

1. THE GROSS AREA OF THIS DEVELOPMENT IS 8.03 ACRES (349,931 S.F.).
2. THE GROSS DISTURBANCE OF THIS AREA IS 7.19 ACRES (313,400 S.F.).
3. THE GROSS FLOOR AREA OF THIS DEVELOPMENT AREA: 134,391 S.F.
4. NO NEW STREETS ARE PROPOSED.
5. THERE ARE NO CONDITIONS, VARIANCES, OR OTHER MODIFICATIONS APPLICABLE TO THE PROJECT.
6. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING, AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
7. SEE SHEET 2 FOR PARKING CALCULATIONS.

1. EXISTING ZONING FOR THIS PROJECT IS RANCHO VISTOSO PLANNED AREA DEVELOPMENT (P.A.D.), CPI.
2. CPI BUILDING HEIGHT FOR SENIOR CARE USE IS 50', PER RANCHO VISTOSO PAD SECTION 1.3(H)(1)(c)(2).
3. THE PROPOSED BUILDING HEIGHT = 45'-5".
4. OPEN SPACE REQUIREMENT: NONE.
15% OF THE TOTAL NET AREA MUST BE LANDSCAPED. SEE LANDSCAPE PLAN FOR CALCULATION.
5. THE REQUIRED SETBACKS: FRONT = 25', SIDE = 20' OR COMMON WALL, REAR = 30'.
6. THE LANDSCAPE BUFFERYARDS FOR THIS PROJECT ARE: NORTH = 15' (BUFFERYARD "b"), WEST = 30' (BUFFERYARD "b"), EAST = 0', SOUTH = 0'.
7. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF SEPARATE REVIEW AND APPROVAL PROCESS.
8. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
9. THIS PROJECT IS DESIGNED TO MEET THE TANGERINE ROAD CORRIDOR OVERLAY DISTRICT (TRCOD) AND THE ORACLE ROAD SCENIC CORRIDOR DISTRICT (ORSCOD).
10. BUILDING SITE COVERAGE MAY NOT EXCEED 50%.
TOTAL BUILDING SQUARE FOOTAGE = 134,391 S.F. = 38% OF TOTAL SITE AREA
11. THE TOWN OF ORO VALLEY ENVIRONMENTALLY SENSITIVE LANDS (ESL) MAP IDENTIFIES THE SUBJECT SITE AS RECURSE MANAGEMENT AREA TIER 3 (0% OPEN SPACE) WITH A GENERAL PLAN LAND USE DESIGNATION OF "GROWTH AREAS. THE ESL ORDINANCE DOES NOT APPLY TO PADS AND PAD AMENDMENTS APPROVED BY TOWN COUNCIL PRIOR TO JULY 19, 2011. THE APPROVAL DATE OF THE RANCHO VISTOSO PAD IS JUNE 22, 1987.
12. SCREENING OF LOADING ZONES, MECHANICAL EQUIPMENT, GENERATORS, POOL AND AIR-CONDITIONERS (ON-GROUND AND ROOFTOP) ARE PER THE ARCHITECTURAL PLANS.

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE THE APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. BASIS OF ELEVATION: ELEVATION FOR THIS PROJECT IS BASED ON NGVD 1929 BEING THE TOP OF A BRASS DISC IN CONCRETE, HIGHWAY RIGHT-OF-WAY MARKER STATION 769+90.44, NORTH SIDE OF TANGERINE ROAD, 99 FEET NORTH OF PAVEMENT CENTERLINE, 430 FEET EAST OF BRIDGE OVER BIG WASH. ELEVATION = 2687.29 (NGVD 29).
5. THE BASIS OF BEARING: THE BASIS OF BEARINGS FOR THIS PROJECT IS THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32, TOWNSHIP 12 SOUTH, RANGE 14 EAST, G.&S.R.M., PIMA COUNTY, ARIZONA. SAID BEARING BEING: N00°00'29"W.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
4. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
5. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

BY: _____ DATE _____
PLANNING AND ZONING ADMINISTRATOR

BY: _____ DATE _____
TOWN ENGINEER

BY: _____ DATE _____
ORO VALLEY WATER UTILITY DIRECTOR

[illegible]

CUT: 9,660 C.Y.
FILL: 8,895 C.Y.
NET: 765 C.Y. EXPORT

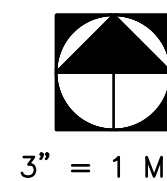
THIS IS AN ESTIMATE ONLY FOR PERMITTING. CONTRACTOR IS TO CALCULATE HIS/HER OWN QUANTITIES BASED ON THE SOILS REPORT PROVIDED, INCLUSIVE OF ANY OVER-EXCAVATION THAT MAY BE REQUIRED. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, OVER-EXCAVATION FOR BUILDINGS, CHANGING SOIL TYPE, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.

SHEET 1..... COVER SHEET
SHEET 2..... GENERAL NOTES SHEET
SHEET 3..... OVERALL SITE PLAN SHEET
SHEETS 4-7... SITE PLAN SHEETS
SHEETS 8-11... GRADING PLAN SHEETS
SHEETS 12-13.. DETAIL SHEETS

ORO VALLEY ALC LLC
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SUITE 203
MERCER ISLAND, WA 98040
PHONE: (425) 417-6086
ATTN: WILLIAM R. MOORE III
BILLMOORE@ROUNDLAKELLC.COM

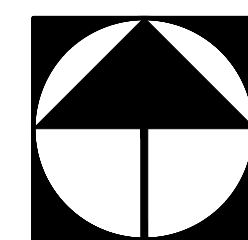
THE WLB GROUP, INC.
4444 E. BROADWAY BLVD
TUCSON, AZ 85711
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ATTN: DAVID LITTLE
DLITTLE@WLBGROUP.COM

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GGRIZZLE@WLBGROUP.COM



A PORTION OF SECTION 31 & 32
T11S, R14E, G & S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

	EXIST. MAJOR CONTOUR		ASPHALT PAVEMENT
	EXIST. MINOR CONTOUR		PAVEMENT SAWCUT
	PROJECT BOUNDARY		PARKING STALLS
	EXISTING LOT LINE		TOP OF SLOPE
	EXISTING PAVEMENT		BOTTOM OF SLOPE
	PROPOSED VERTICAL CURB		SIGHT VISIBILITY TRIANGLE (SVT)
	EXISTING VERTICAL CURB		100 YR FLOOD PLAIN
	EXIST. PUBLIC SEWER LINE & MANHOLE		EROSION HAZARD SETBACK
	EXIST. PUBLIC WATERLINE & VALVE		PROPOSED WALL
	EXISTING EASEMENT LINE		PROPOSED HANDRAIL
	LOT SETBACKS (TYP.)		DEVELOPED AREA BOUNDARY
	SECTION LINE		PROPOSED RIPRAP
	EXISTING RIGHT-OF-WAY		PROPOSED DG PATH
	PROPOSED SPOT ELEVATION		PARKING COUNT
	DIRECTION OF FLOW		PROPOSED PRIVATE SEWER LINE & MANHOLE
	SECTION OR 1/4 SECTION CORNER		PROPOSED PUBLIC WATERLINE & VALVE
	FINISHED FLOOR ELEVATION FINISHED PAD ELEVATION		PROPOSED SIGN
	GRADE BREAK (GB/HP/LP)		FIRE HYDRANT
	POST BARRICADE		WATER METER
	PROPOSED SIDEWALK		IRRIGATION METER
	EXISTING SIDEWALK		EX. STORM DRAIN SYSTEM
	CENTERLINE MONUMENT		PROPOSED CULVERT
	GRADING LIMITS		
	LIGHT POLE		



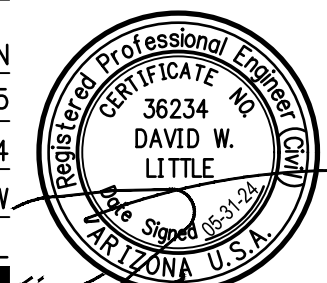
0' 100' 200' 300'

ORO VALLEY ASSISTED LIVING COMMUNITY
RANCHO VISTOSO NEIGHBORHOOD 3 INNOVATION CORPORATE CENTER
BLOCK 4 - LOT 1, ORO VALLEY, ARIZONA

Sheet Title

[illegible]

Scale AS SHOWN
Job No. 185050-HN-02/0105
Date MAY 2024
Designed By DWL/JAW
Checked By DWL



ORO VALLEY WATER GENERAL NOTES

1. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
2. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF THE CONSTRUCTION.
3. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
4. ALL WELLS WITHIN THE PROJECT BOUNDARIES MUST BE ABANDONED PER ADWR REGULATIONS.
5. A LINE EXTENSION AGREEMENT FOR THIS PROJECT MUST BE IN PLACE PRIOR TO ANY PUBLIC WATER INFRASTRUCTURE CONSTRUCTION WORK COMMENCING FOR THIS PROJECT.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS DEVELOPMENT PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN SUBMITTAL.

GENERAL UTILITY NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. ELECTRIC GATE OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

GENERAL PAVING AND GRADING NOTES

1. ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PIMA ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PAG SSPI), LATEST EDITION, EXCEPT AS MODIFIED HEREBY.
2. ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PAG SSPI, EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
3. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PAG SSPI, SECTION 203-5.
4. EARTHWORK, EXCEPT AS MODIFIED BY THE SOILS REPORT ON RECORD, SHALL CONFORM TO PAG SSPI, SECTION 203.
5. AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI, SECTION 303.
6. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 406, ASPHALTIC CONCRETE MIXTURE NO. 2 SPECIFICATIONS.
7. ALL CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
8. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS OF CONSTRUCTION.
10. CONTRACTOR SHALL CALL "BLUE STAKE" (811 OR 1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION A MINIMUM OF TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION.
11. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
12. CONTRACTOR SHALL INSTALL STREET SIGNS IN ACCORDANCE WITH THE TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS-SIGNAGE POLICY.
13. PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
14. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
15. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
16. ALL STATIONING SHOWN ON PLAN AND PROFILE ARE ALONG CONSTRUCTION/ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER AND IS A DEFINITE PART OF THIS PROJECT.
18. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
 - A. WALL(S), RETAINING OR OTHER TYPE(S).
 - B. ANY REINFORCED CONCRETE STRUCTURE(S).
 - C. ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE.THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
19. THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEER. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
20. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
21. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH A.D.E.Q. STORM WATER DISCHARGE PERMIT IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.

GENERAL PAVING AND GRADING NOTES (CONTINUED)

22. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN +0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE ENGINEER.
23. A REPORT OF SOILS INVESTIGATIONS, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING LLC, DATED APRIL 18, 2022, PROJECT NO. 22-045. EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS MADE THERETO.
24. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, IS TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
25. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
26. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
27. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCRROACHING OR AFFECTING, DIRECTLY OR INDIRECTLY, ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.
28. THE PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT AS-BUILT RECORD DRAWINGS AND CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS-BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE INSPECTION AND CODE COMPLIANCE DIVISION AND THE RELEASE OF ASSURANCES EXCEPT MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED, THE ABOVE PERTAINS TO EACH PHASE.
29. THE TOWN OF ORO VALLEY WILL, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS AND FINAL PLAT, PERFORM A FIELD REVIEW OF THE DEVELOPMENT. FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW.
30. ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
31. THE CONTRACTOR SHALL COORDINATE WITH GOLDER RANCH FIRE DEPT. TO ENSURE THAT INTERIM ACCESS IS MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
32. CUT OR FILL SLOPES 3:1 (HORIZONTAL:VERTICAL) OR LESS STEEP SHALL BE REVEGETATED. CUT OR FILL SLOPES 2:1 OR LESS STEEP (BUT STEEPER THAN 3:1) SHALL BE ROCK RIP-RAPPED WITH FILTER FABRIC INSTALLED BENEATH THE ROCK. CUT OR FILL SLOPES STEEPER THAN 2:1 SHALL HAVE ROCK-FACE CONCRETE SLOPE PAVING OR RETAINING WALLS AS APPROPRIATE. NO SLOPE SHALL EXCEED 1:1. SEE DETAIL 8 ON SHEET 12.
33. NO IMPROVEMENTS BETWEEN THIRTY (30) AND SEVENTY-TWO (72) INCHES IN HEIGHT RELATIVE TO THE ADJACENT PAAL/ROADWAY WHICH MIGHT INTERFERE WITH THE PURPOSE AND INTENT OF THE SIGHT DISTANCE TRIANGLE SHALL BE PERMITTED, PLACED OR MAINTAINED WITHIN 15 (FIFTEEN) FEET OF A PAAL-TO-PAAL INTERSECTION.
34. EXISTING IRRIGATION LINES THAT ARE DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED WITHIN 3 CALENDAR DAYS. IRRIGATION LINES SHALL BE RECONNECTED SO THAT THE EXISTING PLANT MATERIAL RECEIVES IRRIGATION WATER, CONTRACTOR SHALL REMOVE AND REPLACE IN KIND, ANY PLANT MATERIAL THAT DIES AS A RESULT OF DAMAGED IRRIGATION OR CONSTRUCTION ACTIVITY.
35. CONTRACTOR TO PROVIDE TO THE ENGINEER OF RECORD ONE MYLAR PLAN SET OF AS-BUILT DRAWINGS. THE DRAWINGS PROVIDED SHALL BE SEALED BY A P.E. OR R.L.S. IN STATE OF AZ CERTIFYING THAT THE PROJECT HAS BEEN CONSTRUCTED PER "LINE AND GRADE" AS INDICATED ON THE APPROVED PLAN.
36. ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27, SECTION 27.9 OF THE ORO VALLEY ZONING CODE REVISED, JULY 2007.
37. DEVELOPMENT & IMPROVEMENT PLANS MUST BE APPROVED PRIOR TO THE SUBMITTAL OF ANY PERMIT APPLICATIONS TO THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
38. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
39. SHOULD EXISTING EASEMENTS BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF PERMITS.
40. THE 2018 INTERNATIONAL CODES ARE APPLICABLE TO THIS PROJECT.

PERMITTING DIVISION - BUILDING CODES

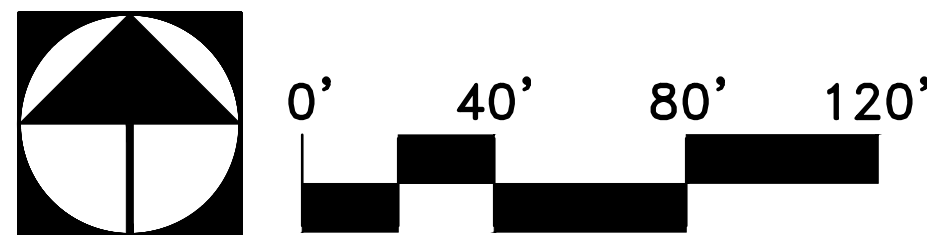
THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
- NATIONAL ELECTRICAL CODE
- ADA STANDARDS FOR ACCESSIBLE DESIGN
- GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- TOWN OF ORO VALLEY POOL CODE
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED

PARKING, LOADING & BICYCLE STORAGE CALCULATIONS

PAD/LOT NUMBER	PROPOSED USE	UNITS (BED COUNT)	EMPLOYEES	PARKING RATIO	TOTAL PARKING		HANDICAP PARKING		LOADING ZONE RATIO	LOADING ZONES		BICYCLE PARKING			
					REQD.	PROV.	REQD.	PROV.		REQD.	PROV.	REQD.	PROV.	REQD.	PROV.
BLOCK 4 LOT 1	ASSISTED LIVING AND MEMORY CARE	137 (210)	30	0.5 SPACES PER BED + 0.75 SPACES PER EMPLOYEE	128		5		---	1	1	0	0	2	
BLOCK 4 LOT 1	INDEPENDENT LIVING UNITS	18 (36)	---	0.75 SPACES PER UNIT	14		1		---	0	0	0	0	0	
					142	154*	6	6						2	8

* INCLUDES INDEPENDENT LIVING GARAGE SPOTS



Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix,
& Flagstaff, AZ, and Las Vegas, NV.
4444 East Broadway Tucson, AZ 85711
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OVERALL SITE PLAN

Sheet Title

2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07

Contact Arizona 811 at least two full working days before you begin excavation

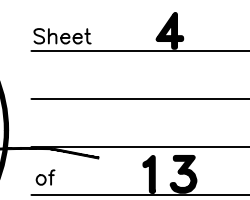
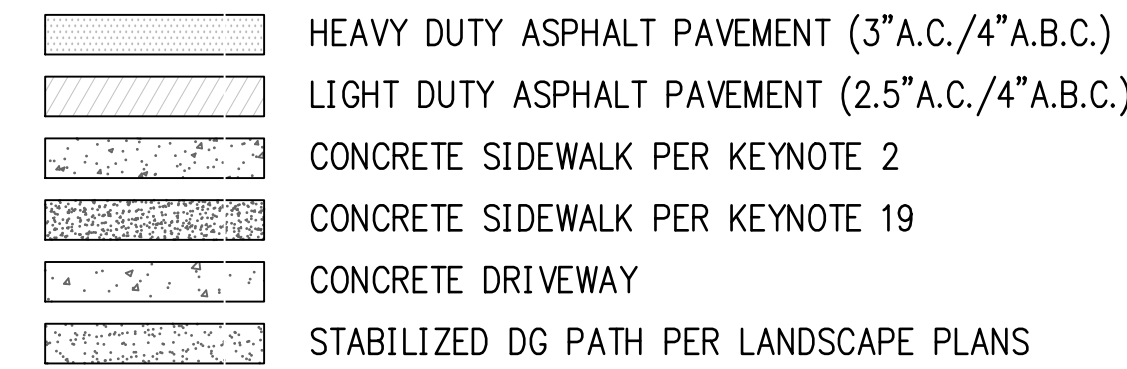


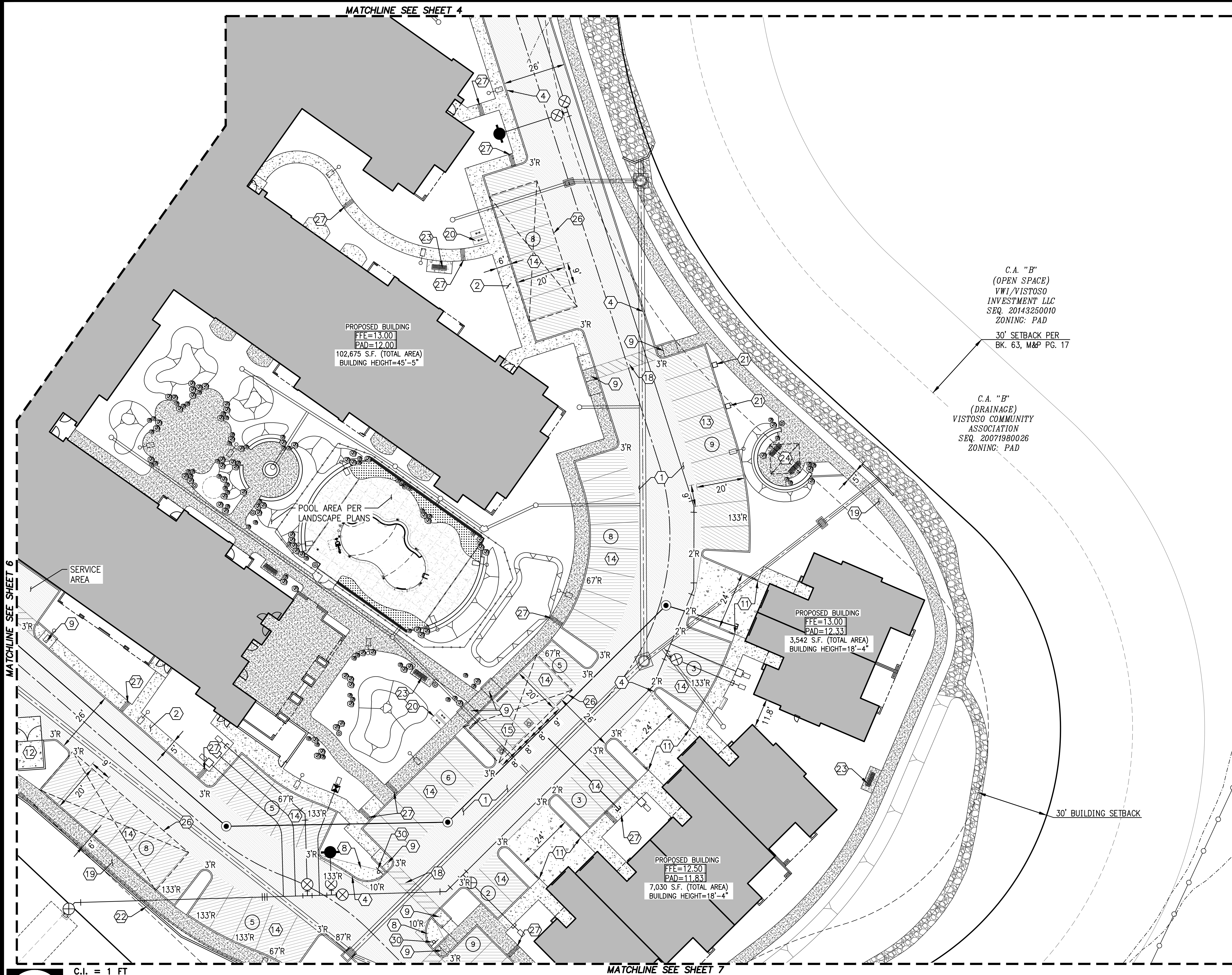
Call 811 or click Arizona811.com

3

13





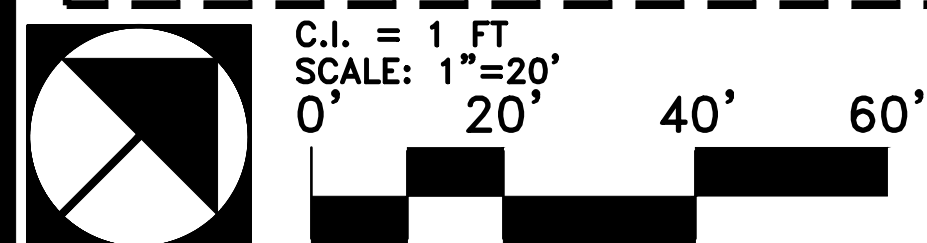


CONSTRUCTION KEY NOTES

(ALL NOTES MAY NOT APPLY TO THIS SHEET)

- 1) CONSTRUCT 3" A.C. PAVEMENT OVER 4" A.B.C. IN DRIVE ISLES AND ENTRY'S AND 2.5" A.C. PAVEMENT OVER 4" A.B.C. IN PARKING SPACES PER GEOTECHNICAL ENGINEERING REPORT
- 2) CONSTRUCT CONCRETE SIDEWALK PER PAG STD. DTL. NO. 200. (WIDTH PER PLAN) (COLOR: NATURAL COLOR, FINISH: MEDIUM BOROM)
- 3) CONCRETE SIDEWALK: NEW TO EXISTING CONNECTION PER PAG STD. DTL. NO. 203.
- 4) CONSTRUCT 6" CONCRETE VERTICAL CURB PER PAG STD. DTL. NO. 209.
- 5) CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211
- 6) CONCRETE HEADER CURB PER PAG STD. DTL. 213
- 7) 2' WIDE SAWCUT. TRIM, TACK AND JOIN TO EXISTING PAVEMENT.
- 8) SIGHT VISIBILITY TRIANGLE PER DTL. 3, SHT. 12.
- 9) CONSTRUCT CURB ACCESS RAMP PAG STD. DTL. 207.
- 10) CONSTRUCT BICYCLE PARKING PER DTL. 4, SHT. 12.
- 11) CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
- 12) SCREENED TRASH ENCLOSURE PER ARCHITECTURE PLANS.
- 13) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 4, SHT. 13.
- 14) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 5, SHT. 13.
- 15) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 1, SHT. 13.
- 16) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 2, SHT. 13.
- 17) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 3, SHT. 13.
- 18) PEDESTRIAN CROSS WALK PER DTL. 2, SHT. 12.
- 19) CONSTRUCT CONCRETE SIDEWALK PER PAG STD. DTL. NO. 200. (WIDTH PER PLAN) (COLOR: DAVIS COLORS - SAN DIEGO BUFF, FINISH: HEAVY SALT)
- 20) BIKE RACK LOCATION - SEE LANDSCAPE PLAN
- 21) ELECTRIC VEHICLE CHARGING STATION LOCATION (DETAIL PER ELECTRICAL PLANS)
- 22) RETAINING WALL. SEE STRUCTURAL PLANS BY OTHERS. (FINISH: STUCCO AND PAINT TO MATCH BUILDING)
- 23) SHADE SEATING AREA - SEE LANDSCAPE PLAN
- 24) RAMADA SEATING AREA - SEE LANDSCAPE PLAN
- 25) HANDRAIL PER 2009 ICC A 117.1 SECTIONS 405 AND 505. (SEE DTL. 6, SHT. 13)
- 26) OPTIONAL PARKING CANOPY
- 27) CONSTRUCT TYPE 1 SIDEWALK SCUPPER PER PAG STD. DTL. NO. 204.
- 28) CONSTRUCT 1' CURB OPENING
- 29) RAMPS PER 2010 ADA STANDARDS
- 30) STOP SIGN PER DTL. 9, SHT. 13
- 31) 30' HIGH FLAGPOLE WITH LIGHT (AMERICAN FLAG)

- HEAVY DUTY ASPHALT PAVEMENT (3"A.C./4"A.B.C.)
- LIGHT DUTY ASPHALT PAVEMENT (2.5"A.C./4"A.B.C.)
- CONCRETE SIDEWALK PER KEYNOTE 2
- CONCRETE SIDEWALK PER KEYNOTE 19
- CONCRETE DRIVEWAY
- STABILIZED DG PATH PER LANDSCAPE PLANS



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ORO VALLEY ASSISTED LIVING COMMUNITY
RANCHO VISTOSO NEIGHBORHOOD 3 INNOVATION CORPORATE CENTER
BLOCK 4 - LOT 1, ORO VALLEY, ARIZONA

**SITE PLAN
DEVELOPMENT PLAN**

Sheet Title

No.	Date	Item

Scale 1"=20'
Job No. 185050-HN-02/0105
Date MAY 2024
Designed By DWL/JAW
Checked By DWL

2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07



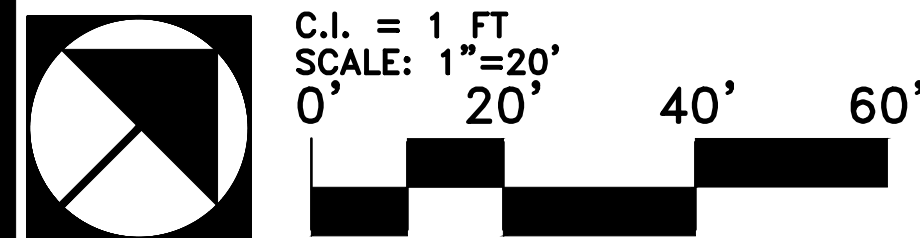
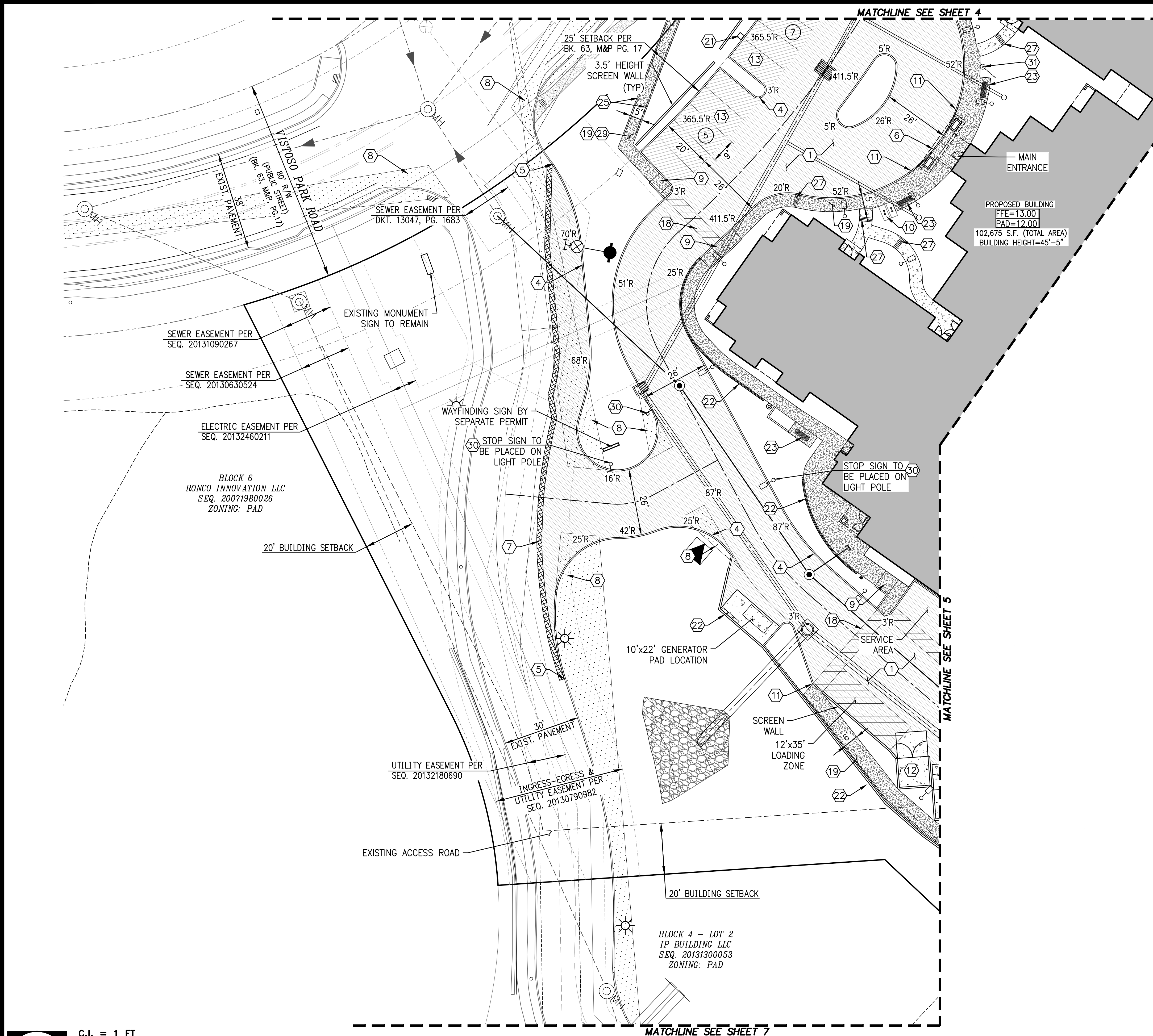
Sheet 5
of 13

CONSTRUCTION KEY NOTES

(ALL NOTES MAY NOT APPLY TO THIS SHEET)

- 1) CONSTRUCT 3" A.C. PAVEMENT OVER 4" A.B.C. IN DRIVE ISLES AND ENTRY'S AND 2.5" A.C. PAVEMENT OVER 4" A.B.C. IN PARKING SPACES PER GEOTECHNICAL ENGINEERING REPORT
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- 3) CONCRETE SIDEWALK: NEW TO EXISTING CONNECTION PER PAG STD. DTL. NO. 203.
- 4) CONSTRUCT 6" CONCRETE VERTICAL CURB PER PAG STD. DTL. NO. 209.
- 5) CONSTRUCT CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211
- 6) CONCRETE HEADER CURB PER PAG STD. DTL. 213
- 7) 2' WIDE SAWCUT. TRIM, TACK AND JOIN TO EXISTING PAVEMENT.
- 8) SIGHT VISIBILITY TRIANGLE PER DTL. 3, SHT. 12.
- 9) CONSTRUCT CURB ACCESS RAMP PAG STD. DTL. 207.
- 10) CONSTRUCT BICYCLE PARKING PER DTL. 4, SHT. 12.
- 11) CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
- 12) SCREENED TRASH ENCLOSURE PER ARCHITECTURE PLANS.
- 13) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 4, SHT. 13.
- 14) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 5, SHT. 13.
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- 17) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 3, SHT. 13.
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- 20) BIKE RACK LOCATION - SEE LANDSCAPE PLAN
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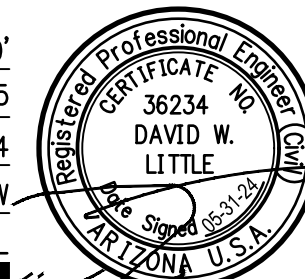
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SITE PLAN
DEVELOPMENT PLAN

Sheet Title

No.	Date	Item

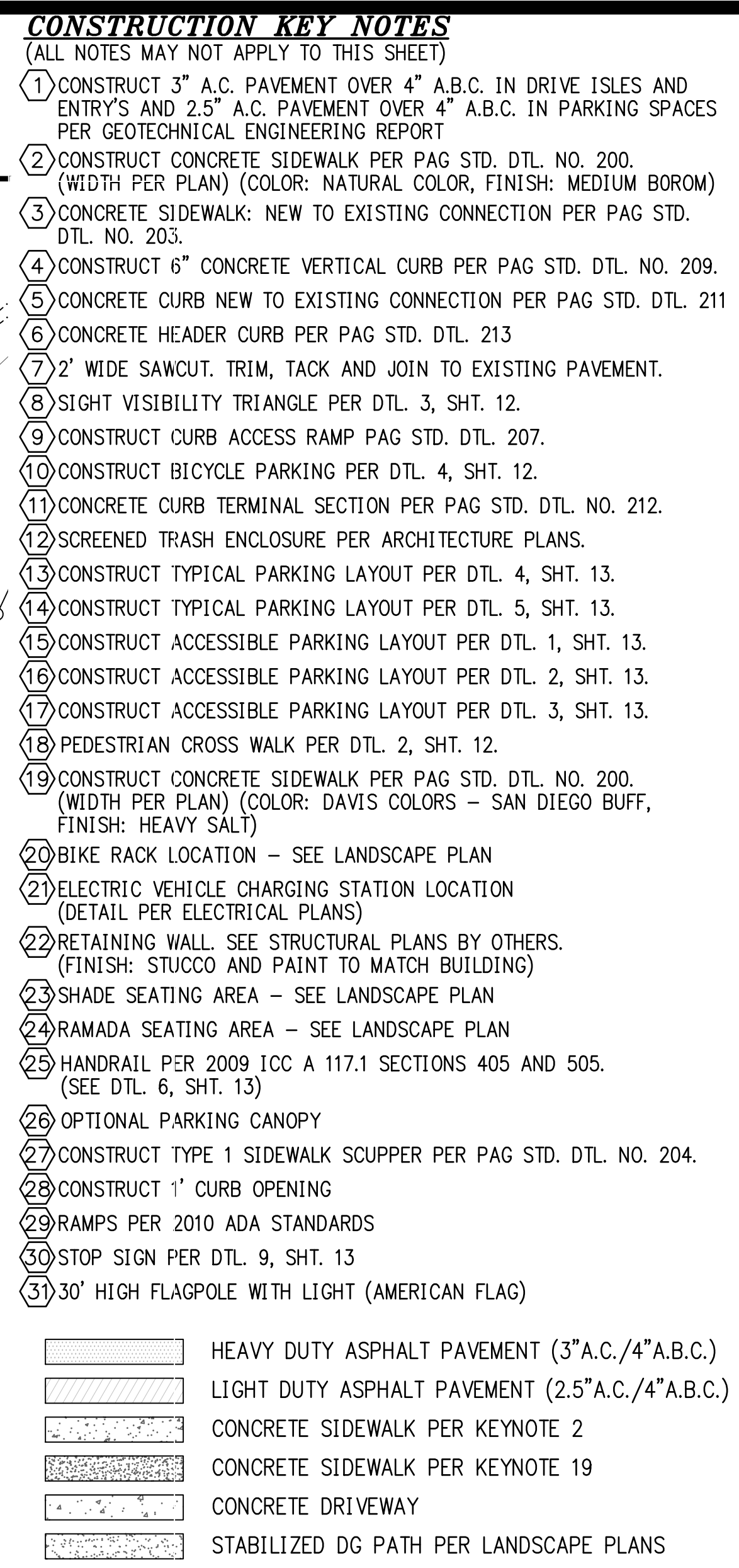
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Job No.	185050-HN-02/0105
Date	MAY 2024
Designed By	DWL/JAW
Checked By	DWL



Sheet 6
of 13



2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07



SITE PLAN DEVELOPMENT PLAN

Sheet Title

[illegible]

2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07

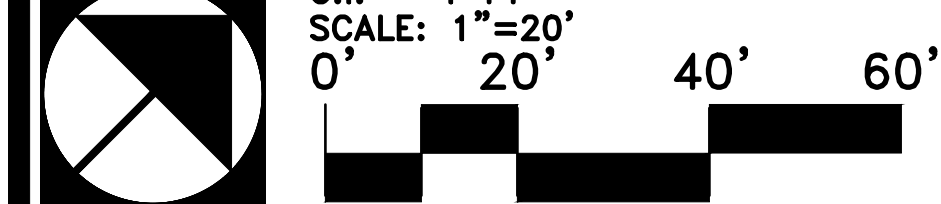




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 - 4) CONSTRUCT 6" CONCRETE VERTICAL CURB PER PAG STD. DTL. NO. 209.
 - 5) CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211
 - 6) CONCRETE HEADER CURB PER PAG STD. DTL. 213
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 - 8) SIGHT VISIBILITY TRIANGLE PER DTL. 3, SHT. 12.
 - 9) CONSTRUCT CURB ACCESS RAMP PER PAG STD. DTL. 207.
 - 10) CONSTRUCT BICYCLE PARKING PER DTL. 4, SHT. 12.
 - 11) CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
 - 12) SCREENED TRASH ENCLOSURE PER ARCHITECTURE PLANS.
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 - 14) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 5, SHT. 13.
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 - 16) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 2, SHT. 13.
 - 17) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 3, SHT. 13.
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 - 28) CONSTRUCT 1' CURB OPENING
 - 29) RAMPS PER 2010 ADA STANDARDS
 - 30) STOP SIGN PER DTL. 9, SHT. 13
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- LIGHT DUTY ASPHALT PAVEMENT (2.5"A.C./4"A.B.C.)
- CONCRETE SIDEWALK PER KEYNOTE 2
- CONCRETE SIDEWALK PER KEYNOTE 19
- CONCRETE DRIVEWAY
- STABILIZED DG PATH PER LANDSCAPE PLANS

- NOTES:**
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 2. ALL SLOPE STABILIZATION TO BE ACCORDANCE WITH DETAIL 8 ON SHEET 12.
 3. SEE SHEET 13 FOR CONCENTRATION POINT INFORMATION.
 4. SEE DETAIL 7 SHEET 13 FOR CHANNEL CROSS SECTION INFORMATION.
 5. SEE DETAIL 8, SHEET 13 FOR RIP-RAP APRON DETAIL INFORMATION.



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Q:\185050\HN-02 RV N 3 Inn Corp Ctr Lot 1\04 Platting\02 DP\DP-09 GRADING.dwg Plotted: May 30, 2024

Sheet Title

2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07

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- ⑦ 2' WIDE SAWCUT. TRIM, TACK AND JOIN TO EXISTING PAVEMENT.
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- ⑪ CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
- ⑫ SCREENED TRASH ENCLOSURE PER ARCHITECTURE PLANS.
- ⑬ CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 4, SHT. 13.
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- ⑰ CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 3, SHT. 13.
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- ⑲ CONSTRUCT CONCRETE SIDEWALK PER PAG STD. DTL. NO. 200. (WIDTH PER PLAN) (COLOR: DAVIS COLORS - SAN DIEGO BUFF, FINISH: HEAVY SLAT)
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	LIGHT DUTY ASPHALT PAVEMENT (2.5"A.C./4"A.B.C.)
	CONCRETE SIDEWALK PER KEYNOTE 2
	CONCRETE SIDEWALK PER KEYNOTE 19
	CONCRETE DRIVEWAY
	STABILIZED DG PATH PER LANDSCAPE PLANS



MATCHLINE SEE SHEET 8

CONSTRUCTION KEY NOTES

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- | | |
|--|---|
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NOTES:

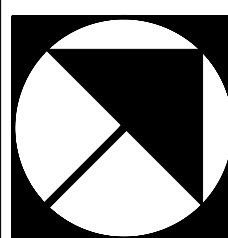
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2301036
OV12-12-20
OV12-06-14B
REF: OV09-07-07

Scale 1"=20'
Job No. 185050-HN-02/0105
Date MAY 2024
Designed By DWL/JAW
Checked By DWL

Sheet 10
of 13



C.I. = 1 FT
SCALE: 1"=20'
0' 20' 40' 60'

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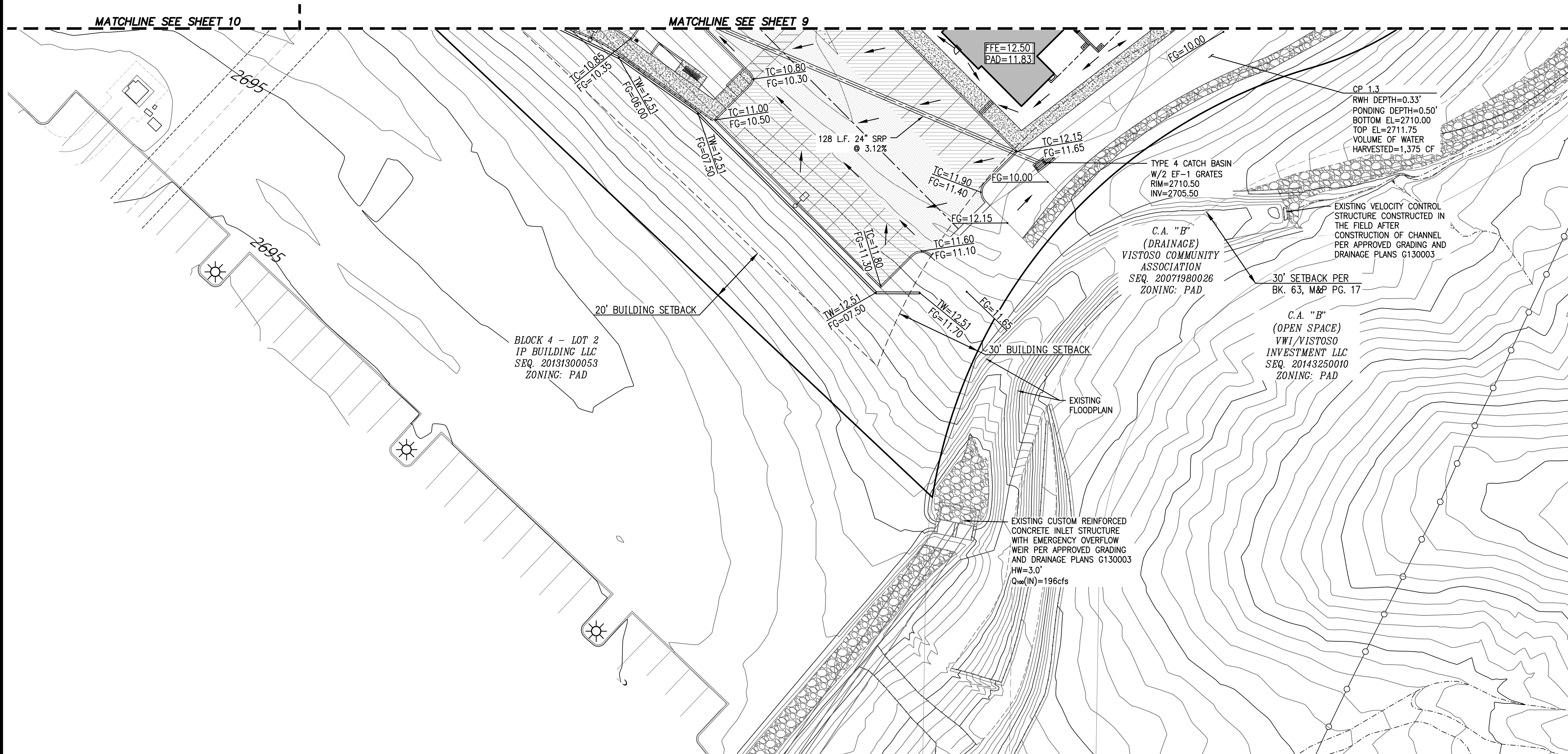
GRADING PLAN
DEVELOPMENT PLAN

Sheet Title

No.	Date	Item

Revisions

Q:\185050\HN-02 RV N 3 Inn Corp Ctr Lot 1\04 Platting\02 DP\DP-10_GRADING.dwg Plotted: May 30, 2024



CONSTRUCTION KEY NOTES

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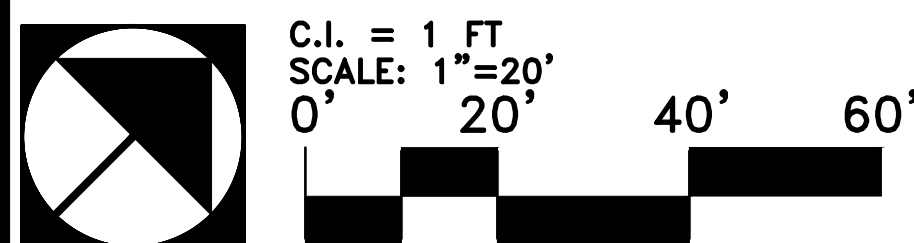
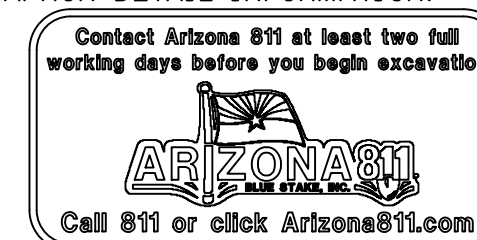
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- 5) CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 207.
- 6) CONCRETE HEADER CURB PER PAG STD. DTL. 213
- 7) 2' WIDE SAWCUT, TRIM, TACK AND JOIN TO EXISTING PAVEMENT.
- 8) SIGHT VISIBILITY TRIANGLE PER DTL. 3, SHT. 12.
- 9) CONSTRUCT CURB ACCESS RAMP PER PAG STD. DTL. 207.
- 10) CONSTRUCT BICYCLE PARKING PER DTL. 4, SHT. 12.
- 11) CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
- 12) SCREENED TRASH ENCLOSURE PER ARCHITECTURE PLANS.
- 13) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 4, SHT. 13.
- 14) CONSTRUCT TYPICAL PARKING LAYOUT PER DTL. 5, SHT. 13.
- 15) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 1, SHT. 13.
- 16) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 2, SHT. 13.
- 17) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER DTL. 3, SHT. 13.
- 18) PEDESTRIAN CROSS WALK PER DTL. 2, SHT. 12.
- 19) CONSTRUCT CONCRETE SIDEWALK PER PAG STD. DTL. NO. 200. (WIDTH PER PLAN) (COLOR: DAVIS COLORS - SAN DIEGO BUFF, FINISH: HEAVY SALT)
- 20) BIKE RACK LOCATION - SEE LANDSCAPE PLAN
- 21) ELECTRIC VEHICLE CHARGING STATION LOCATION (DETAIL PER ELECTRICAL PLANS)
- 22) RETAINING WALL. SEE STRUCTURAL PLANS BY OTHERS. (FINISH: STUCCO AND PAINT TO MATCH BUILDING)
- 23) SHADE SEATING AREA - SEE LANDSCAPE PLAN
- 24) RAMADA SEATING AREA - SEE LANDSCAPE PLAN
- 25) HANDRAIL PER 2009 ICC A 117.1 SECTIONS 405 AND 505. (SEE DTL. 6, SHT. 13)
- 26) OPTIONAL PARKING CANOPY
- 27) CONSTRUCT TYPE 1 SIDEWALK SCUPPER PER PAG STD. DTL. NO. 204.
- 28) CONSTRUCT 1' CURB OPENING
- 29) RAMPS PER 2010 ADA STANDARDS
- 30) STOP SIGN PER DTL. 9, SHT. 13
- 31) 30' HIGH FLAGPOLE WITH LIGHT (AMERICAN FLAG)

- HEAVY DUTY ASPHALT PAVEMENT (3"A.C./4"A.B.C.)
- LIGHT DUTY ASPHALT PAVEMENT (2.5"A.C./4"A.B.C.)
- CONCRETE SIDEWALK PER KEYNOTE 2
- CONCRETE SIDEWALK PER KEYNOTE 19
- CONCRETE DRIVEWAY
- STABILIZED DG PATH PER LANDSCAPE PLANS

NOTES:

1. MAXIMUM SIDEWALK CROSS SLOPE IS 2%, MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAIL. LONGITUDINAL SLOPE GREATER THAN 5% REQUIRES HANDRAIL. (EXCEPT CURB RAMPS) MAXIMUM SLOPE AT LANDINGS AND ACCESSIBLE PARKING IS 2% IN ALL DIRECTIONS.
2. ALL SLOPE STABILIZATION TO BE ACCORDANCE WITH DETAIL 8 ON SHEET 12.
3. SEE SHEET 13 FOR CONCENTRATION POINT INFORMATION.
4. SEE DETAIL 7 SHEET 13 FOR CHANNEL CROSS SECTION INFORMATION.
5. SEE DETAIL 8, SHEET 13 FOR RIP-RAP APRON DETAIL INFORMATION.

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OV12-12-20
OV12-06-14B
REF: OV09-07-07



The WLB Group Inc.

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ORO VALLEY ASSISTED LIVING COMMUNITY
RANCHO VISTOSO NEIGHBORHOOD 3 INNOVATION CORPORATE CENTER
BLOCK 4 - LOT 1, ORO VALLEY, ARIZONA

GRADING PLAN DEVELOPMENT PLAN

Sheet Title

No.	Date	Item

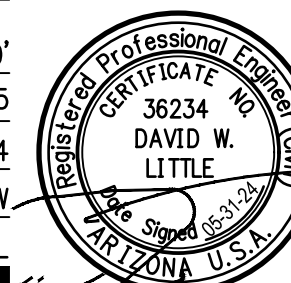
Scale 1"=20'

Job No. 185050-HN-02/0105

Date MAY 2024

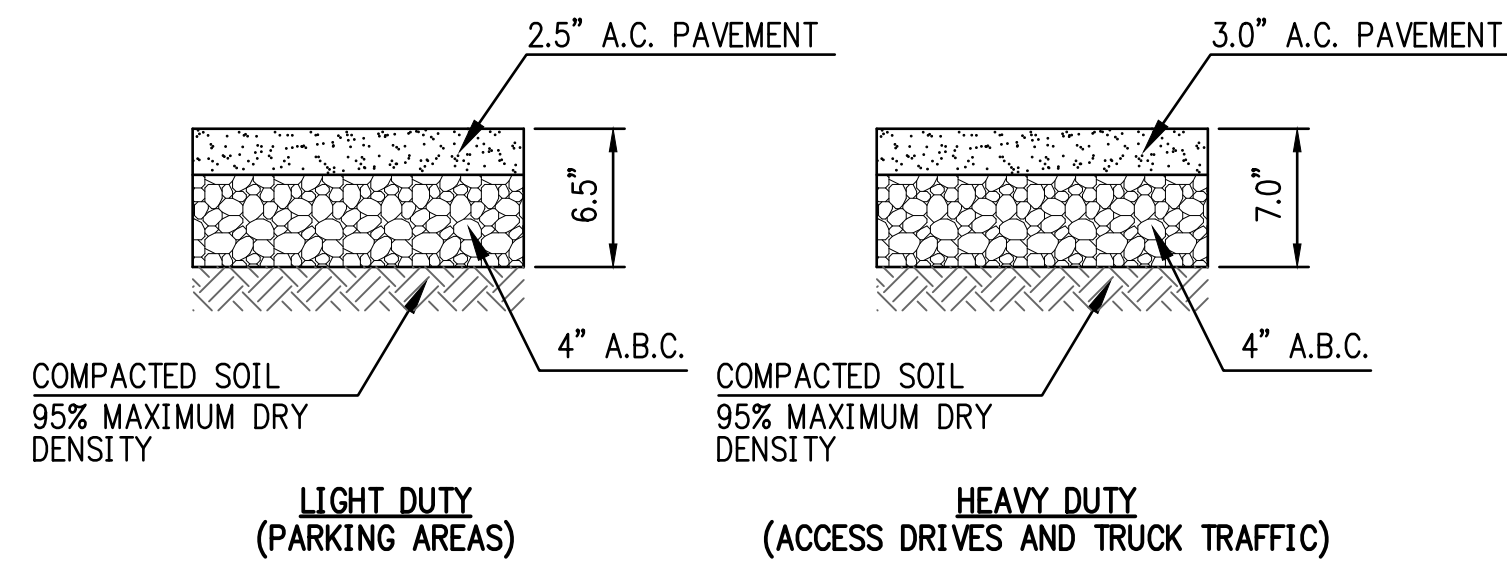
Designed By DWL/JAW

Checked By DWL



Sheet 11

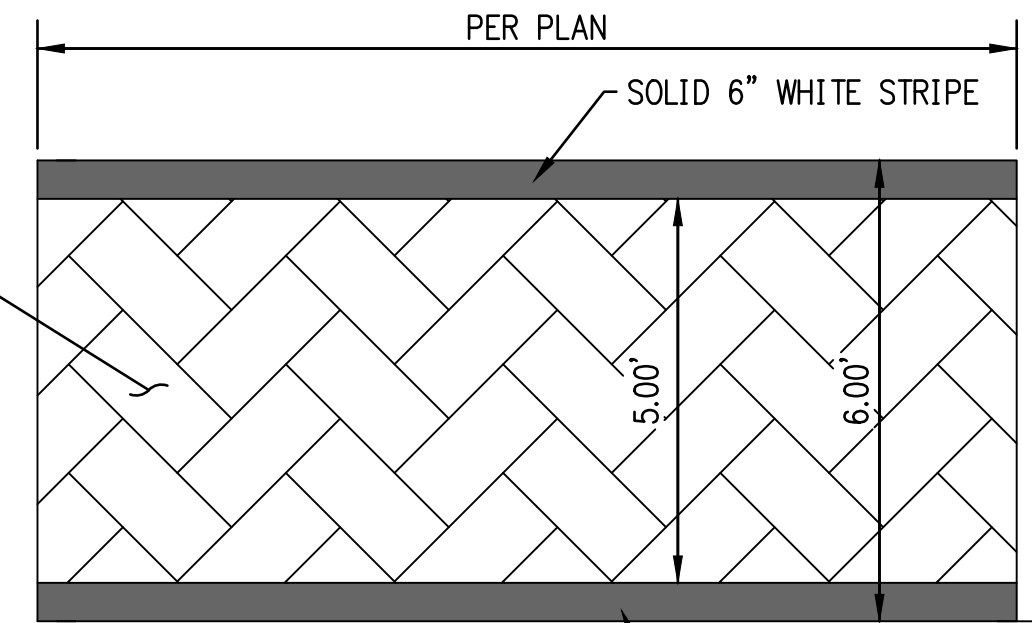
of 13



1 PAVEMENT STRUCTURE

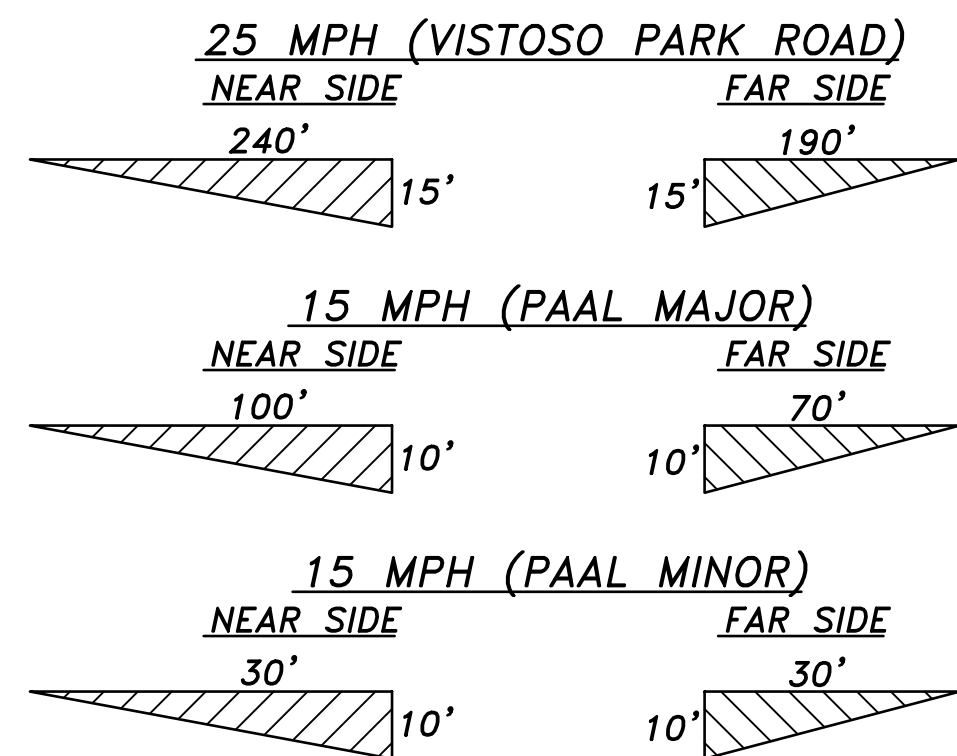
COMPACTION PER STANDARD PROCTOR TEST (ASTM D698) NTS

TEXTURED AND PAINTED CONCRETE (COLORED AND STAMPED CONCRETE FOR CROSSWALKS WITHIN ROW)



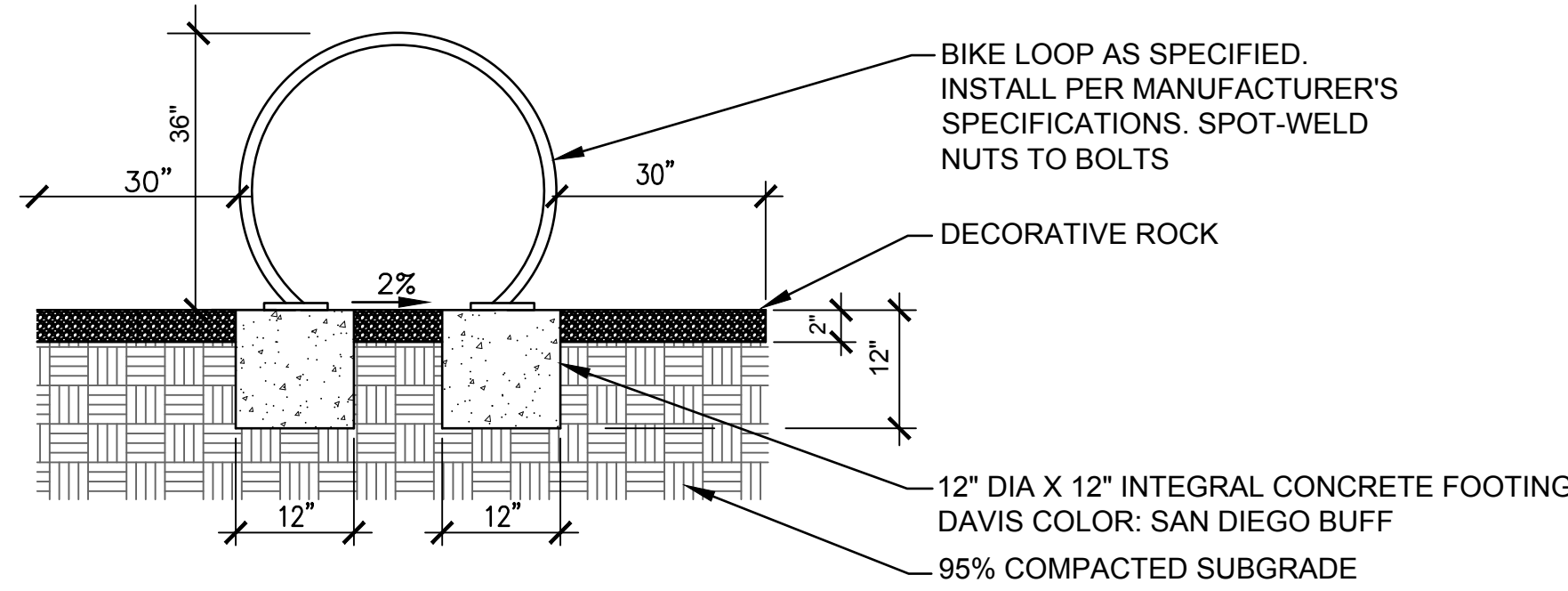
2 PEDESTRIAN CROSS WALK PAINT DETAIL

USE HIGH VISIBILITY WHITE PAINT NTS



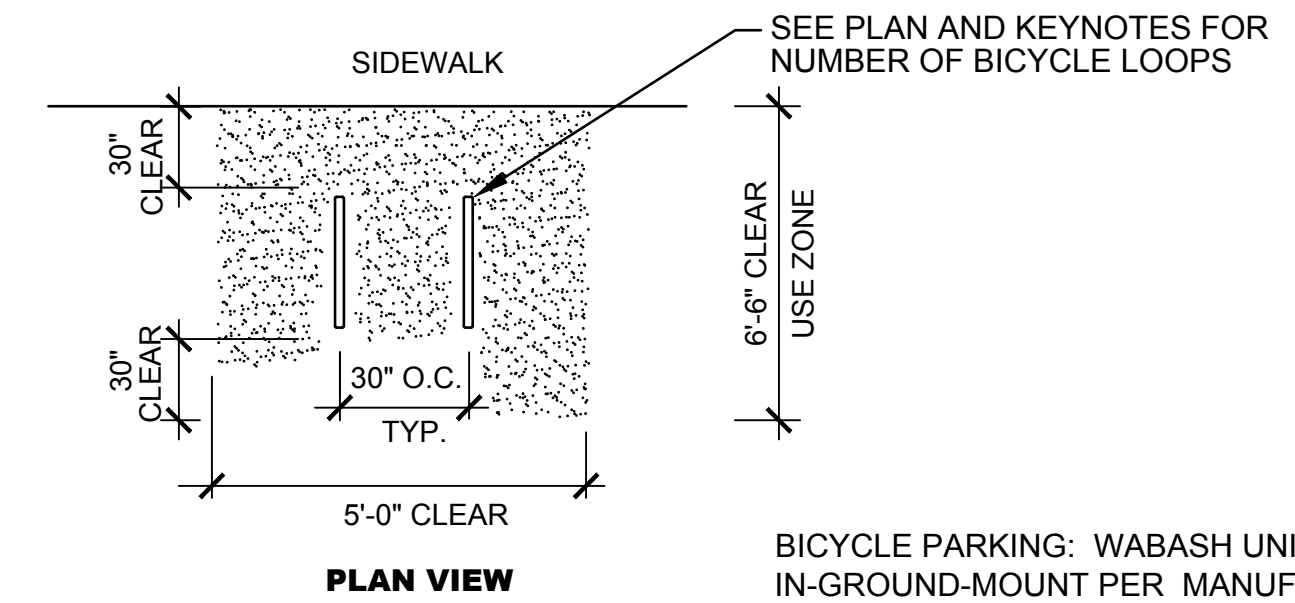
3 TYPICAL SIGHT VISIBILITY TRIANGLE DETAIL

NTS

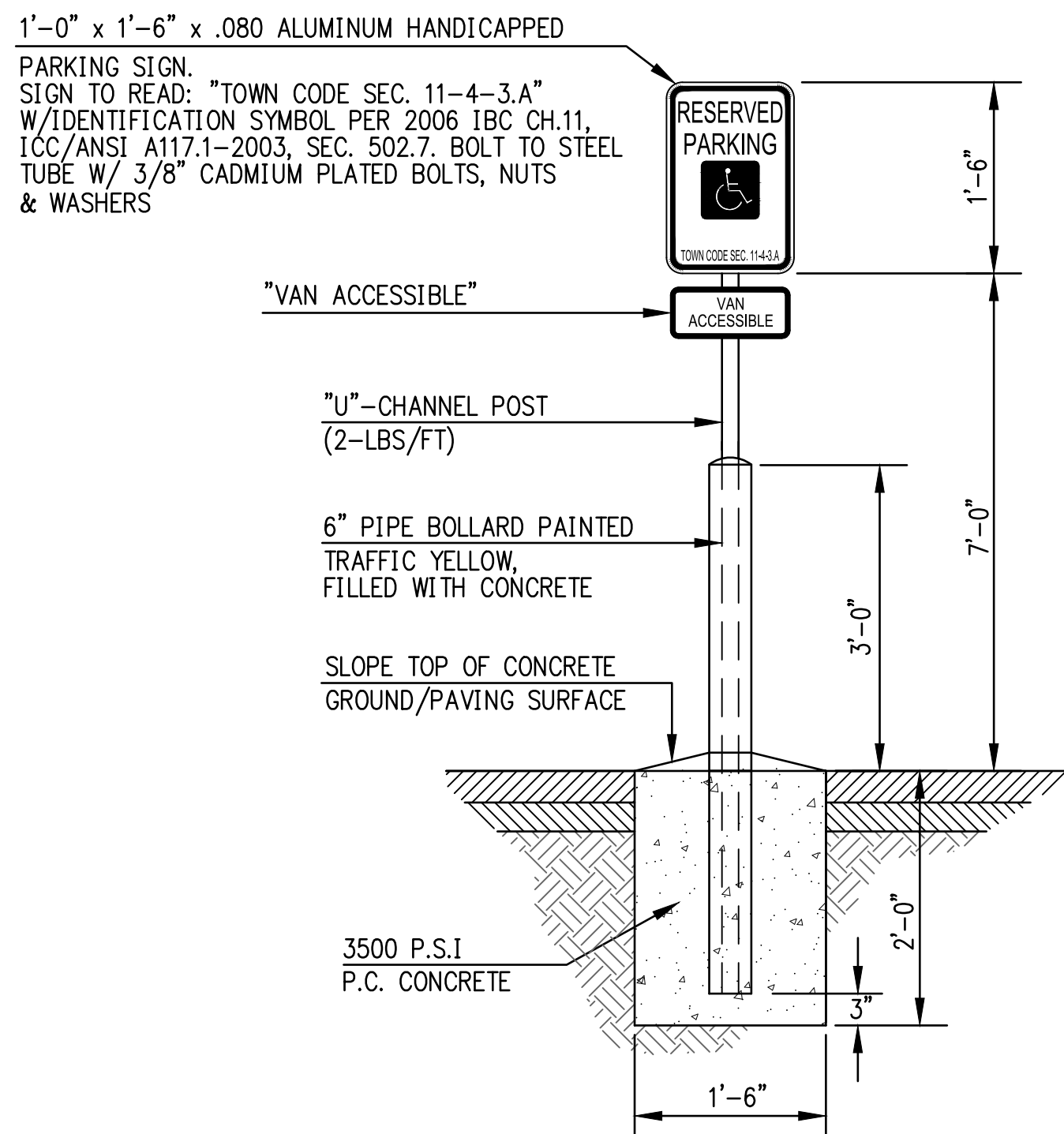


4 BICYCLE PARKING

SHOWN FOR REFERENCE ONLY. TO BE CONSTRUCTED PER LANDSCAPE PLAN. NTS

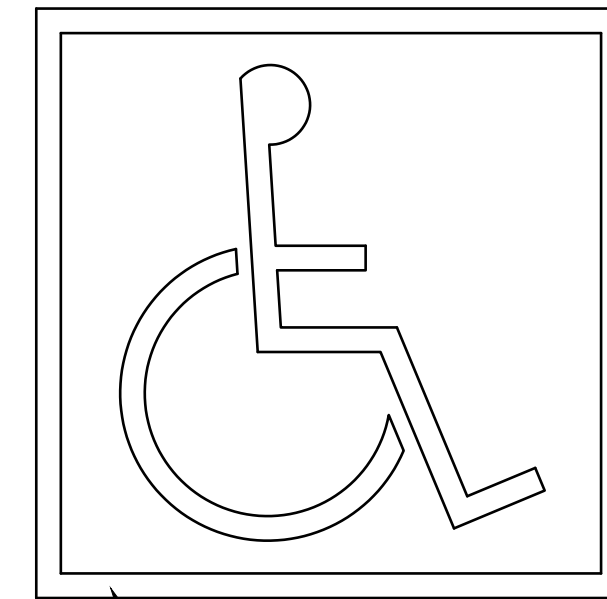


BICYCLE PARKING: WABASH UNIVERSAL "OPEN CIRCULAR" LOOP. IN-GROUND-MOUNT PER MANUFACTURER RECOMMENDATIONS. COLOR: TEXTURED BRONZE POWDER COAT. AVAILABLE FROM DAVE BANG (800) 456-7903



5 TYPICAL ACCESSIBLE PARKING SIGN

NTS

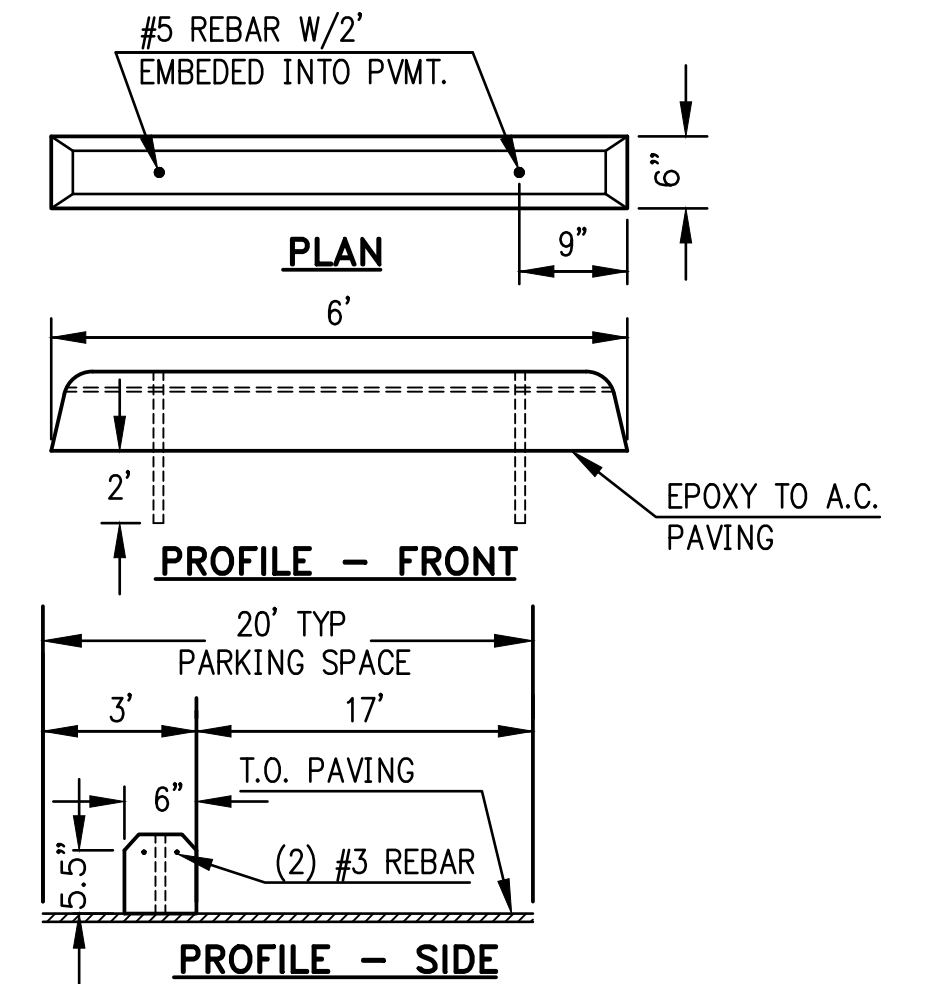


6 TYPICAL HANDICAP SYMBOL

NTS

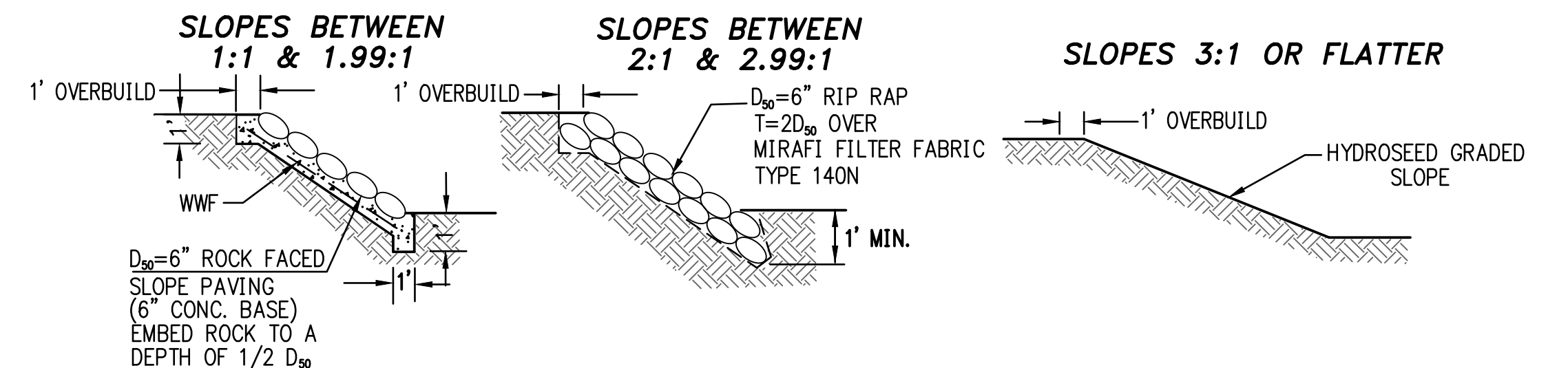
SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL

IN ADDITION TO PAINTED PARKING SYMBOL, PROVIDE A 70 SQ.IN. SIGN SHOWING H/C SYMBOL ONLY AT EACH HANDICAPPED PARKING STALL PER TITLE 24 AND A.D.A.



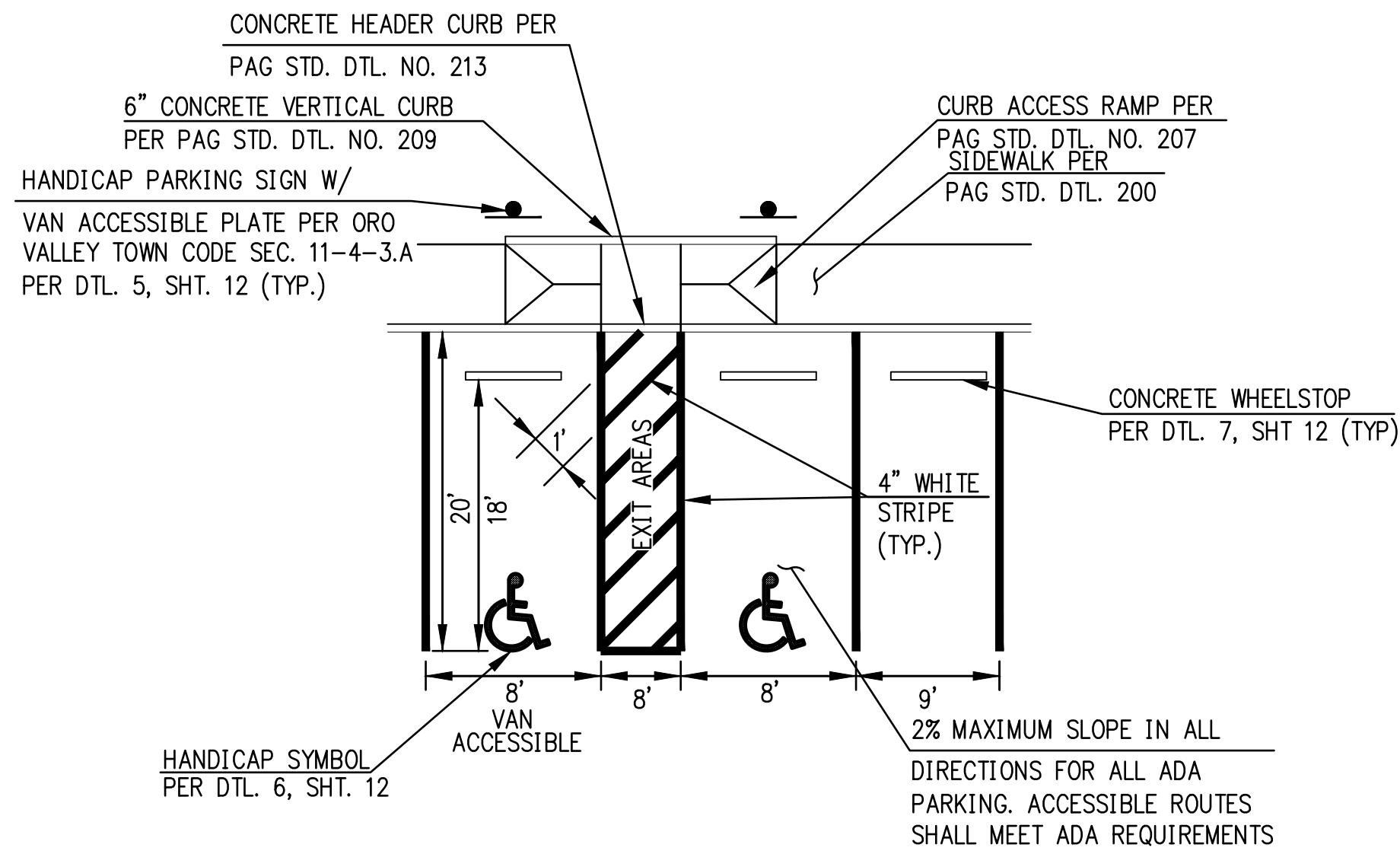
7 CONCRETE WHEEL STOP

NTS

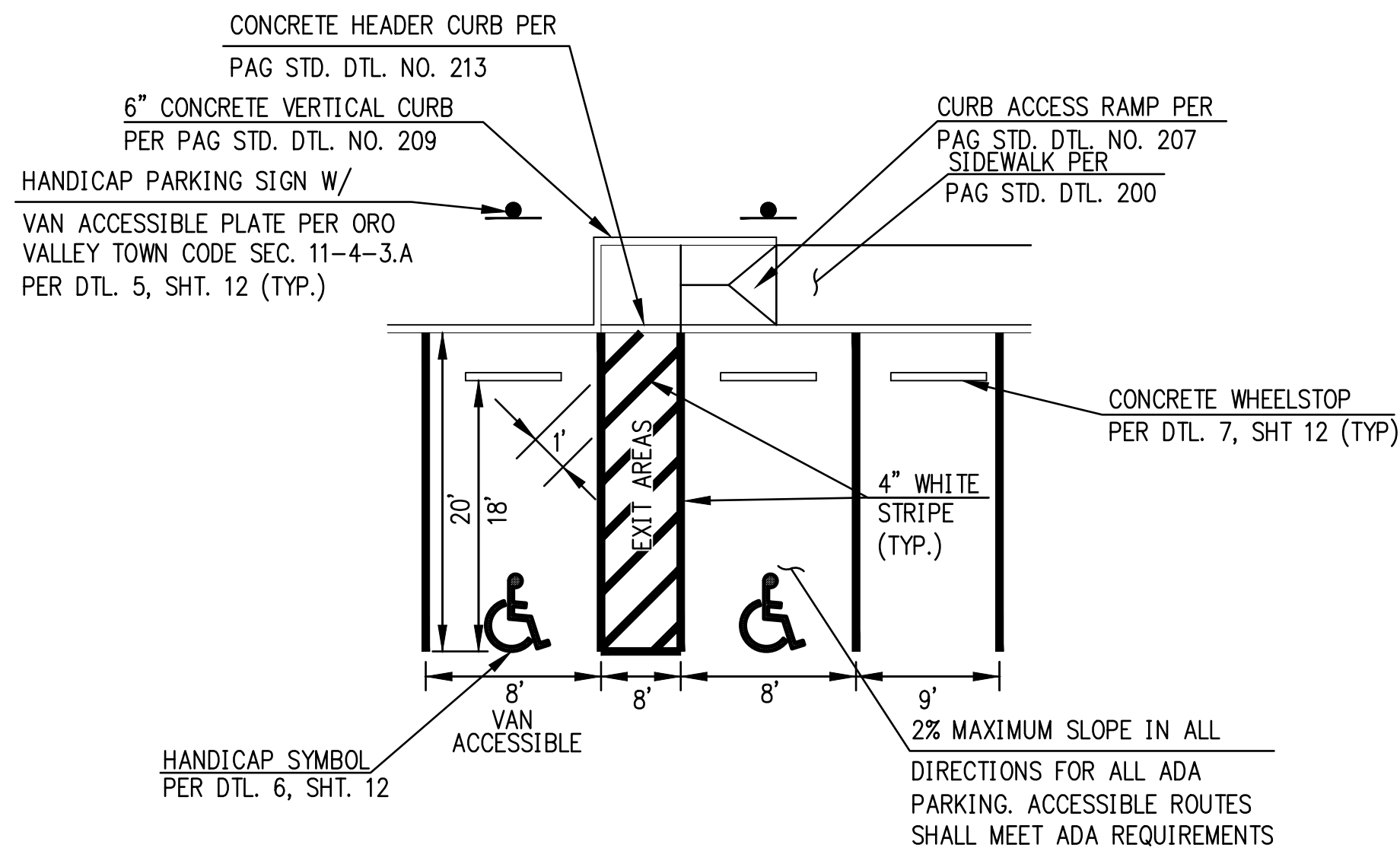


8 SLOPE STABILIZATION DETAILS

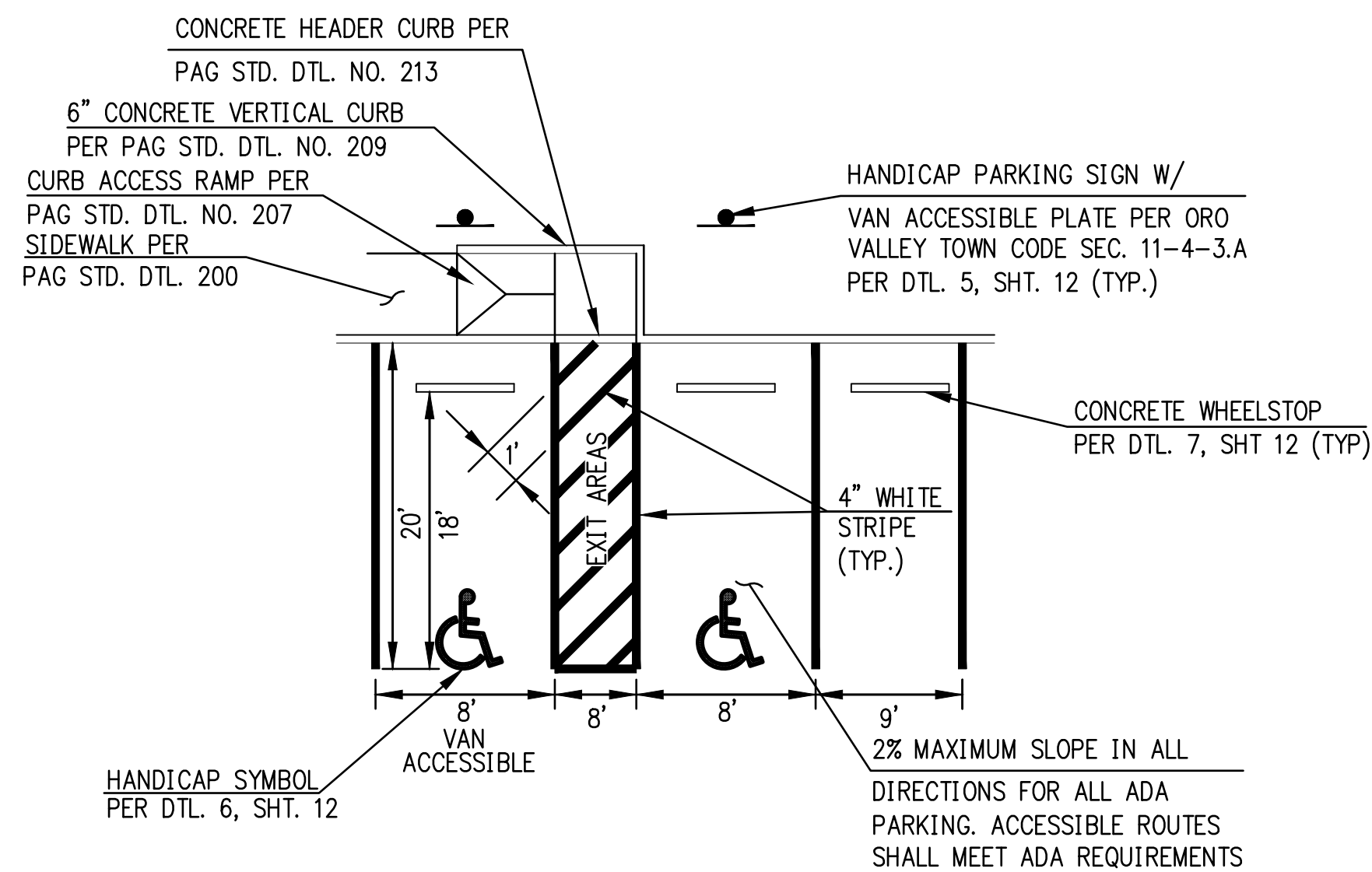
NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN) NTS



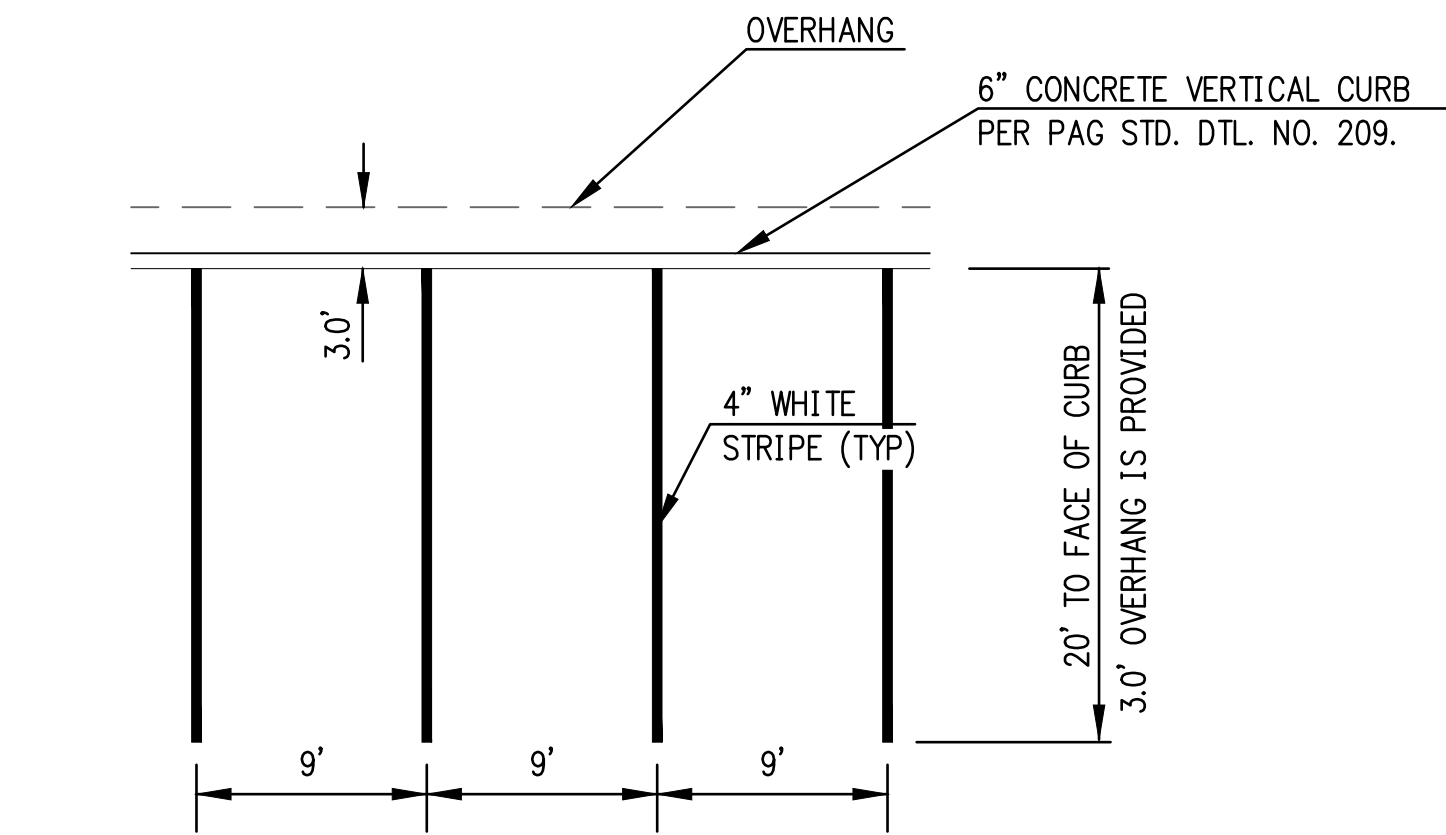
1 TYPICAL HANDICAP PARKING SPACE STRIPING NTS



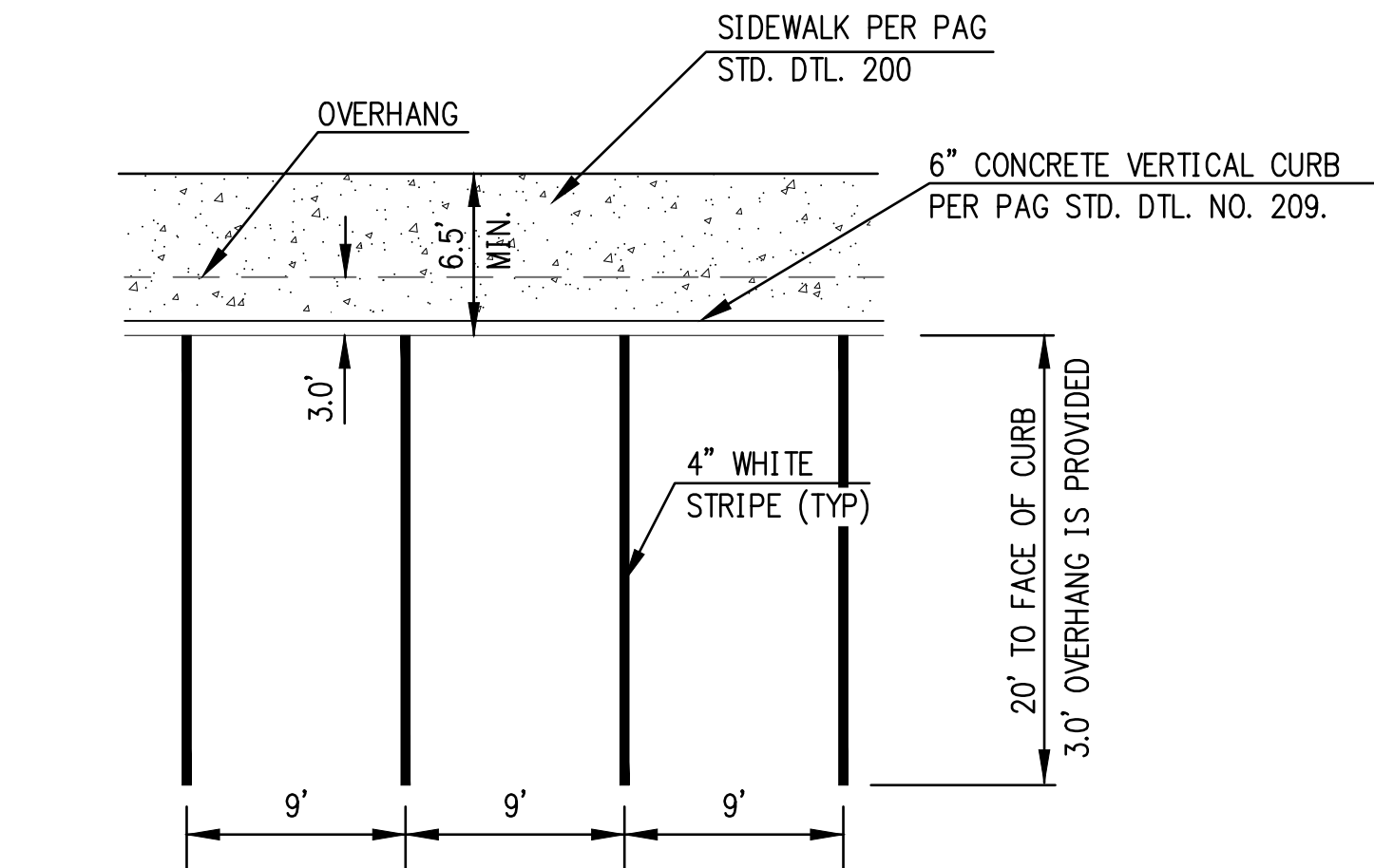
2 TYPICAL HANDICAP PARKING SPACE STRIPING NTS



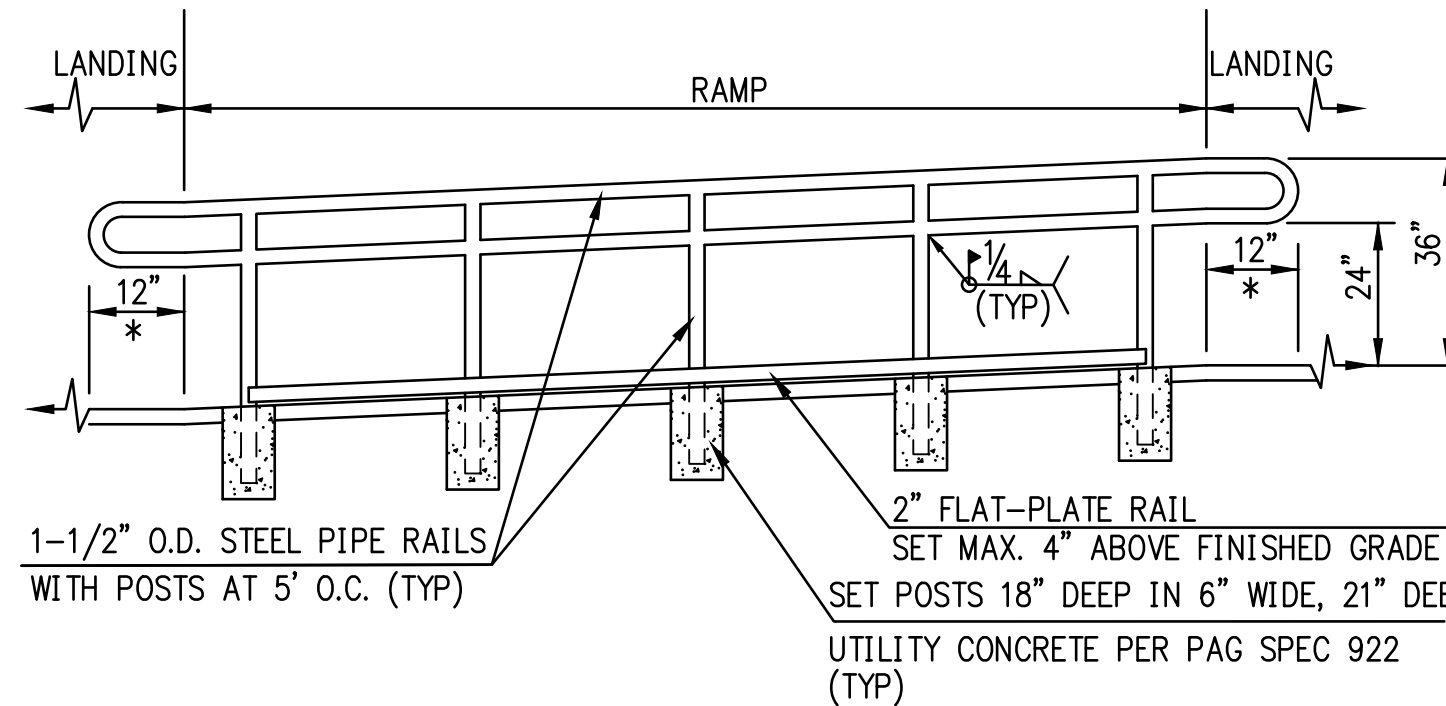
3 TYPICAL HANDICAP PARKING SPACE STRIPING NTS



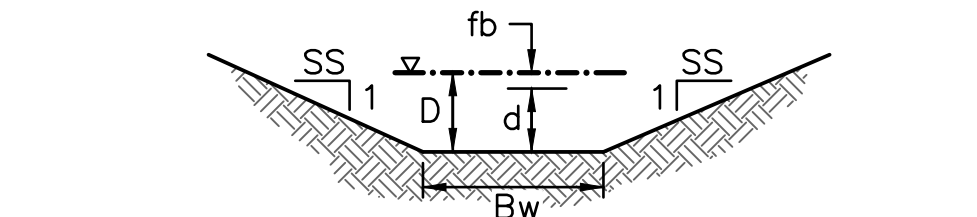
4 TYPICAL PARKING SPACE STRIPING NTS



5 TYPICAL PARKING SPACE STRIPING NTS



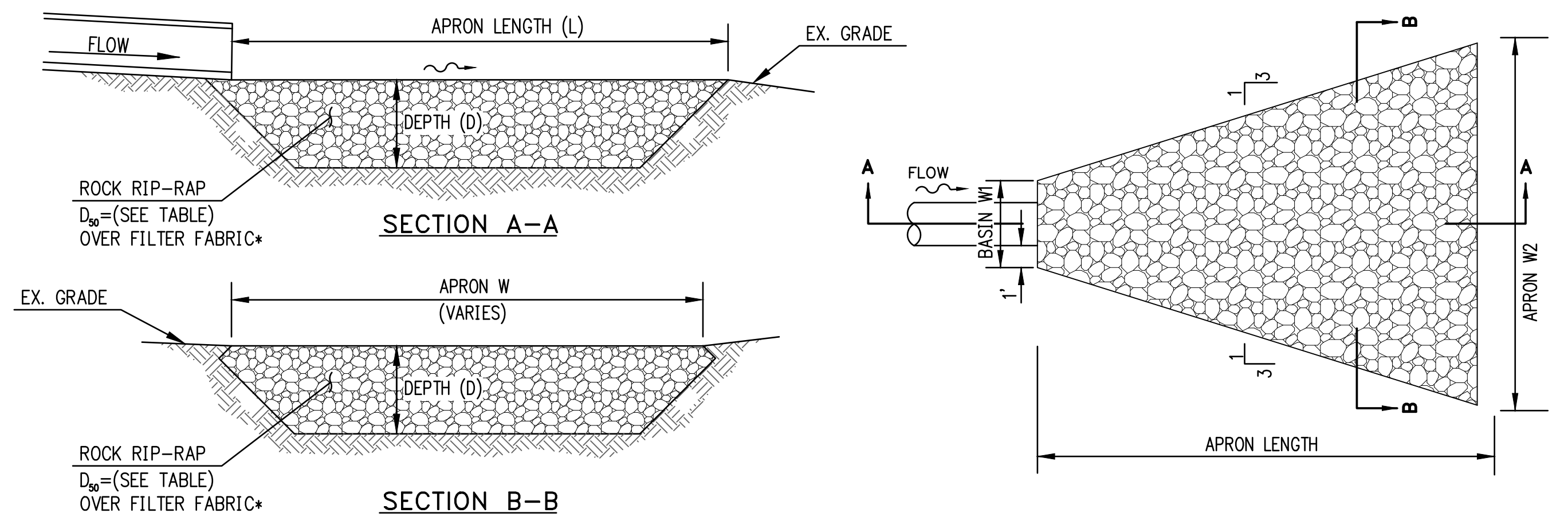
6 HANDRAIL NTS



7 PROPOSED CONSTRUCTED CHANNEL DETAIL N.T.S.

X-SEC	Q_{100} (cfs)	V_{100} (fps)	fb	d	D	SLOPE(%)	Bw	SS	n
X1.4	9.0	2.89	0.16'	0.82'	0.98'	1.0 (MIN)	3'	1	0.036
X1.6	16.0	4.74	0.15'	0.52'	0.67'	3.8 (MIN)	6'	1	0.036

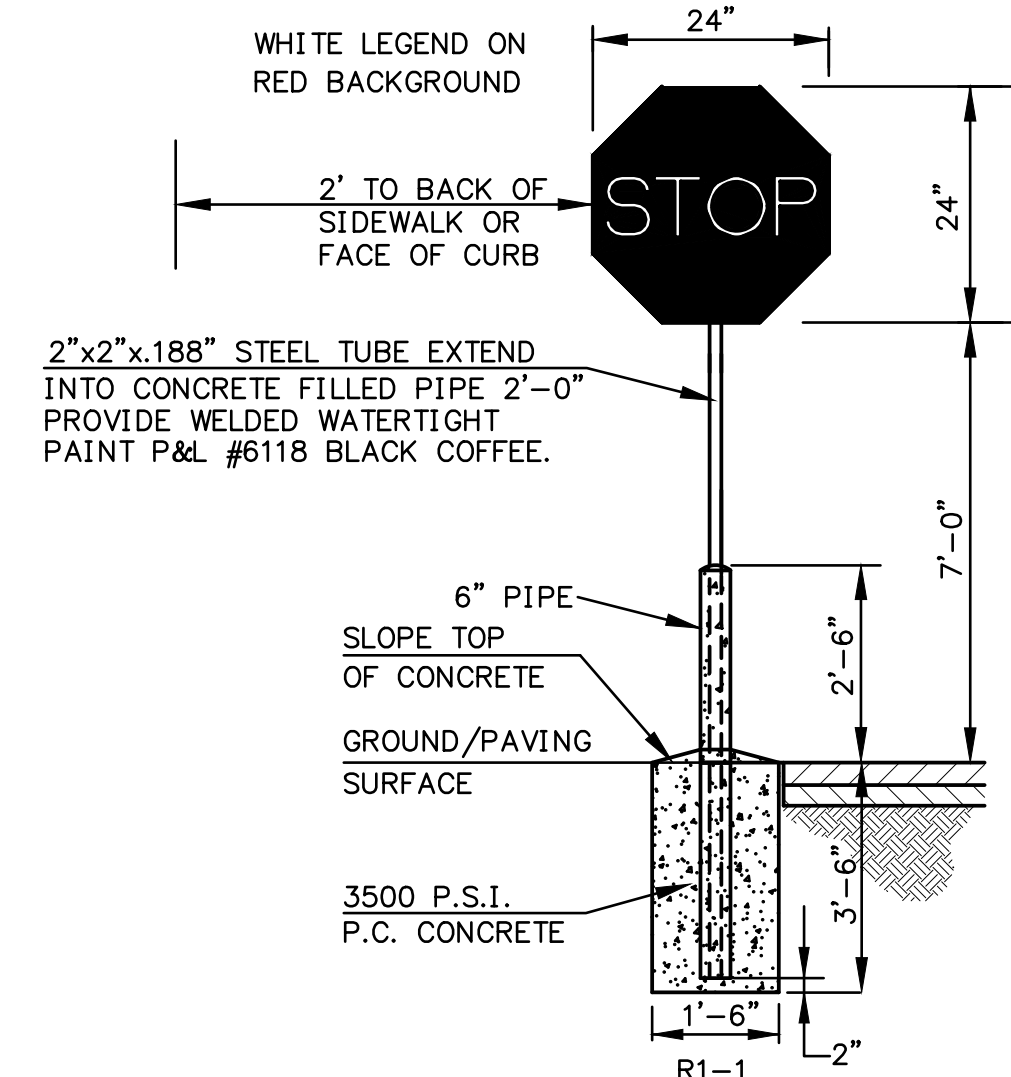
*SEE CALCULATION SHEETS IN HYDRO REPORT-APPENDIX B FOR MORE INFORMATION
*SIDE SLOPES STEEPER THAN 3:1 SHALL BE RIP-RAP IN ACCORDANCE TO SLOPE STABILIZATION DETAILS



CP	CULVERT DESCRIPTION	APRON LENGTH(ft) L	APRON WIDTH(ft) W1	APRON WIDTH(ft) W2	APRON DEPTH(in) D	RECOMMENDED D_{90} (in)
1.1	1-42" CMP	20.0	5.5	17.5	30	15.0

*FILTER FABRIC SPECS PER PAG STD. SPECIFICATION 1014

8 RIP-RAP APRON DETAIL AT STORMDRAIN OUTLETS N.T.S.



9 "STOP" SIGN NTS

CONC. PT	DRAINAGE AREA (ac)	Q_2 (cfs)	Q_{10} (cfs)	Q_{50} (cfs)	Q_{100} (cfs)
1E	11.4	12	30	55	65
1.1E	9.7	10	25	45	53
1.2E	2.4	2	6	12	14
2E	0.7	1	2	3	4
OS1a	1.4	2	4	8	9
OS1b	0.6	1	2	3	4

CONC. PT	DRAINAGE AREA (ac)	Q_2 (cfs)	Q_{10} (cfs)	Q_{50} (cfs)	Q_{100} (cfs)
1.0	11.8 (SD RUN A)	15	33	62	73
1.1	0.16	0.1	1	1	1
1.1a	0.26	0.1	1	2	2
1.2	1.3	2	4	8	10
1.3	0.77	1	2	4	5
1.4	1.29	2	4	7	8
1.4a	0.1	0.1	0.1	1	1
1.5	0.4	1	1	2	3
1.6	2.57	3	7	13	16
1.7	0.19	0.1	1	1	1
1.8	0.15	0.1	0.1	1	1
1.9	1.42	2	4	8	10
2.0	0.41	0.1	1	1	2
3.0	0.77	1	2	3	4
A	0.27	0.1	1	1	2
B	0.31	0.1	1	1	2
F	0.1	0.1	0.1	1	1
G	0.26	0.1	1	2	2
H	0.08	0.1	0.1	0.1	1
I	0.14	0.1	0.1	1	1
K	0.16	0.1	0.1	1	1
L	0.16	0.1	0.1	1	1