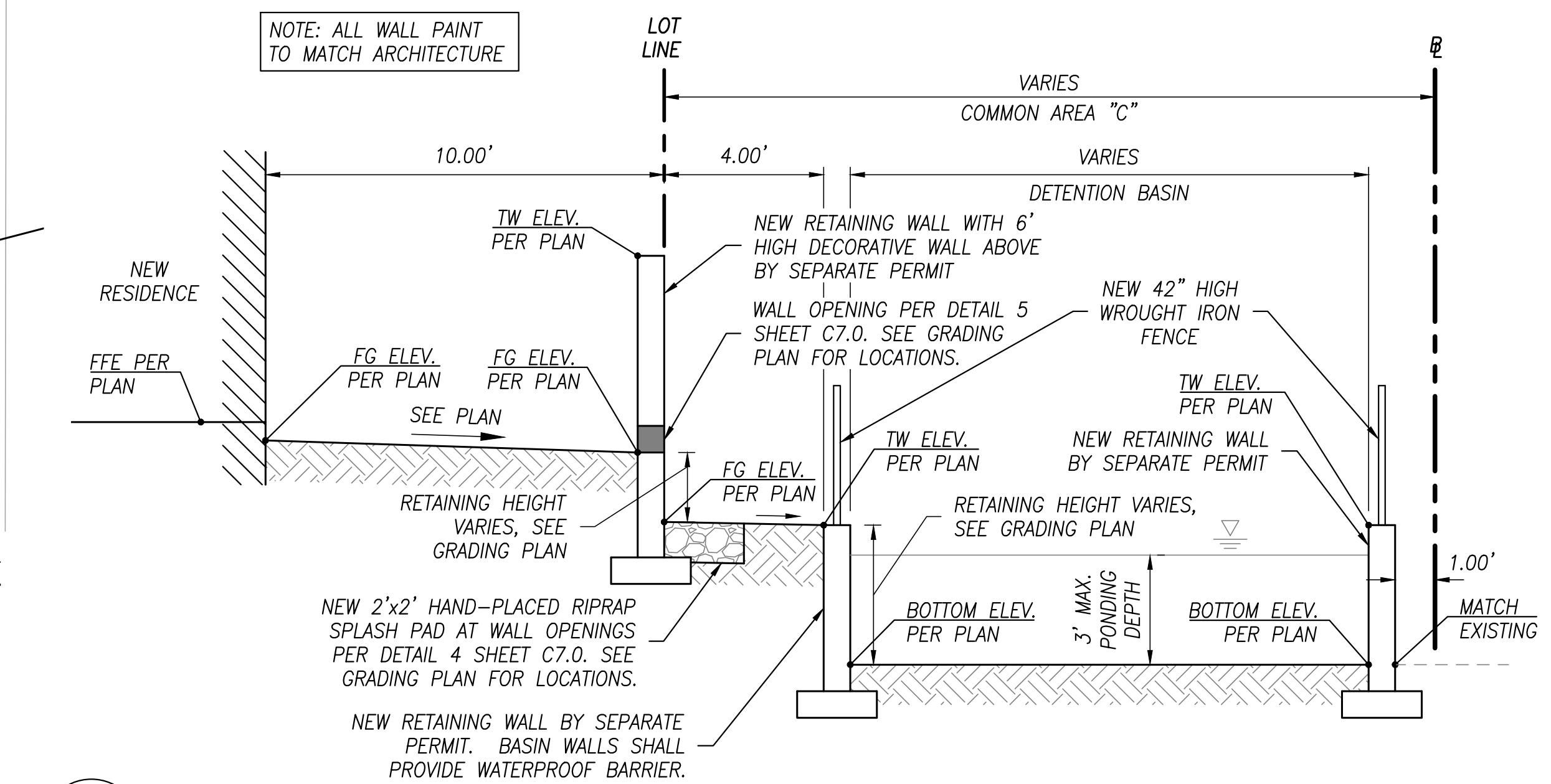
1. CONTRACTOR TO COORDINATE DESIGN AND INSTALLATION WITH SUPPLIER.
2. UNDERGROUND DETENTION SYSTEM SHALL BE CAPABLE OF STORING 6,243 CUBIC FEET OF STORM WATER.
3. SPECIAL INSPECTION REQUIRED BY THIRD PARTY INSPECTOR, SEE SHEET C10.0 FOR ADDITIONAL INFORMATION.



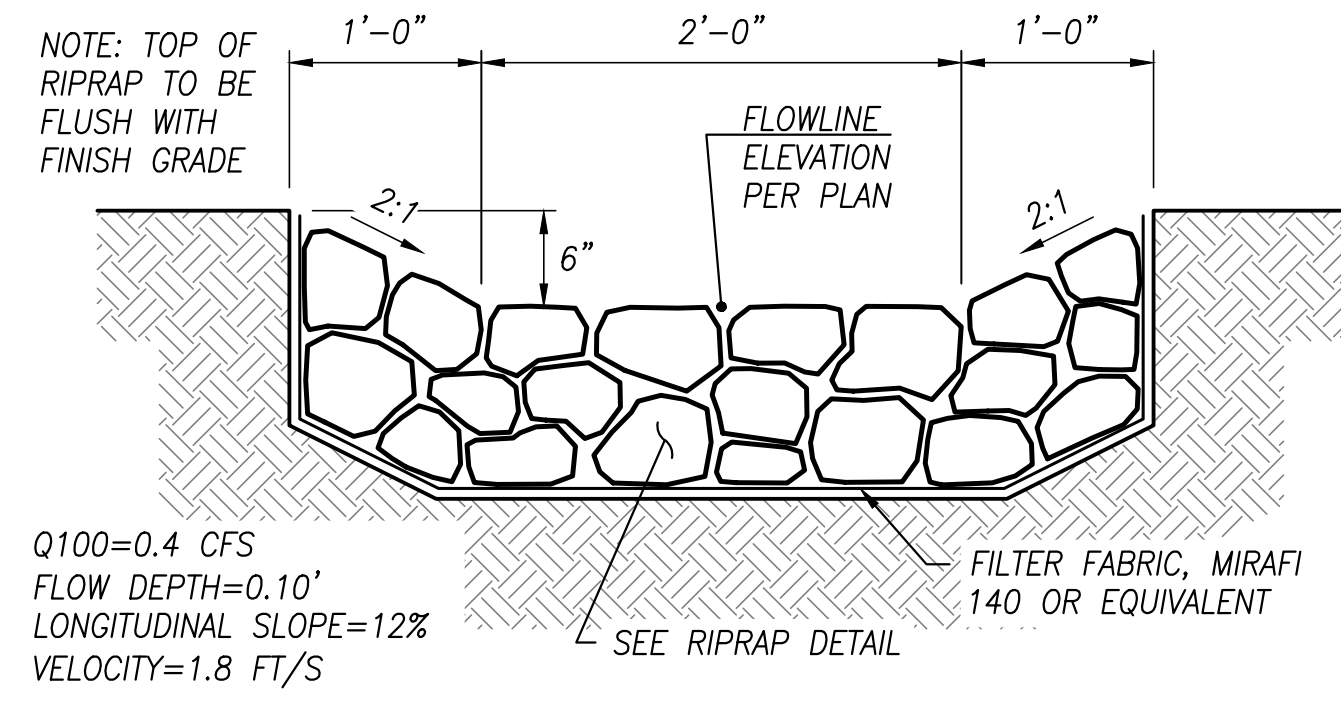
12 ENLARGED PLAN



13 SECTION



14 SECTION



16 RIPRAP SWALE

REF.: 2003075

Rev #	Date	Description

**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultant  
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
Phone: 520.326.7082 ~ Fax: 520.326.7508

Job Number: 20124  
Designed By: AR/JM  
Drawn By: AR  
Checked By: JM  
Date: 6/23/2023  
Scale: Vt: N/A Ht: AS NOTED

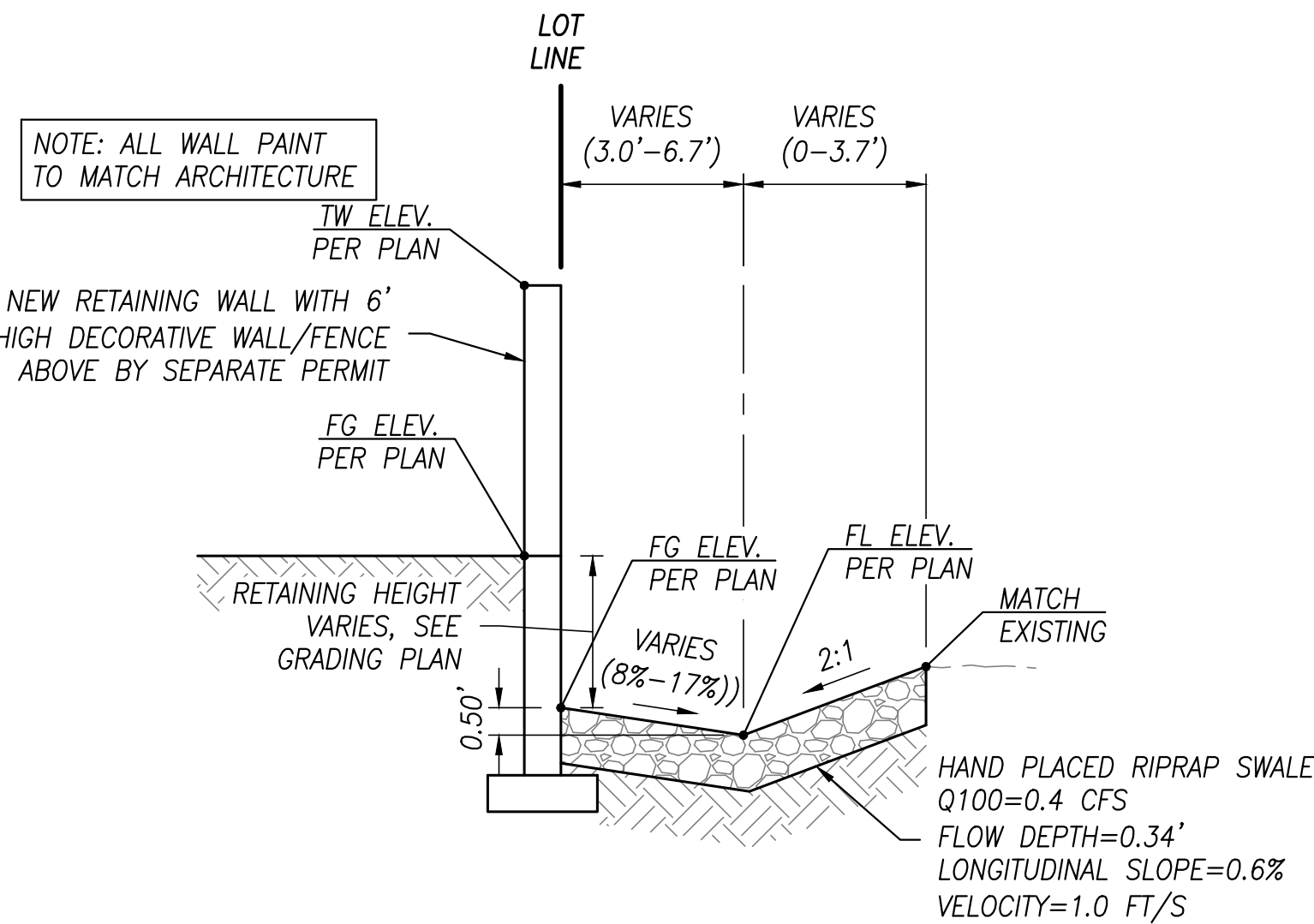
Project: **RESIDENCES AT MORNING VISTA**  
LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755

Sheet Number: **C7.1**

Sheet 12 of 17

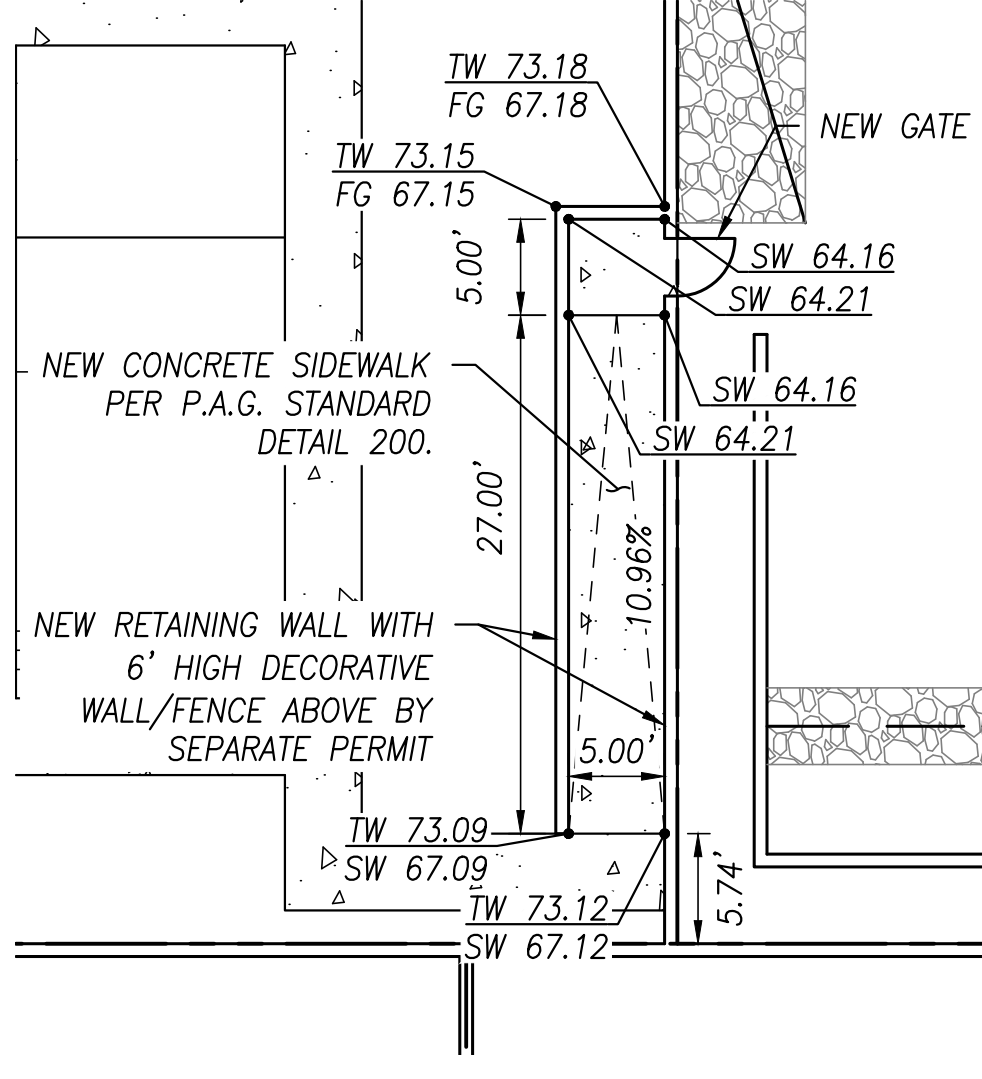
GRADING PERMIT #2501679





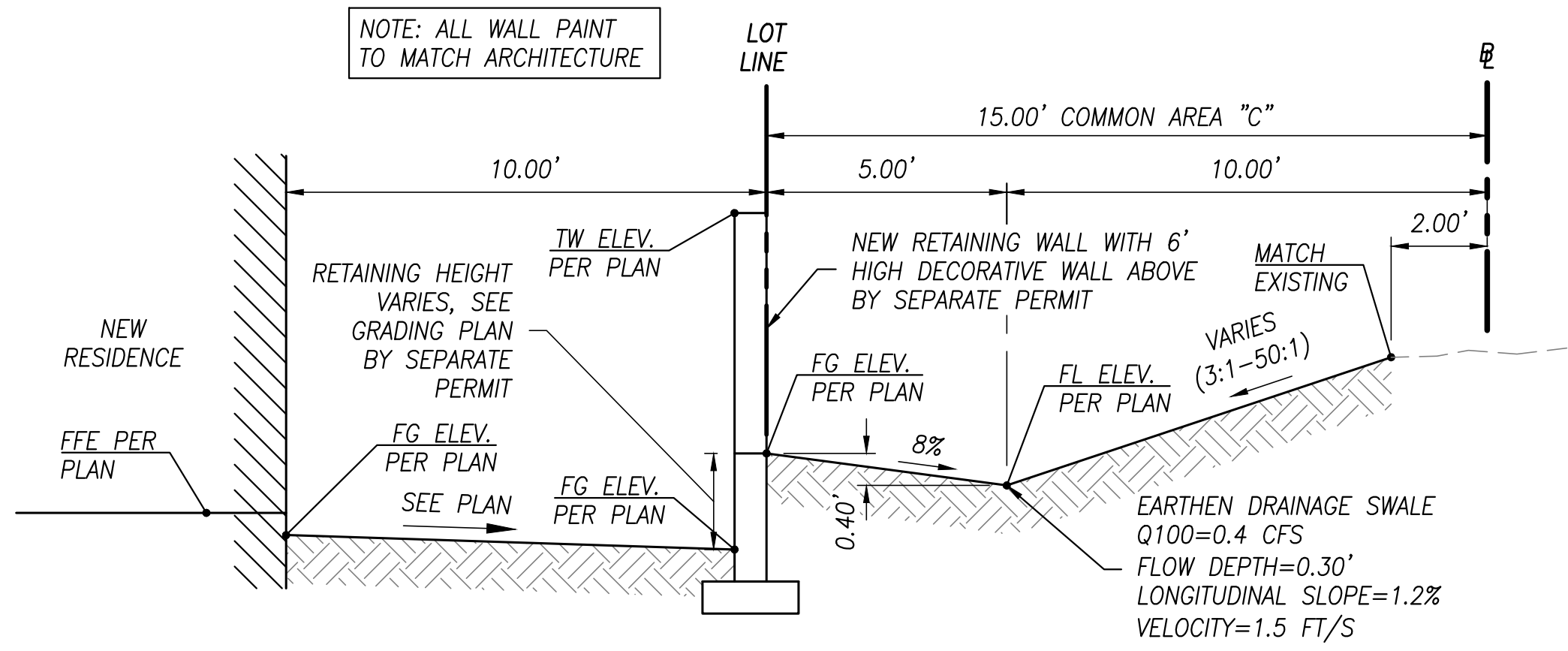
17 SECTION

N.T.S.



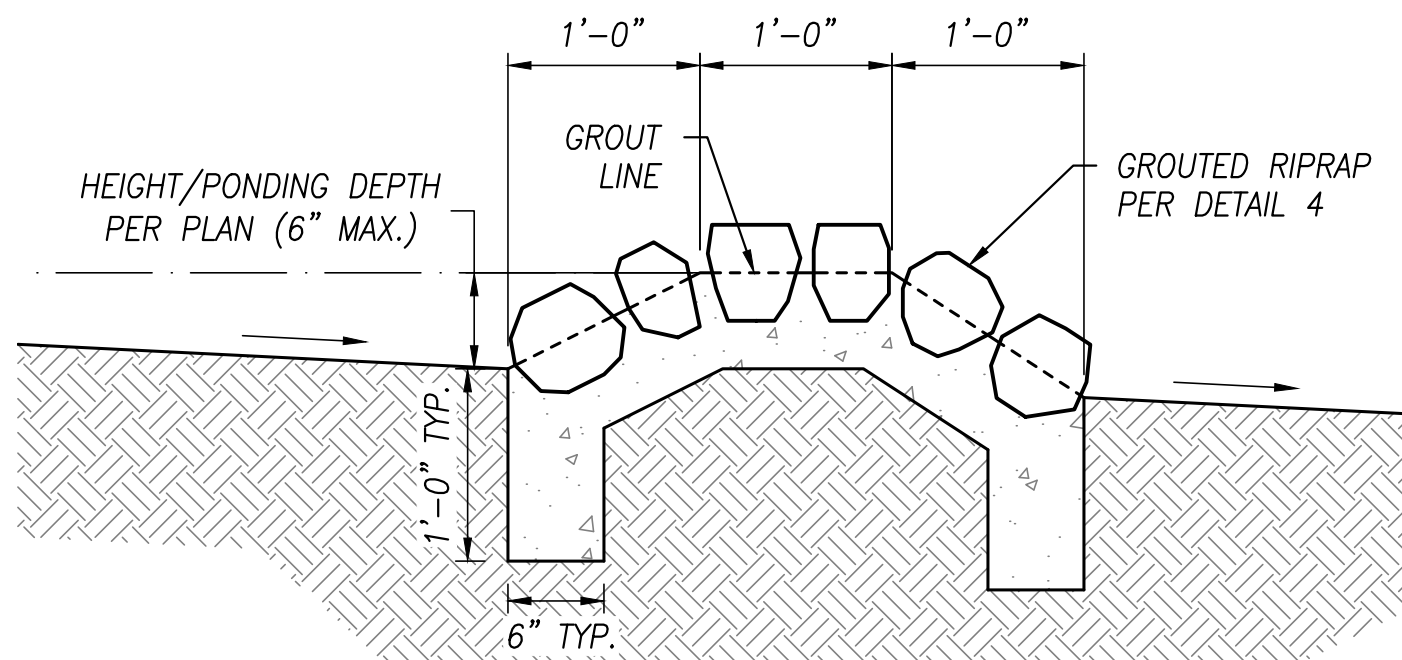
18 MAINTENANCE RAMP

N.T.S.



19 SECTION

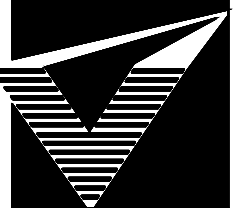
N.T.S.



20 CHECK DAM

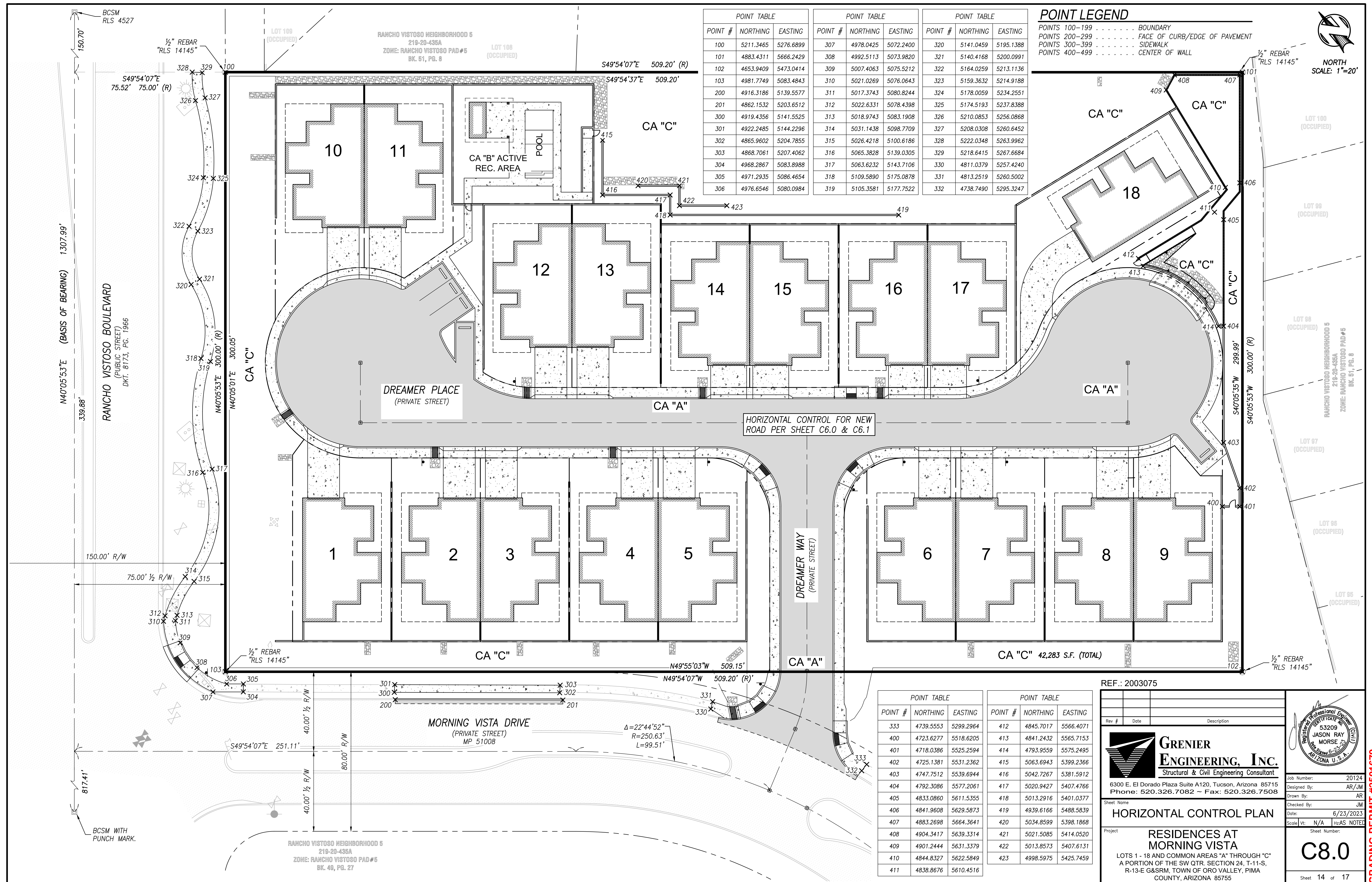
N.T.S.

REF.: 2003075

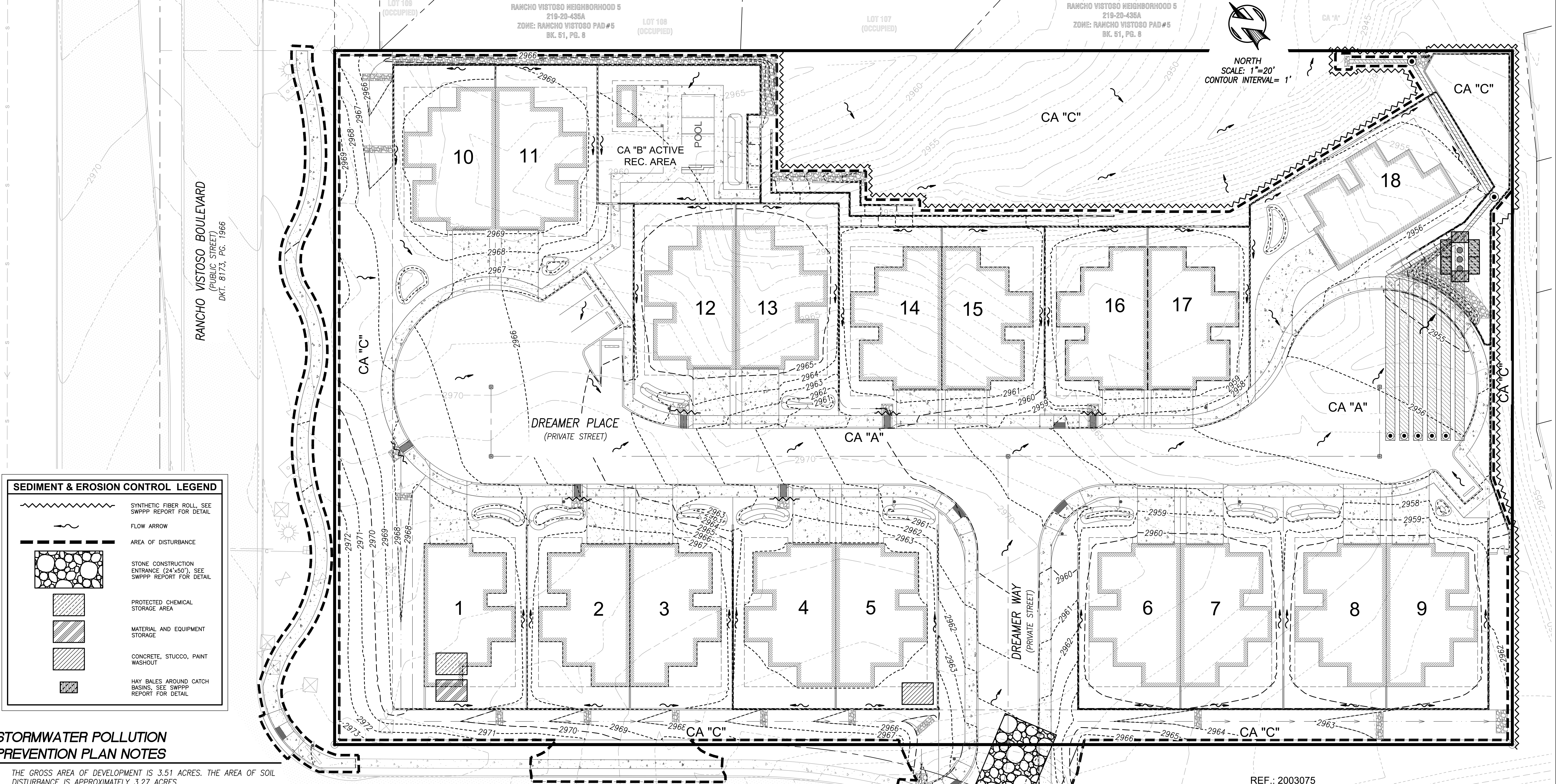
Rev #		Date	Description
1			
 <b>GRENIER ENGINEERING, INC.</b> Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508			
Job Number:		20124	
Designed By:		AR/JM	
Drawn By:		AR	
Checked By:		JM	
Date:		6/23/2023	
Scale:		N/A H&AS NOTED	
<b>DETAILS</b> <b>RESIDENCES AT MORNING VISTA</b> LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C" A PORTION OF THE SW QTR. SECTION 24, T-11-S, R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA 85755			
Sheet Number:		C7.2	
Sheet		13 of 17	

GRADING PERMIT #2501679









STORMWATER POLLUTION PREVENTION PLAN NOTES

- THE GROSS AREA OF DEVELOPMENT IS 3.51 ACRES. THE AREA OF SOIL DISTURBANCE IS APPROXIMATELY 3.27 ACRES.
- SWPPP REPORT SHALL REMAIN ONSITE AT THE CONTRACTOR'S CONSTRUCTION TRAILER AT ALL TIMES AND IS A PART OF THIS DOCUMENT.
- GRENIER ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ENFORCEMENT OR OPERATOR COMPLIANCE TO THIS PLAN OR PERMIT CONDITION.
- THE OPERATOR WILL POST A SIGN AT THE MAIN ENTRANCE TO THE SITE CONTAINING: AZPDES AUTHORIZATION NUMBER, CONSTRUCTION SITE CONTACT NAME AND TELEPHONE NUMBER, BRIEF DESCRIPTION, AND LOCATION OF SWPPP.
- THIS SITE HAS NO SURFACE WATER BODIES (INCLUDING DRY/EPIHEMERAL WASHES AND WETLANDS).
- NO DRYWELLS ON THIS SITE. NO DRYWELLS ON ADJACENT PROPERTIES HAVE POTENTIAL TO RECEIVE STORMWATER FROM THIS SITE.
- FINAL STABILIZATION HAS NOT YET OCCURRED.
- THE OPERATOR SHALL REPORT TO ADEQ ANY NONCOMPLIANCE (INCLUDING SPILLS) WHICH MAY ENDANGER HUMAN HEALTH OR THE ENVIRONMENT. THE OPERATOR SHALL ORALLY NOTIFY THE OFFICE LISTED BELOW WITH 24 HOURS.
- IN THE EVENT OF A SPILL, THE OPERATOR SHALL IMMEDIATELY CONTACT THE LOCAL FIRE DEPARTMENT AND ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY AND WITHIN 24 HOURS ADEQ AT (602-771-2330).
- AN INSPECTION OF THE SITE AND AN INSPECTION REPORT WILL BE COMPLETED AT LEAST EVERY 14 CALENDAR DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF 0.5 INCHES OR MORE. INSPECTION REPORT MUST BE KEPT WITH SWPPP REPORT.
- SWPPP DEFICIENCIES THAT OCCUR ONSITE SHALL BE REPAIRED OR CORRECTED WITHIN 7 CALENDAR DAYS OF THE INSPECTION DATE.
- FINAL STABILIZATION OF ALL NON-IMPERVIOUS AREAS WILL CONSIST OF DECOMPOSED GRANITE AND VEGETATION PER THE LANDSCAPE PLAN.
- ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY:  
1110 W. WASHINGTON, 5TH FLOOR (5515B-1)  
PHOENIX, AZ 85007  
OFFICE: (602) 771-4466  
FAX: (602) 771-4505

REF.: 2003075

Rev #	Date	Description

**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultant  
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715  
Phone: 520.326.7082 ~ Fax: 520.326.7508

Job Number: 20124  
Designed By: AR/JM  
Drawn By: AR  
Checked By: JM  
Date: 6/23/2023  
Scale: Vt: N/A Ht: AS NOTED

Project: **SWPPP**  
**RESIDENCES AT MORNING VISTA**  
LOTS 1 - 18 AND COMMON AREAS "A" THROUGH "C"  
A PORTION OF THE SW QTR. SECTION 24, T-11-S,  
R-13-E G&SRM. TOWN OF ORO VALLEY, PIMA  
COUNTY, ARIZONA 85755

**C9.0**  
Sheet 15 of 17

GRADING PERMIT #2501679



