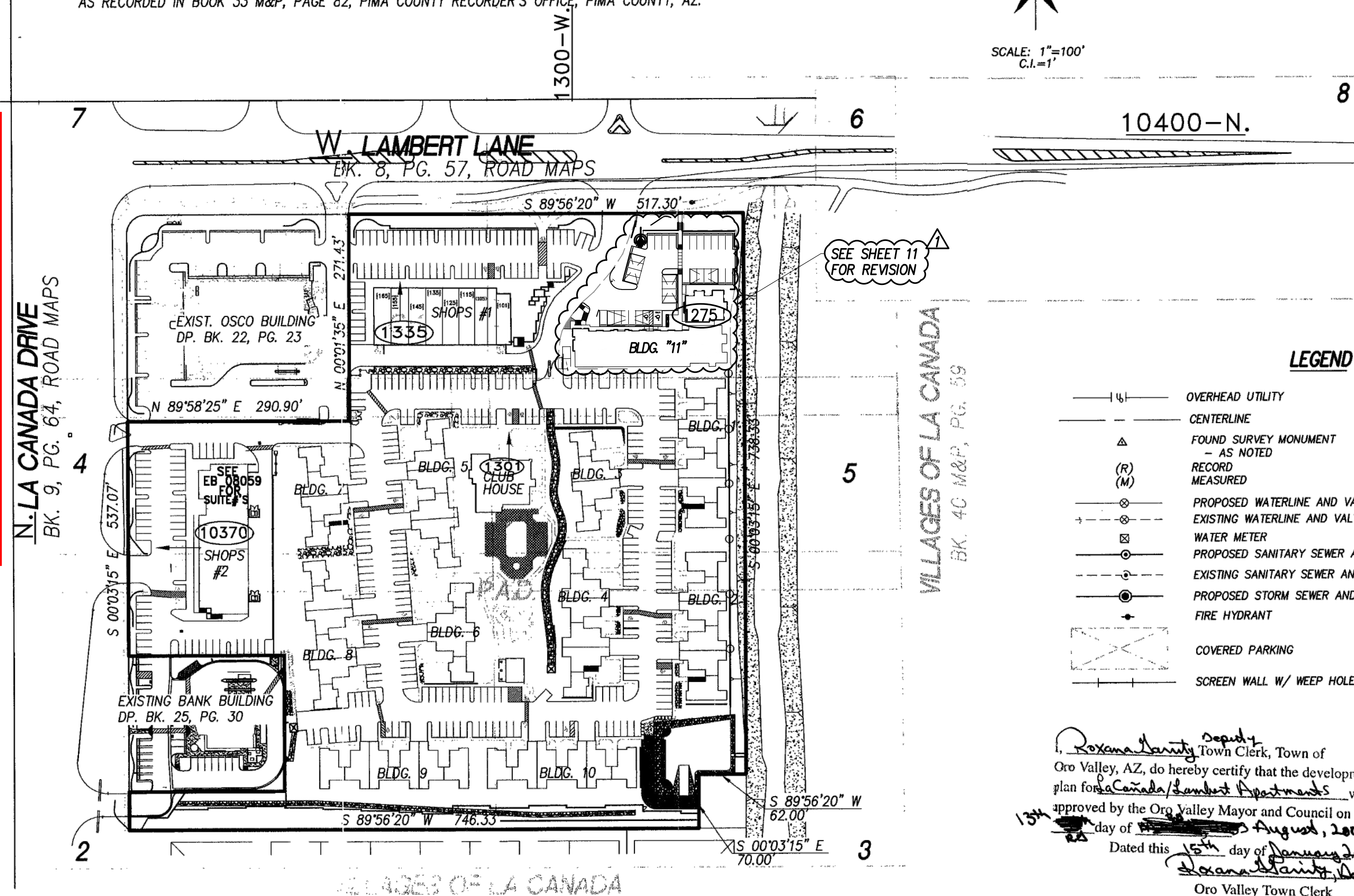


GENERAL NOTES:

1. THE GROSS AREA OF THIS DEVELOPMENT IS 13.09± ACRES.
NET BUILDING AREA = 2.11± ACRES.
MINIMUM AREA OF LANDSCAPE OPEN SPACE REQUIRED= 0.95 ACRES (7.26%)
RESIDENTIAL UNITS = 438-154
2. EXISTING ZONING: EL CONQUISTADOR P.A.D. - COMMERCIAL.
3. BUILDING SQUARE FOOTAGES (ALL FLOORS):
BLDG. "1" - 16,646 SF
BLDG. "2" - 16,646 SF
BLDG. "3" - 11,432 SF
BLDG. "4" - 18,142 SF
BLDG. "5" - 18,142 SF
BLDG. "6" - 11,432 SF
BLDG. "7" - 9,858 SF
BLDG. "8" - 16,568 SF
BLDG. "9" - 14,416 SF
BLDG. "10" - 14,416 SF
SHOPS #1 - 13,200 SF
SHOPS #2 - 12,687 SF
CLUBHOUSE - 3,192 SF
BLDG. "11" RESTAURANT - 5,000 SF 27,635 SF
TOTAL: 181,777 SF 204,412 SF
4. AMOUNT OF PARKING SPACES ALLOTTED PER BUILDING
BLDG. "1" - 32 SPACES
BLDG. "2" - 32 SPACES
BLDG. "3" - 17 SPACES
BLDG. "4" - 27 SPACES
BLDG. "5" - 27 SPACES
BLDG. "6" - 17 SPACES
BLDG. "7" - 17 SPACES
BLDG. "8" - 27 SPACES
BLDG. "9" - 32 SPACES
BLDG. "10" - 32 SPACES
SHOPS #1 - 62 SPACES
SHOPS #2 - 53 SPACES
CLUBHOUSE - 0 SPACES
BLDG. "11" RESTAURANT - 28 SPACES 36 SPACES
TOTAL: 389 SPACES 411 SPACES
HANDICAP REQUIRED=14 SPACES (2 VAN-ACCESSIBLE)
5. BASIS OF BEARING: THE NORTH LINE OF THE NW QUARTER OF SECTION 14, T-12-S, R-13-E, ACCORDING TO EL CONQUISTADOR COUNTRY CLUB, BLOCKS 1 THRU 3, AS RECORDED IN BOOK 33 M&P, PAGE 82. BEARING BEING: N 89° 56'20" E
6. BASIS OF ELEVATIONS: PIMA COUNTY DOT/ CITY OF TUCSON DOT GEODETIC CONTROL POINT E21. ELEVATION BEING: 2693.76 NAVD 88 DATUM.
7. DEVELOPER WILL COVENANT TO HOLD TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
8. DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
9. DRAINAGE WAYS AND/OR DRAINAGE SYSTEMS TO BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FROM THE TOWN OF ORO VALLEY AND/OR BUILDING OFFICIAL.
10. A PROPERTY OWNERS ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY, AND LIABILITY OF PRIVATE DRAINAGE WAYS, DRAINAGE EASEMENTS AND COMMON AREAS.
11. ACCESS ACROSS FLOOD PRONE AREAS TO BUILDING SITES WILL BE APPROVED BY THE TOWN ENGINEER AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
12. DEVELOPMENT PLANS WILL BE SUBMITTED FOR THE COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
13. THE FOLLOWING UTILITIES WILL PROVIDE SERVICE TO THIS DEVELOPMENT:
(A) ELECTRIC - TUCSON ELECTRIC POWER COMPANY
(B) GAS - SOUTHWEST GAS CORPORATION
(C) WATER - ORO VALLEY WATER UTILITY
(D) SEWER - PIMA COUNTY WASTEWATER MANAGEMENT
(E) TELEPHONE - QWEST COMMUNICATIONS
(F) FIRE PROTECTION - RURAL METRO FIRE DEPARTMENT
(G) CABLE TELEVISION - JONES INTERCABLE
14. THIS PROJECT WILL BE SERVED BY THE ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
15. REQUIRED FIRE FLOW FOR THIS DEVELOPMENT IS 1,500 G.P.M. ALL BUILDINGS SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED.
16. ON-SITE SANITARY SEWERS EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY SHALL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OR PERFORMING OF BUILDING PLANS.
17. ALL SEWERS WILL BE DESIGNED TO PROVIDE GRAVITY FLOW.
18. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWER SYSTEMS SHALL MEET THE REQUIREMENTS OF INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140 AS AMENDED).
19. ON-SITE TRAVEL LANES DESIGNED FOR SU-30 VEHICLE, DESIGN SPEED EQUALS 15 MPH.
20. APPROVED IMPROVEMENT PLANS AND APPROVED ASSURANCES WILL BE REQUIRED PRIOR TO ISSUANCE OF GRADING PERMITS.
21. ANY RELOCATION, MODIFICATION, ETC. OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENTS WILL BE AT NO EXPENSE TO THE PUBLIC.
22. A PROJECT CONSTRUCTION PERMIT SHALL BE SECURED FROM PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT WHEN CONNECTION IS MADE TO A NEW OR EXISTING PUBLIC MANHOLE BEFORE BEGINNING ANY WORK ON THIS PROJECT.
23. THE PROPERTY OWNERS, THEIR SUCCESSORS OR ASSIGNS AGREE TO:
1) KEEP ALL REQUIRED LANDSCAPED AREAS MAINTAINED IN A WEED FREE, TRASH FREE CONDITION.
2) REPLACE ANY DEAD PLANT MATERIALS WITHIN 30 DAYS, AND
3) MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER.
24. PROPOSED WATER LINES ARE WITHIN ZONE "D".
25. MAXIMUM BUILDING HEIGHT = 38 FEET.
26. SETBACKS: 20 FEET, 25 FEET FROM P.A.D. BOUNDARY.
27. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ON LA CANADA DRIVE.
28. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE TRAIL HEAD AREA, AND OFF-SITE CONNECTION TO THE LAMBERT LANE MULTI-USE PATH, IN ACCORDANCE WITH AASHTO STANDARDS.
29. THE SOILS ENGINEER OF RECORD OR OTHER REGISTERED CIVIL ENGINEER WITH EXPERTISE IN THE AREA OF SOILS ENGINEERING SHALL CERTIFY, IN WRITING, THAT ALL SOILS OPERATIONS FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION BY TERRACON, JOB NO. 63995016, DATED APRIL 6, 1999, AND ANY ACCEPTED ADDENDA/AMENDMENTS UTILIZED ON THIS DEVELOPMENT ARE IN CONFORMANCE WITH THE TOWN ENGINEER OF THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR ANY BUILDING PERMITS AND/OR FINAL INSPECTION AND THE RELEASE OF ASSURANCES.
30. ARCHAEOLOGICAL CLEARANCE AND TRAFFIC IMPACT ANALYSIS WILL BE PROVIDED BY THE DEVELOPER.
31. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING 1% OF THE COST OF ON-SITE PRIVATE PROJECTS TO FUND PUBLIC ART.
32. MINIMUM BUILDING CONSTRUCTION TYPE IS V-B.
33. STAIR STEPS OR ADA RAMPS @ 8.3% GRADE W/ HANDRAILS MAY BE NECESSARY ON SIDEWALKS ACCESSING THE SIDE DOORS OF THE RESIDENTIAL UNIT GARAGE AREAS.
34. A MINIMUM OF 11 RESIDENTIAL GROUND FLOOR UNITS WILL BE ADA ACCESSIBLE. ONE UNIT EACH IN BUILDINGS 1 THROUGH 4 AND BUILDINGS 6 THROUGH 10 WILL BE PROVIDED. TWO UNITS IN BUILDING 5 WILL BE PROVIDED.
35. THE DEVELOPER IS RESPONSIBLE FOR:
(A) PROVIDING A FIRST FLUSH SYSTEM ACCEPTABLE TO THE TOWN ENGINEER
(B) PROVIDING A STRIPING AND PAVEMENT WIDENING DESIGN OF LAMBERT LANE ACCEPTABLE TO THE TOWN ENGINEER
(C) ENSURING THAT ALL ADA SIDEWALK RAMPS TO BUILDINGS MEET ADA STANDARDS
(D) ENSURING THAT THE MAXIMUM CROSS SLOPE FOR STANDARD PARKING SPACES DOES NOT EXCEED 5%
(E) ENSURING THAT THE MAXIMUM CROSS SLOPE IN ADA ACCESSIBLE ROUTES DOES NOT EXCEED 2%
(F) ENSURING THAT THE MAXIMUM CROSS SLOPE FOR ALL SIDEWALKS DOES NOT EXCEED 2%

DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS

A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB,
AS RECORDED IN BOOK 33 M&P, PAGE 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.



PLANS REVIEWED AND ACCEPTED FOR CODE COMPLIANCE

Planning & Zoning: msimms 08/11/2022

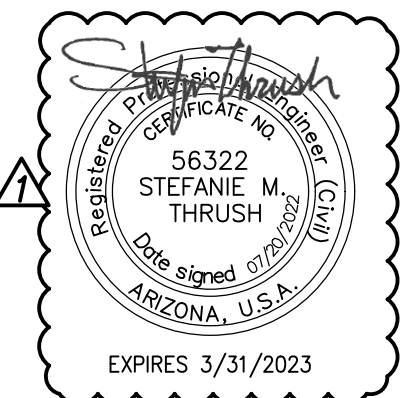
The issuance of a permit shall not be construed to be a permit or approval of any violation of the codes or ordinances of the Town of Oro Valley

FOR REVISION 1 ONLY

LEGEND

- | | |
|---------------------------------------|---|
| OVERHEAD UTILITY | RETAINING WALL (BY OTHERS) |
| CENTERLINE | TEXTURED CONCRETE |
| FOUND SURVEY MONUMENT - AS NOTED | PROPOSED PAVEMENT/MULTI-USE PATH |
| RECORD MEASURED | EXISTING PAVEMENT TO BE REMOVED |
| PROPOSED WATERLINE AND VALVE | EXISTING PAVEMENT/MULTI-USE PATH |
| EXISTING WATERLINE AND VALVE | CROSSOVER EASEMENT (DKT 11536, PG 2845) |
| WATER METER | |
| PROPOSED SANITARY SEWER AND MANHOLE | |
| EXISTING SANITARY SEWER AND MANHOLE | |
| PROPOSED STORM SEWER AND MANHOLE | |
| FIRE HYDRANT | |
| COVERED PARKING | |
| SCREEN WALL W/ WEEP HOLES (BY OTHERS) | |

Roxana Vandy, Deputy
Town Clerk, Town of
Oro Valley, AZ, do hereby certify that the development
plan for La Canada/Lambert Apartments was
approved by the Oro Valley Mayor and Council on the
day of 15th August, 2003.
Dated this 15th day of January, 2004.
Roxana Vandy, Deputy
Oro Valley Town Clerk



SHEET INDEX

SHEET 1.....COVER SHEET
SHEET 2-8.....PLAN SHEETS
SHEET 9-10.....DETAIL SHEETS
SHEET 11.....PLAN SHEET

FIRST FLUSH SYSTEM MAINTENANCE

- 1.) ALL BUILDING OWNERS AND TENANTS WILL BE NOTIFIED OF A PROHIBITION ON WASHING OF VEHICLES ON SITE.
- 2.) BIENNIAL MAINTENANCE SCHEDULE
A) CONCRETE SWALE WILL BE HYDRO WASHED AND CLEANED OF SILTS, SEDIMENT AND DEBRIS TWICE PER YEAR (JUNE AND OCTOBER RECOMMENDED). GATHERED SILTS AND DEBRIS WILL BE DISPOSED OF IN THE TRASH COLLECTION SYSTEM.
B) THE 6" BLEEDER PIPES TO THE BASIN WILL BE CLEANED OF OBSTRUCTIONS AND DEBRIS AND FLUSHED TO ENSURE FLOW THROUGH ADEQUACY.
3.) FIRST FLUSH TREATMENT BASIN WILL BE CLEANED BY HAND OF DEBRIS AND TRASH TWICE PER YEAR (JUNE AND OCTOBER RECOMMENDED).

ENGINEER (REVISION 1 ONLY)

TOWN OF ORO VALLEY
PROJ#: OV1202-06
ZONE: SEE GENERAL NOTES
Adm. Address:
10326 N. LA CANADA DR

ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
555 E. RIVER ROAD, SUITE 301
TUCSON, AZ 85704
ATTN: STEFANIE THRUSH, P.E.
EMAIL: sthrush@eecorp.com
PHONE: (520) 321-4625
FAX: (520) 321-0333

ENGINEER
THE BEZTAK COMPANIES
31731 NORTHWESTERN HIGHWAY
SUITE 250W
FARMINGTON HILLS, MI. 48334
TEL: (248) 855-5400
ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
4625 E. FT. LOWELL ROAD
TUCSON, ARIZONA 85712
ATTN: RYAN BALE, P.E.
TEL: (520) 321-4625
FAX: (520) 321-0333

APARTMENTS =
1301 W. LAMBERT LN + UNIT #

ECC PROJECT NO: 202103

DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.

DRWN BY	APPD BY	REF	SCALE	H: 1"=20'
DSGN BY	APPD BY			V:
CHKD BY	APPD BY			
PLAN NO. OV 12-02-06				

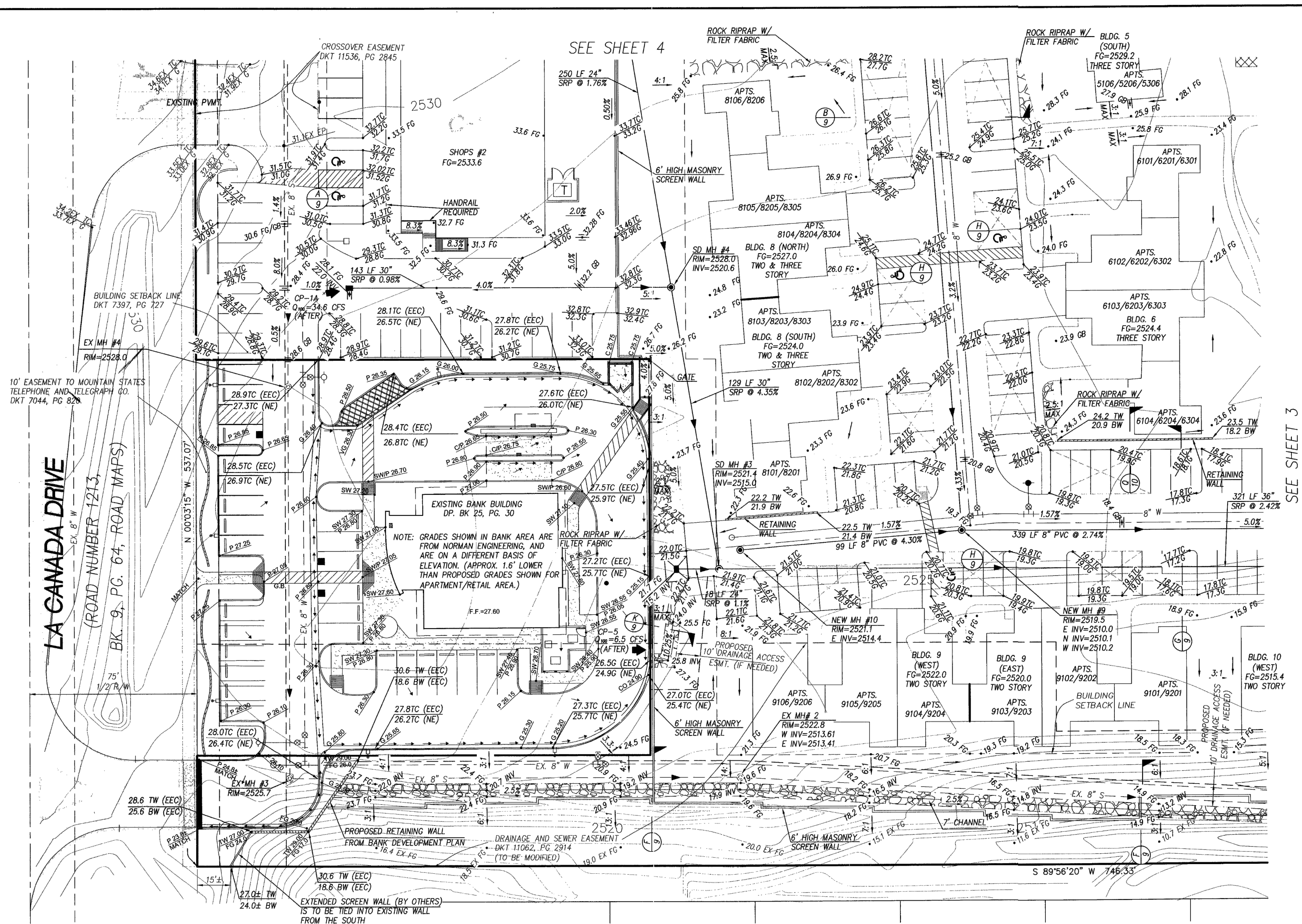


Engineering and Environmental Consultants, Inc.
16943
TUCSON, ARIZONA 85712 520-321-4625

CONTINUED ON SHEET 8

NO.	DATE	REVISION	BY	CH	APPR
1	7/20/2022	ORO VISTA APARTMENTS	BWT	SMT	

SCALE: 1"=20'
C.I.=1"



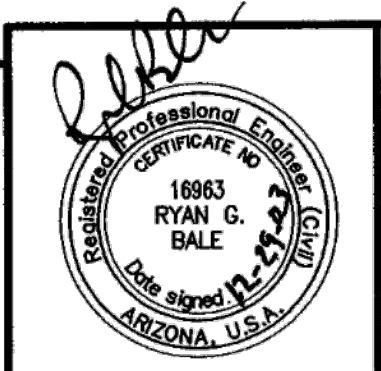
SEE SHEET 3

SEE SHEET 4

LA CANADA DRIVE
(ROAD NUMBER 1213,
BK. 9, PG. 64, ROAD MAPS)

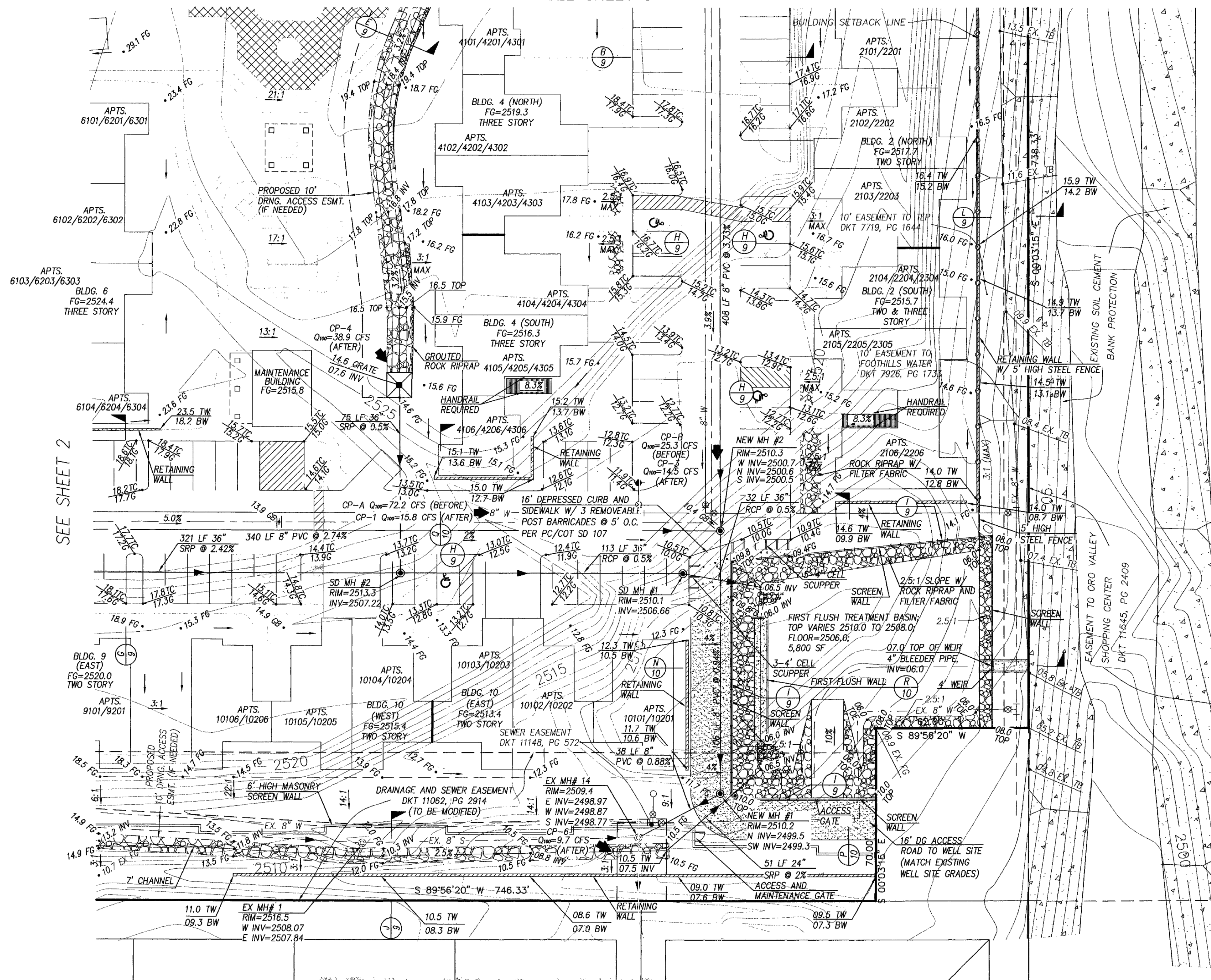
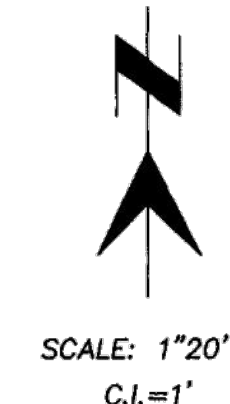
THE VILLAGES OF LA CANADA
SINGLE-FAMILY RESIDENTIAL

eec
Engineering and Environmental Consultants, Inc.
4625 E. FT. LOWELL RD.
TUCSON, ARIZONA 85712 520-321-4625



EEC PROJECT NO: 202103			
DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS; A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.			
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CHKD BY	APPO BY		
PLAN NO. OV 12-02-06			

SEE SHEET 5



SEE SHEET 2

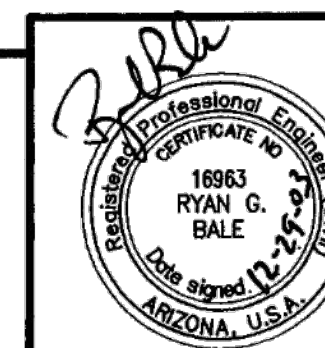
THE VILLAGES OF LA CANADA
SINGLE FAMILY RESIDENTIAL

BK 40 M&P, PG 59

THE VILLAGES OF LA CANADA
SINGLE FAMILY RESIDENTIAL

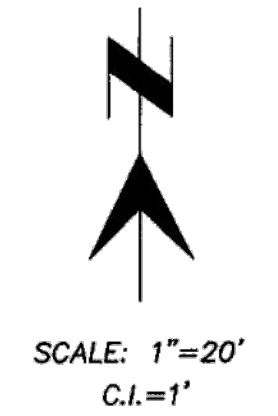
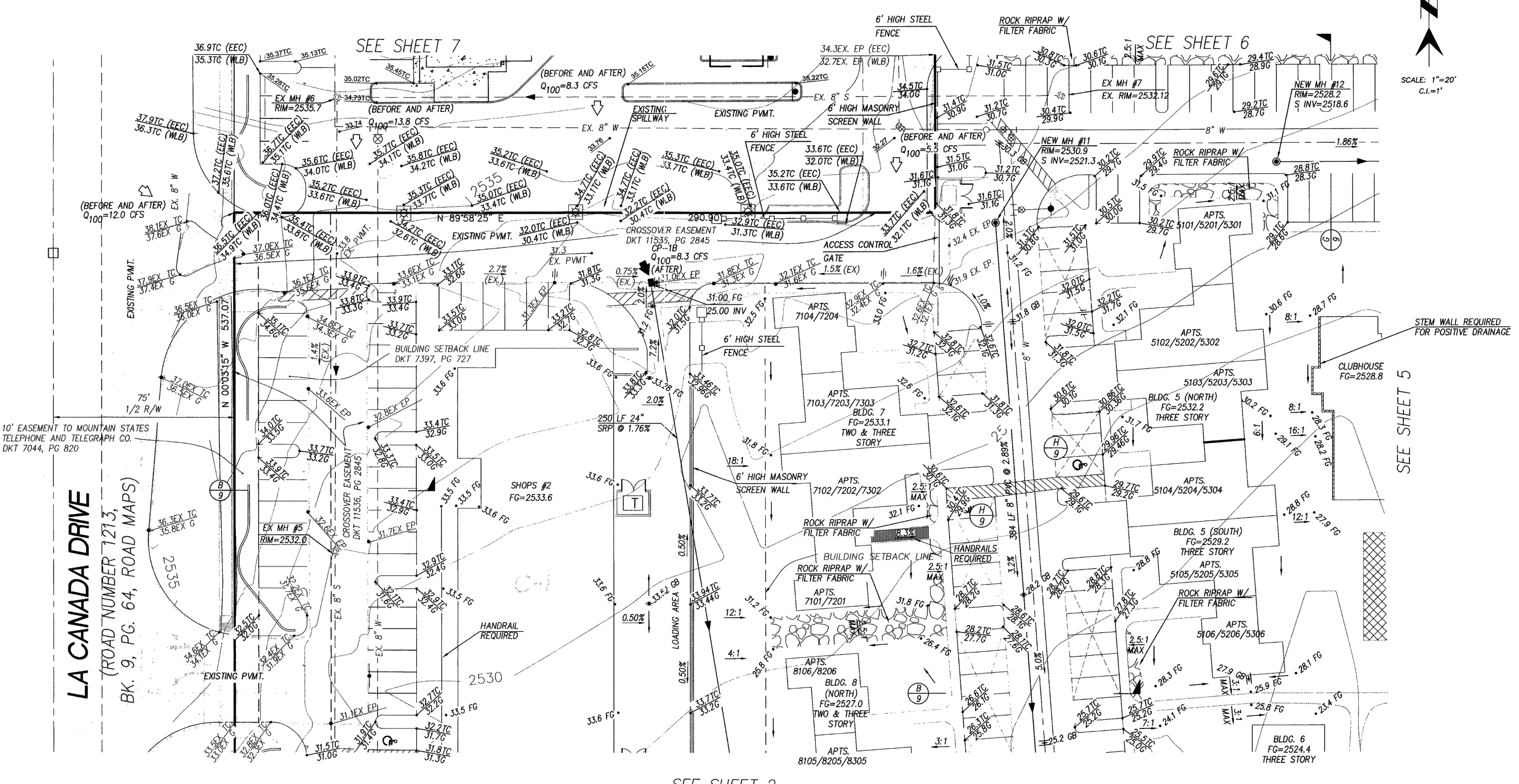


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TUCSON, ARIZONA 85712 520-321-4625



DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.

DRWN BY	APPD BY	REF	SCALE	H:	1"=20'
DSGN BY	APPD BY			V:	N/A
CHKD BY	APPD BY				
PLAN NO. OV 12-02-06					



10' EASEMENT TO MOUNTAIN STATES
TELEPHONE AND TELEGRAPH CO.
DKT 7044, PG 820

LA CANADA DRIVE
(ROAD NUMBER 1213,
BK. 9, PG. 64, ROAD MAPS)

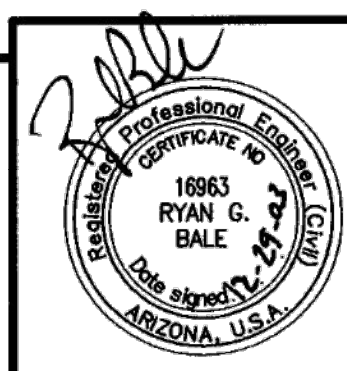
SEE SHEET 2

SEE SHEET 7

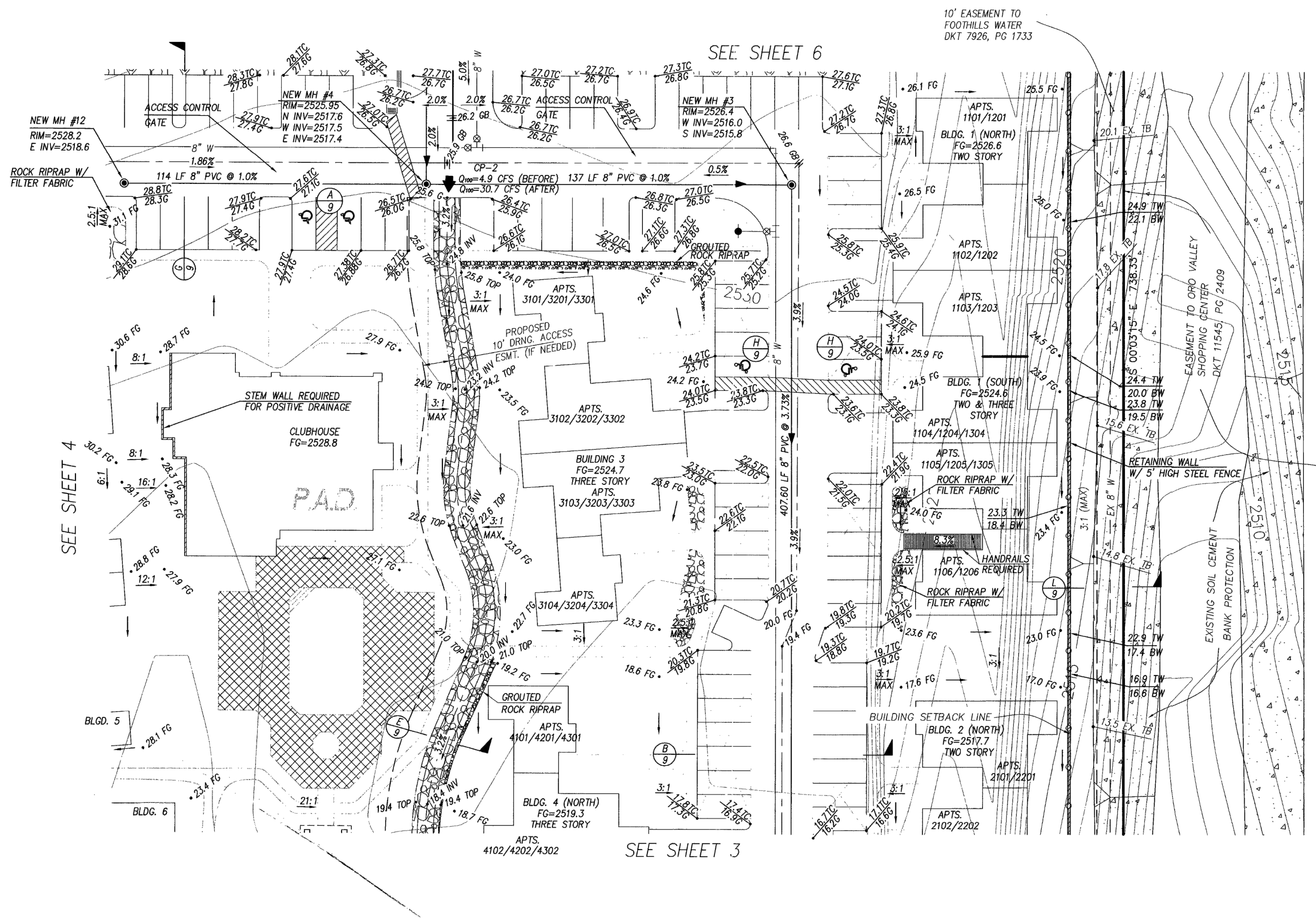
SEE SHEET 6

SEE SHEET 5

eec
Engineering and Environmental Consultants, Inc.
4825 E. FT. LOWELL RD.
TUCSON, ARIZONA 85712 520-321-4625



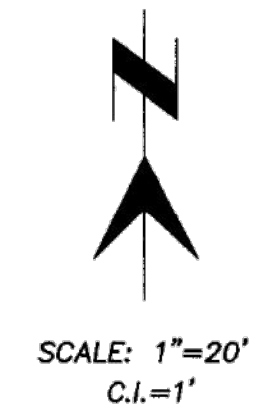
EEC PROJECT NO: 202103			
DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS; A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.			
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DSGN BY	APPD BY		V:
CHKD BY	APPD BY		
PLAN NO. OV 12-02-06			4 OF 11



SEE SHEET 6

SEE SHEET 3

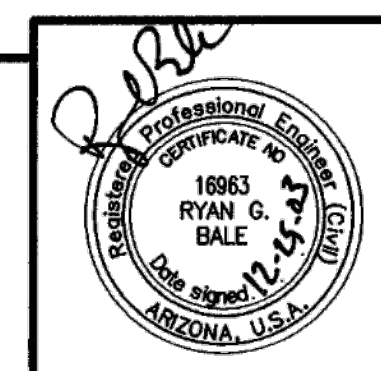
SEE SHEET 4



THE VILLAGES OF LA CANADA
SINGLE FAMILY RESIDENTIAL
BK 40 M&P, PG 59

LA CANADA DEVELOPMENT SUBMITTAL MAP - 11/13/2013 09:00:00 AM

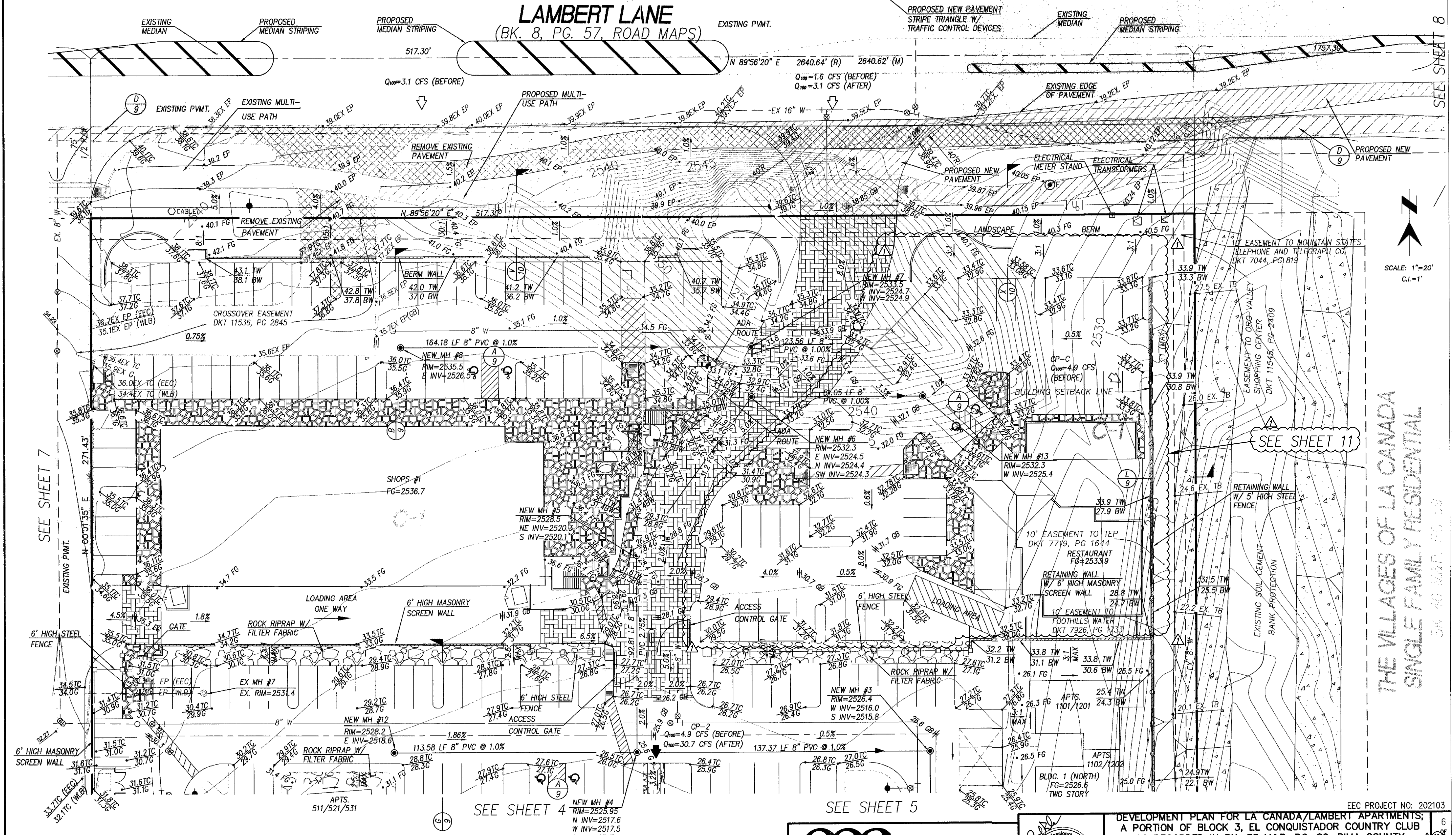
eec
Engineering and Environmental Consultants, Inc.
4625 E. FT. LOWELL RD.
TUCSON, ARIZONA 85712 520-321-4625



DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS; A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.				5
DRWN BY	APPD BY	REF	SCALE	H: 1"=20'
DSGN BY	APPD BY			V: N/A
CHKD BY	APPD BY			PLAN NO. OV 12-02-06

DIAMOND SHAMROCK

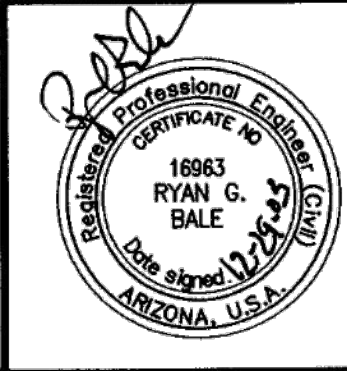
LAMBERT LANE (BK. 8, PG. 57, ROAD MAPS)



SCALE: 1"=20'
C.I.=1'

THE VILLAGES OF LA CANADA
SINGLE FAMILY RESIDENTIAL

eec
Engineering and Environmental Consultants, Inc.
625 E. FT. LOWELL RD.
TUCSON, ARIZONA 85712 520-321-4825



EEC PROJECT NO: 202103

DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.

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DSGN BY	APPD BY		H: 1"=20'
CHKD BY	APPD BY		V: N/A

PLAN NO. OV 12-02-06

LAMBERT LANE
(BK. 8, PG. 57, ROAD MAPS)

EXISTING	PROPOSED
MEDIAN	MEDIAN STRIPING

NW CORNER
SECTION 14
FD PK NAIL

-EX. 16" W-

EX. 8" W.

LA CANADA DRIVE

(ROAD NUMBER 1213,
BK. 9, PG. 64, ROAD MAPS)

366.02'

N 89°56'20" E 2640.64' (R) 2640.52' (M)

517.30'

$Q_{100} = 3.1 \text{ CFS (BEFORE)}$

SCALE: $1''=20'$
C.I.=1'

EXISTING OSCO BUILDING
DP. BK. 22, PG. 23

NOTE: GRADES SHOWN IN OSCO AREA ARE FROM WLB GROUP, AND ARE ON A DIFFERENT BASIS OF ELEVATION. (APPROX. 1.6' LOWER THAN PROPOSED GRADES SHOWN FOR APARTMENT/RETAIL AREA.)

F.F.=35.90

(BEFORE AND AFTER)
Q₁₀₀ = 27.6 CFS
(TOTAL DISCHARGE
FROM OSCO SITE)

SEE SHEET 4

SEE SHEET 6

~~SHOPS #1~~
~~FG=2536.7~~

C-1

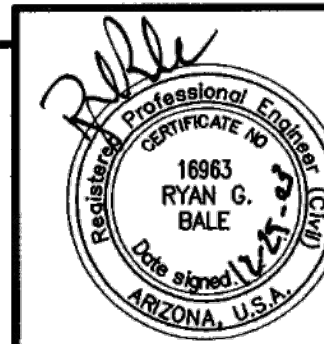
LOADING AREA
ONE WAY

6 HIGH MASONRY
SCREEN WALL

6' HIGH MASONRY
SCREEN WALL



Engineering and Environmental Consultants, Inc.
4625 E. FT. LOWELL RD.
TUCSON, ARIZONA 85712 520-321-4625



DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.

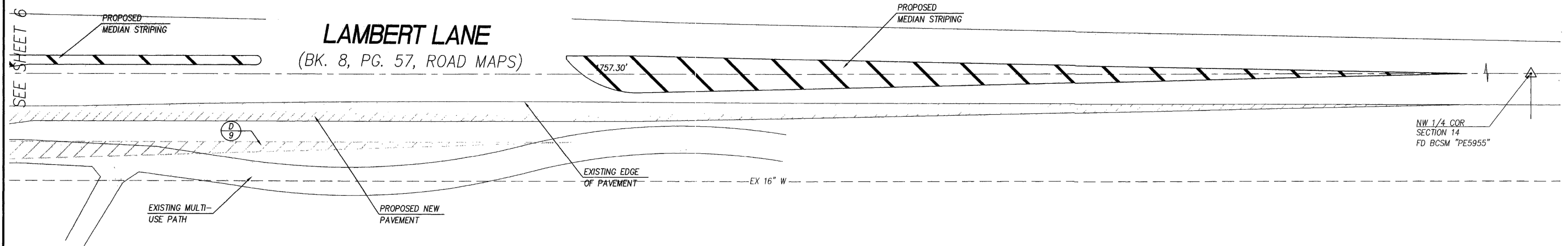
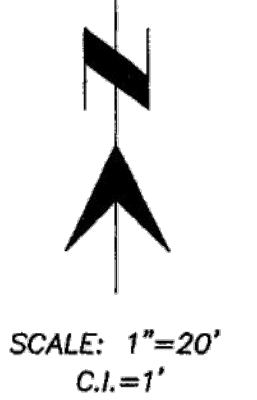
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DSGN BY _____ APPD BY _____ 20 _____
CHKD BY _____ APPD BY _____ 20 _____

REF _____ SCALE H: 1"=20'
V: N/A
PLAN NO. OV 12-02-06

AUTUMN HILL
(BK. 41, PG. 58, M&P)

AUTUMN HILL LN.

LAMBERT LANE
(BK. 8, PG. 57, ROAD MAPS)



GENERAL NOTES:

CONTINUED FROM SHEET 1

36. THE FOLLOWING CONDITIONS RELATE TO LANDSCAPING ON THE SITE (GRADING EXCEPTION - EXHIBIT B):

- (A) ALONG THE LAMBERT LANE FRONTAGE 36-INCH BOX CANOPY TREES AND APPROPRIATE UNDER STORY VEGETATION SHALL BE PLANTED IN A MANNER TO CREATE A DENSE SCREEN. THE LAMBERT LANE FRONTAGE IS DEFINED AS EXTENDING FROM THE EASTERN PROPERTY CORNER TO THE EASTERN EDGE OF THE OSCO DRIVE.
- (B) WHERE EVER FEASIBLE, A 60-INCH HIGH BERM SHALL BE CONSTRUCTED ALONG THE LAMBERT LANE FRONTAGE (FRONTAGE AS DEFINED IN (A) ABOVE) WITH A WIDTH TO BE DETERMINED TO SUPPORT THE HEIGHT.
- (C) THE BERM SHALL INCLUDE UNDER STORY PLANTINGS, SHRUBS AND GROUND COVER TO STABILIZE THE BERM.
- (D) ALL PERIMETER LANDSCAPING SHALL BE INSTALLED BY JUNE 1, 2004 WITH THE EXCEPTION THAT IF THE HILL IS NOT REMOVED (SEE 37(A) BELOW), THE HILL AREA SHALL BE TREATED FOR EROSION CONTROL WITH STANDARD RESEEDING AND SCULPTED AS APPROVED BY THE 1999 GRADING EXCEPTION AND DEVELOPMENT PLAN.

37. THE FOLLOWING CONDITIONS RELATE TO THE GENERAL DEVELOPMENT OF THE SITE (GRADING EXCEPTION - EXHIBIT B):

- (A) NO GRADING PERMIT SHALL BE ISSUED FOR THE GRADING OF THE HILL UNLESS AND UNTIL BUILDING PERMITS HAVE BEEN ISSUED AND CONSTRUCTION CONTRACTS HAVE BEEN ENTERED INTO FOR THE TWO (2) COMMERCIAL BUILDINGS FRONTING LAMBERT LANE.
- (B) ALL BUILDING PADS AND INTERIOR INFRASTRUCTURE SHALL BE COMPLETED IN ONE PHASE.
- (C) CASH FUNDS REQUIRED TO UNDERGROUND ALL UTILITIES FRONTING LAMBERT LANE SHALL BE PLACED IN AN ESCROW ACCOUNT PRIOR TO THE ISSUANCE OF ANY GRADING OR BUILDING PERMITS ON THE SITE. COST ESTIMATES FOR THE ESCROW ACCOUNT ARE TO BE DETERMINED BY THE TOWN ENGINEER.
- (D) THE BUILDING PROFILES SHALL BE LOWERED BY ADDITIONAL GRADING TO THE GREATEST EXTENT FEASIBLE AS DETERMINED BY THE TOWN OF ORO VALLEY PUBLIC WORKS DEPARTMENT.
- (E) STAIR STEP BUILDING HEIGHTS AND THE USE OF STEM WALLS FOR RETAINING SHALL BE UTILIZED TO REDUCE THE VISUAL IMPACT OF THE BUILDINGS AND PROTECT EXISTING VIEW CORRIDORS.
- (F) THE ROOF REFLECTIVITY FOR ALL STRUCTURES SHALL BE LIMITED TO 60%.
- (G) ALL FRONTING BUILDINGS ALONG LAMBERT LANE AND LA CANADA DRIVE SHALL BE LIMITED TO SINGLE STORY AND A MAXIMUM HEIGHT OF 24- FEET TO THE TOP OF THE PARAPET.
- (H) THE RESTAURANT PAD SHALL BE SET BACK FROM LAMBERT LANE IN ACCORDANCE WITH THE PROPOSED DEVELOPMENT (MINIMUM OF 90- FEET FROM THE PROPERTY BOUNDARY).

38. ADDITIONAL CONDITIONS:

- (A) SCRUBBERS AND FILTERS SHALL BE PLACED ON THE VENTING OUTLETS OF ALL BUSINESSES PREPARING FOOD TO MITIGATE SMOKE, VAPORS AND ODORS.
- (B) MECHANICAL EQUIPMENT SHALL BE SCREENED FROM THE SURROUNDING COMMUNITIES (ALL LEVELS) TO THE EXTENT POSSIBLE. MECHANICAL EQUIPMENT SCREENS SHALL BE ACOUSTICALLY DESIGNED TO PREVENT NOISE FROM EXTENDING BEYOND THE PROPERTY BOUNDARIES TO THE EXTENT POSSIBLE.
- (C) COMPREHENSIVE SIGN PACKAGE SHALL BE REVISED TO INCLUDE SIGNAGE FOR THE DEVELOPMENT. THE REVISED SIGN PACKAGE SHALL BE REVIEWED AND APPROVED BY DRB AND THE TOWN COUNCIL.
- (D) THE RIP RAP FOR SLOPES AND FOR DETENTION AND SPILLWAY SHALL USE LOCAL ROCK AND OTHER MATERIALS THAT, COMBINED WITH REVEGETATION OF THE BASIN, CREATE A NATURAL LOOK.
- (E) ALL ITEMS IDENTIFIED IN THE COUNCIL COMMUNICATION DATED AUGUST 6TH AS DONE OR COMPLETE SHALL BE REVIEWED TO VERIFY THAT THEY ARE STILL APPLICABLE TO THE NEW DEVELOPMENT PLAN AND, IF NECESSARY, ADDED AS CONDITIONS.
- (F) IMPROVEMENTS TO THE WATER SITE TO SCREEN THE WELL AND RESERVOIR WILL BE ADDED TO SCREEN IT BOTH VISUALLY AND ACOUSTICALLY.
- (G) ALL PARKING LOT LIGHT STANDARDS SHALL NOT EXCEED EIGHTEEN (18') FEET IN HEIGHT, AND ALL PATIO LIGHTING IN BUILDINGS 1, 2, 9 AND 10 SHALL BE FULLY SHIELDED.
- (H) PROVIDE A REVISED DRAINAGE REPORT PRIOR TO THE ISSUANCE OF A GRADING PERMIT.
- (I) DEVELOPER SHALL DEPOSIT \$50,000 CASH IN ESCROW FOR ANY SAFETY IMPROVEMENTS, IF NEEDED, WITH ANY INTEREST TO STAY IN THE ESCROW ACCOUNT TO ADD TO THE \$50,000. ANY FUNDS NOT USED FOR THE IMPROVEMENT TO BE RETURNED TO THE DEVELOPER. THE ESCROW ACCOUNT SHALL BE ESTABLISHED WHEN THE FIRST BUILDING PERMIT IS PULLED. (THAT ONE YEAR AFTER COMPLETION OF CONSTRUCTION REVIEW TO SEE IF THERE ARE ANY SAFETY PROBLEMS AND INVESTIGATE ANY CORRECTIVE ACTION WHICH WILL BE THE DEVELOPER'S RESPONSIBILITY TO INCORPORATE SAFETY IDEAS OR DESIGN SIDEWALKS, ETC. TO DISCOURAGE CROSSING STREETS OTHER THAN AT CROSSWALKS AND THE DEVELOPER SHALL MEET WITH THE TOWN ENGINEER AND POLICE CHIEF TO REVIEW SAFETY).
- (J) ANY COVERED PARKING OTHER THAN THAT SHOWN ON THE DEVELOPMENT PLAN AND THE ARCHITECTURAL ELEVATIONS SHALL BE REVIEWED AND APPROVED BY THE TOWN COUNCIL.
- (K) THE DESIGN OF THE FIRST FLUSH TREATMENT BASIN SHALL BE REVIEWED DURING THE IMPROVEMENT PLAN APPROVAL PROCESS.

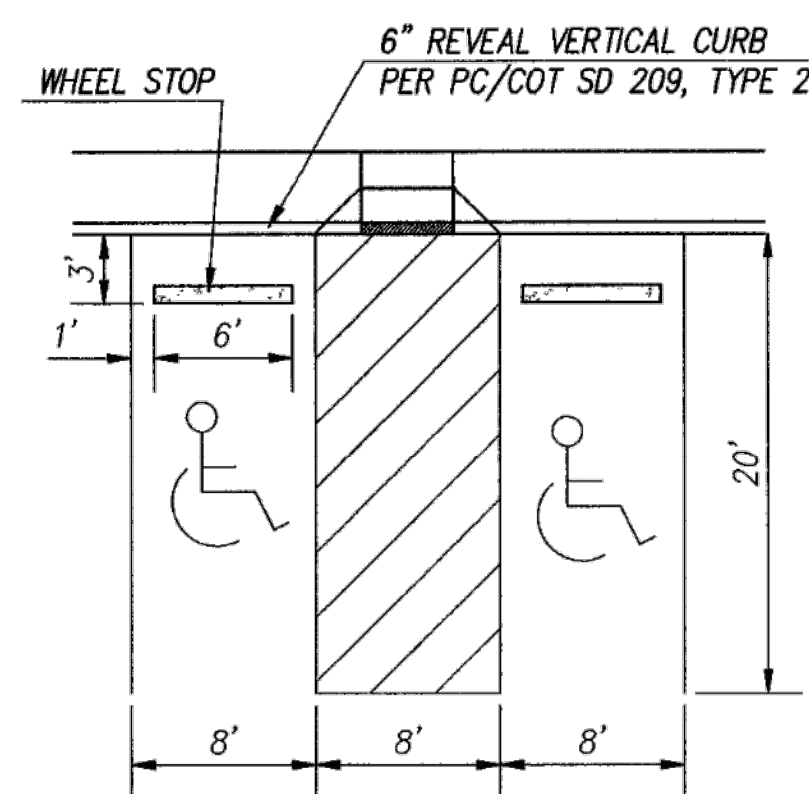
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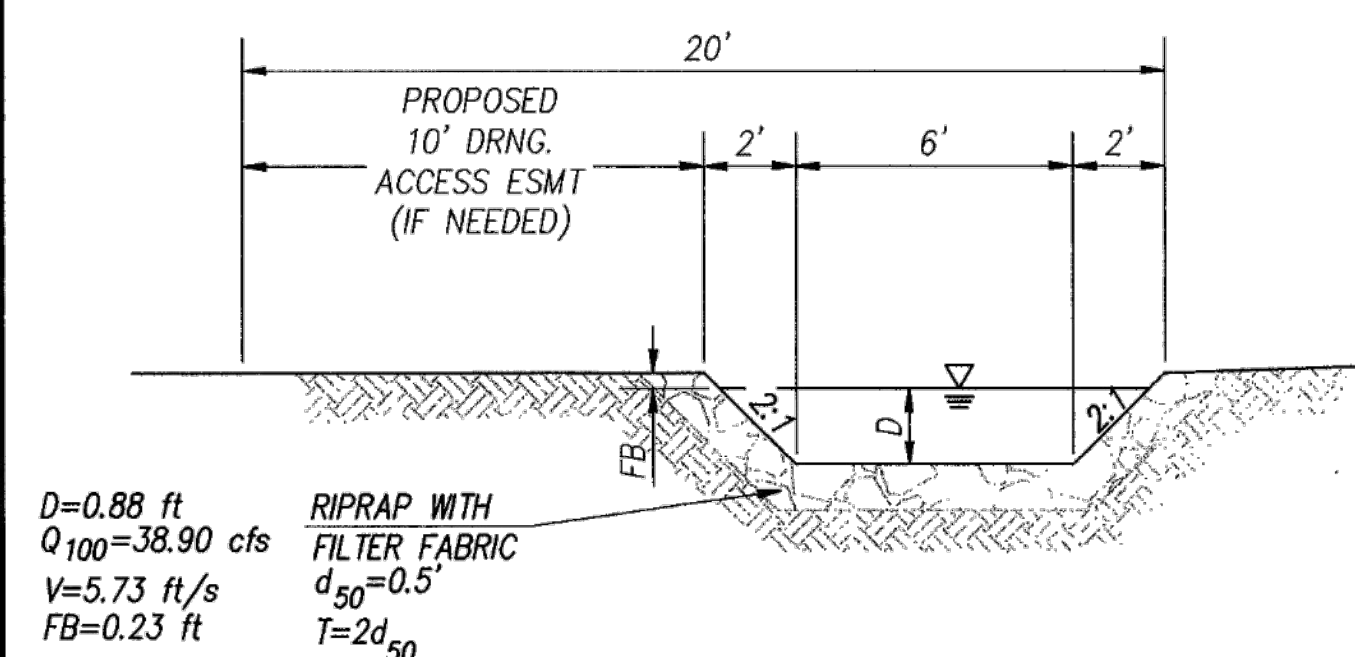


DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.

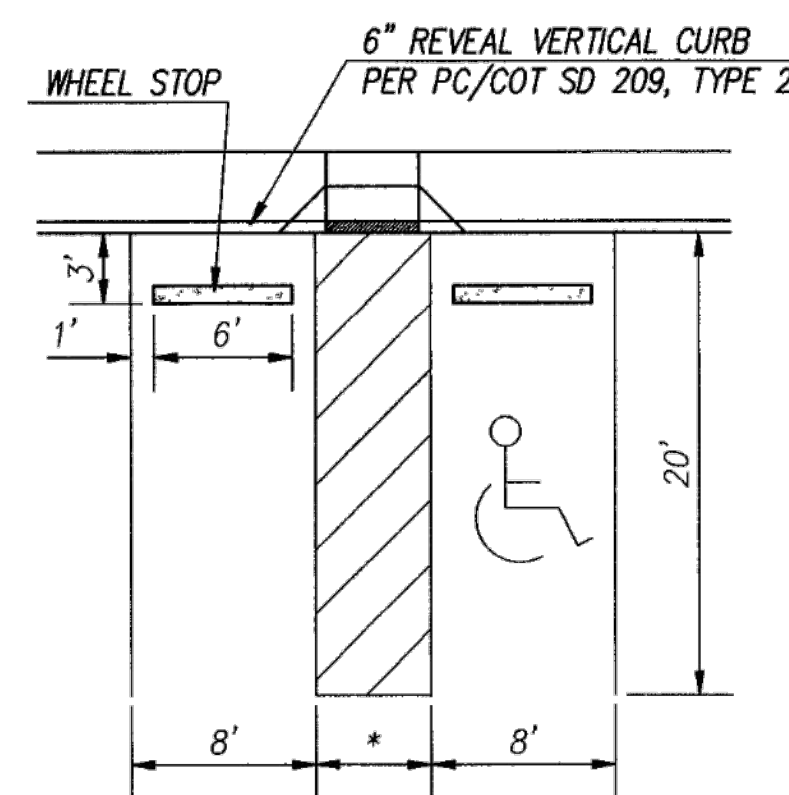
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DSGN BY _____	APPD BY _____ 20 _____	
CHKD BY _____		PLAN NO. QV 12-02-06



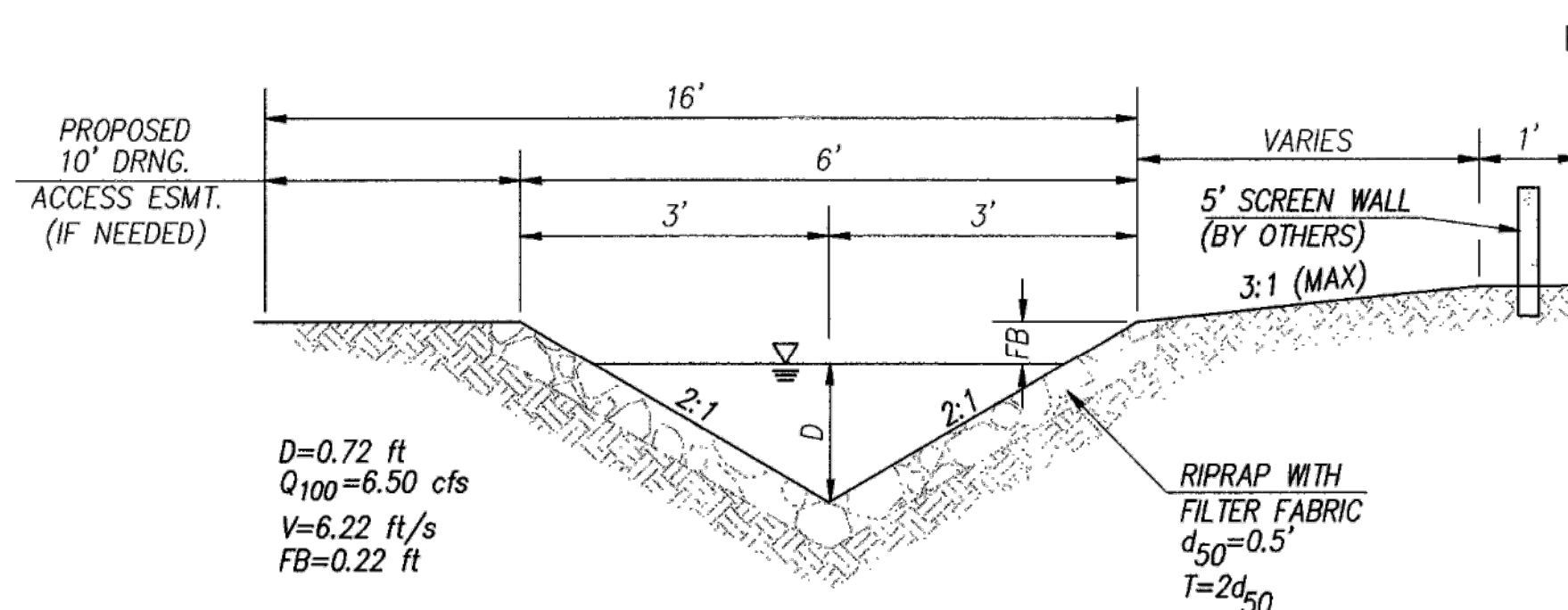
9 VAN ACCESSIBLE HANDICAP PARKING DETAIL
NTS



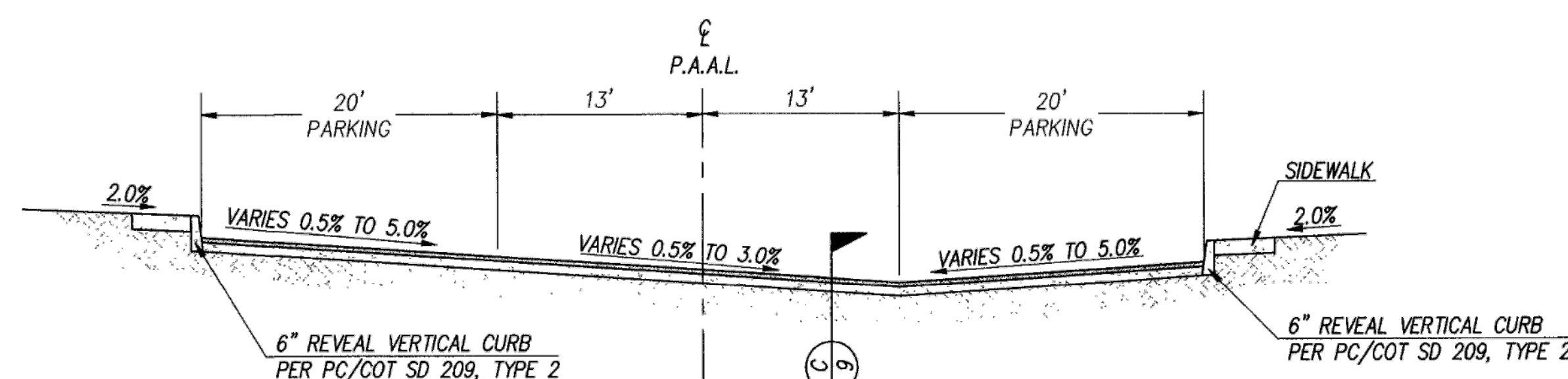
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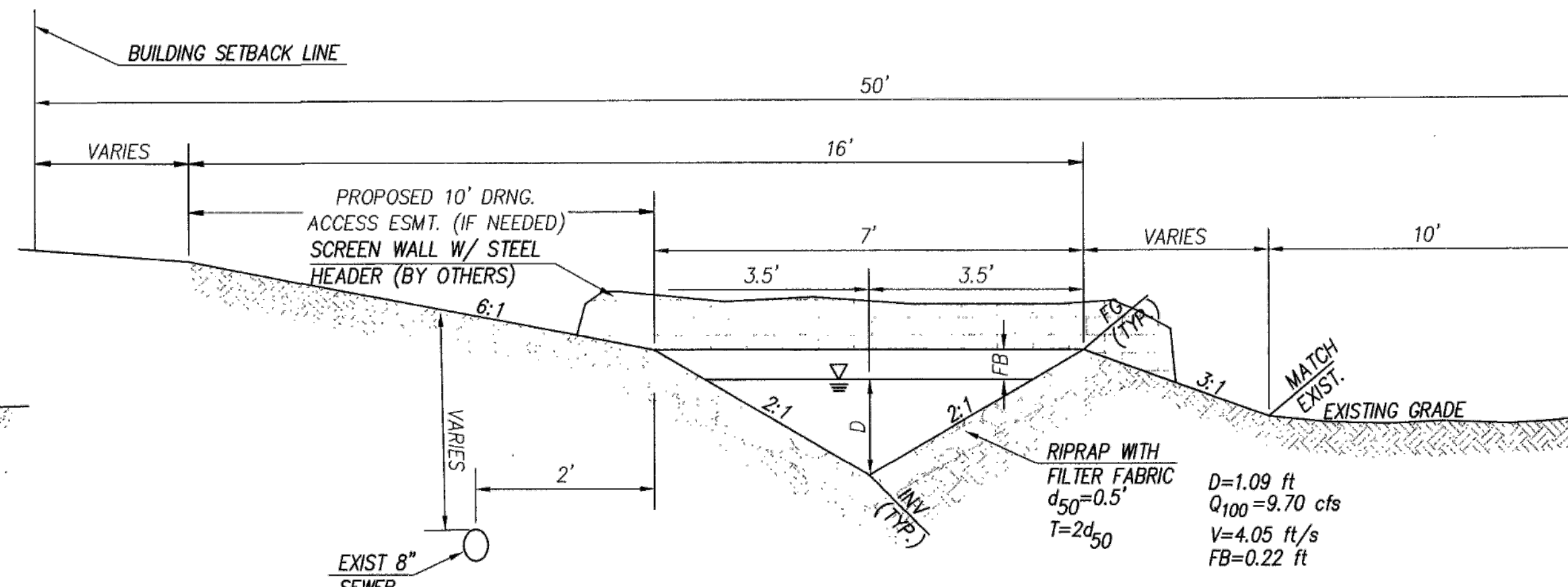
11 SINGLE HANDICAP PARKING DETAIL
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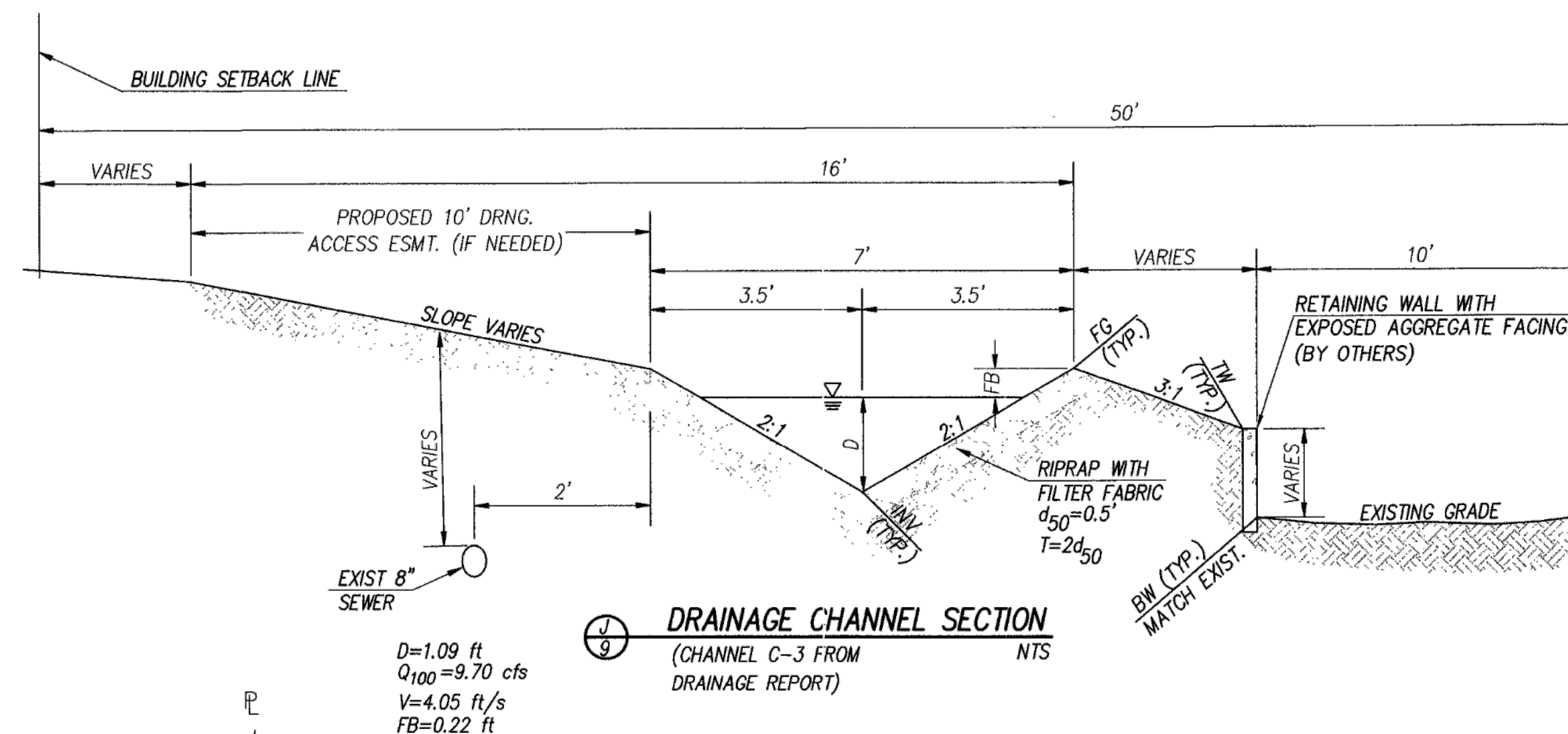
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(CHANNEL C-2 FROM DRAINAGE REPORT)
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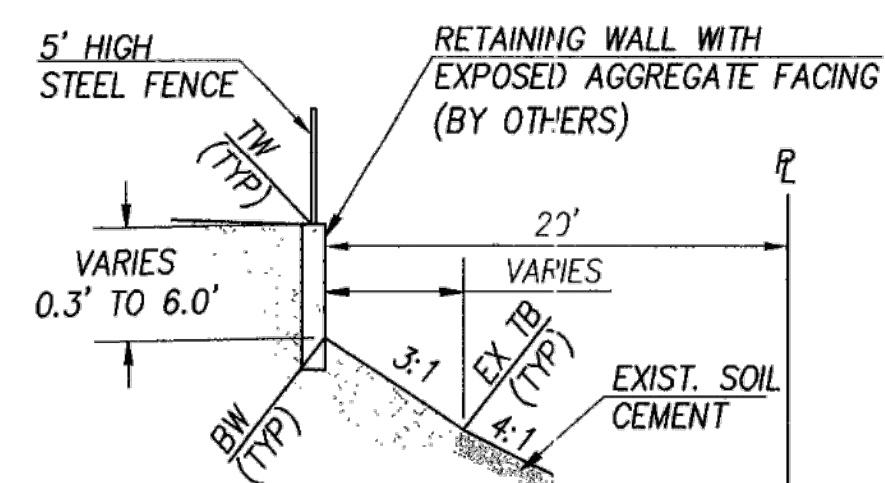
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P.A.A.L. NTS



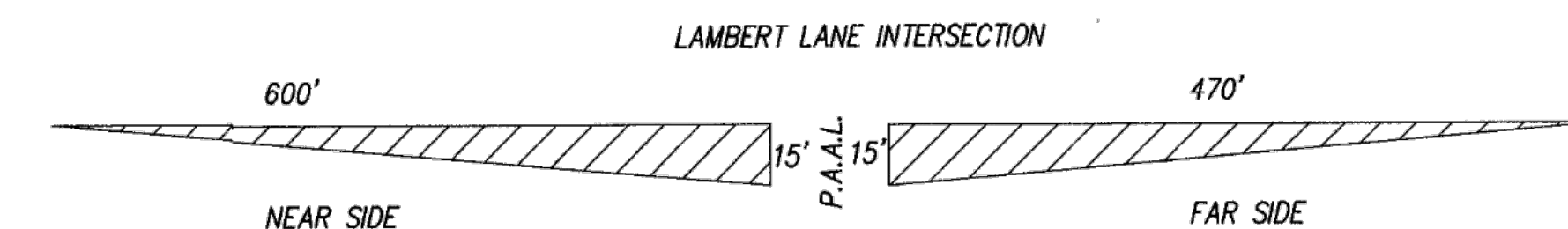
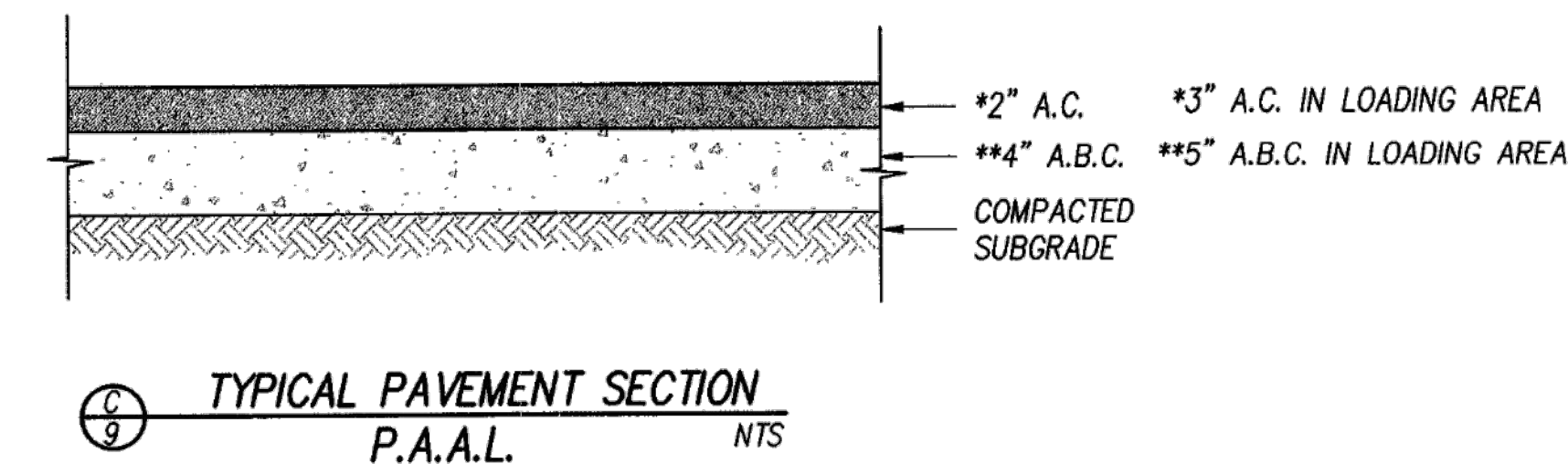
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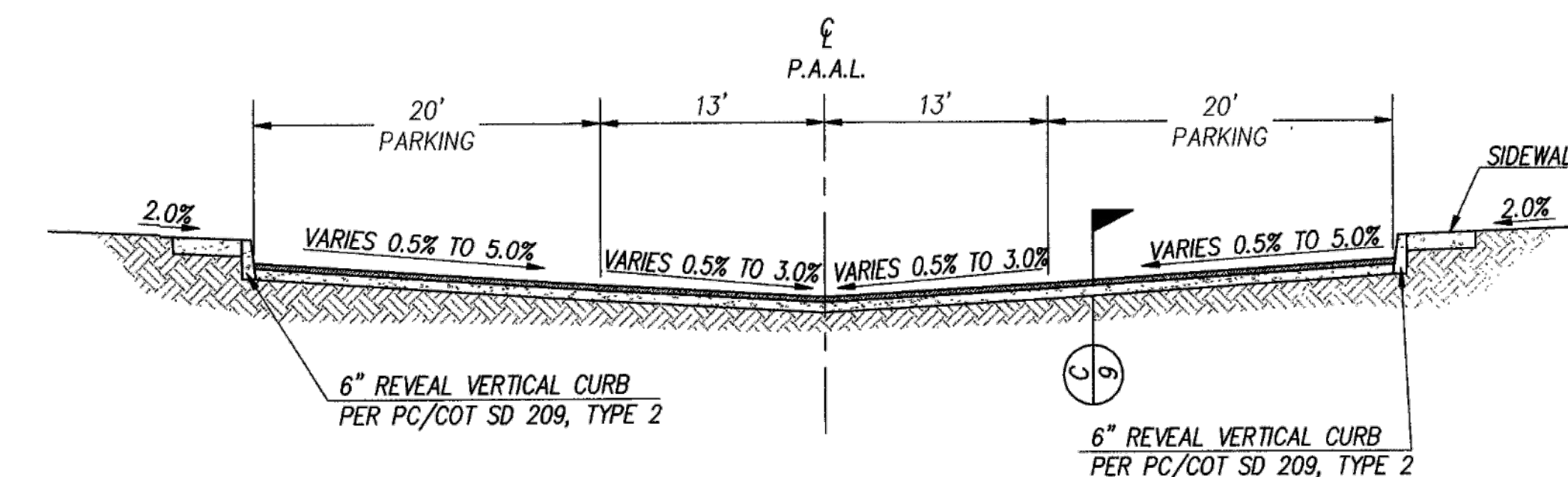
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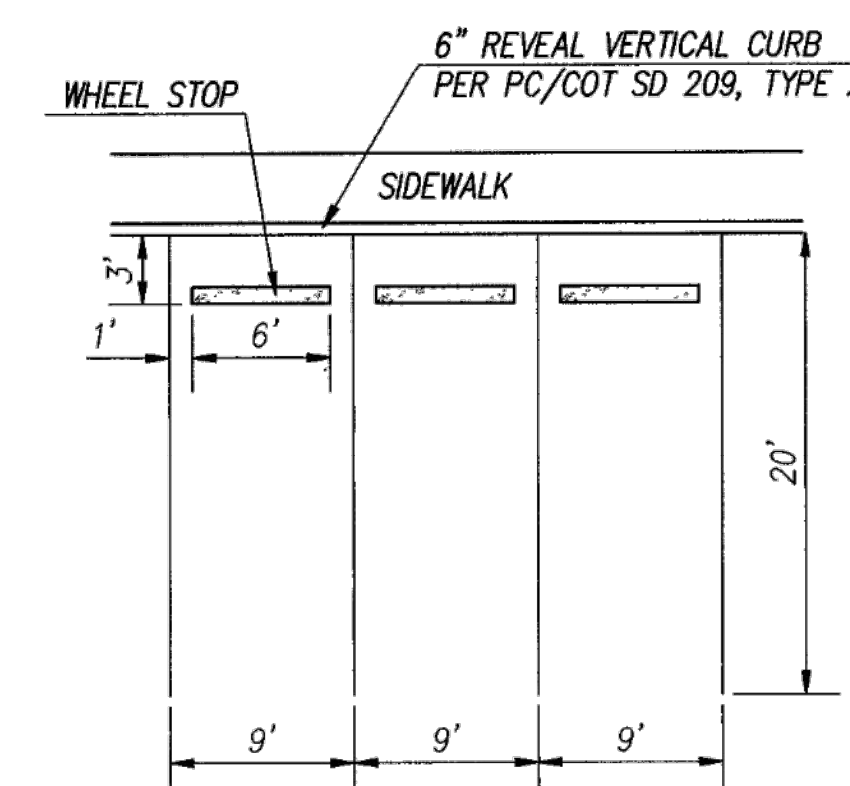
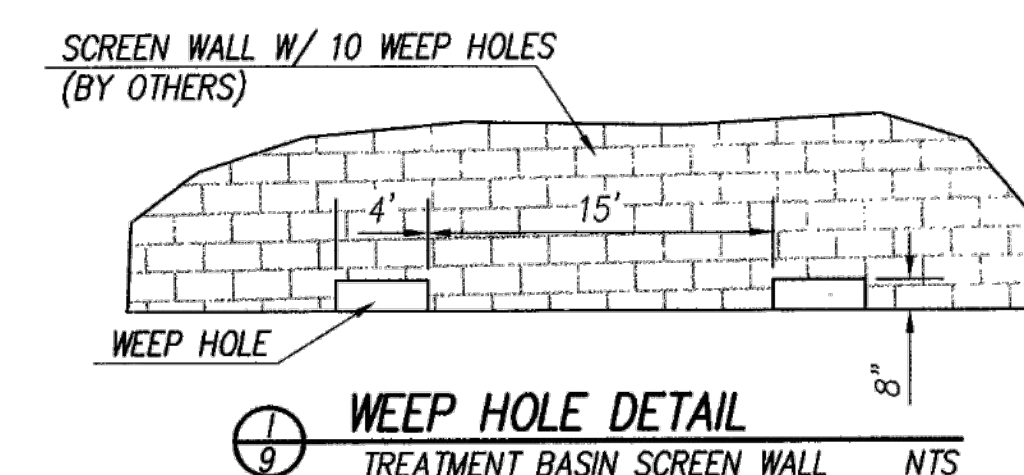
9 TYPICAL RETAINING WALL SECTION
ALONG EAST PROPERTY LINE NTS



9 SIGHT VISIBILITY TRIANGLE DETAIL
NTS



9 TYPICAL INVERTED SECTION
P.A.A.L. NTS

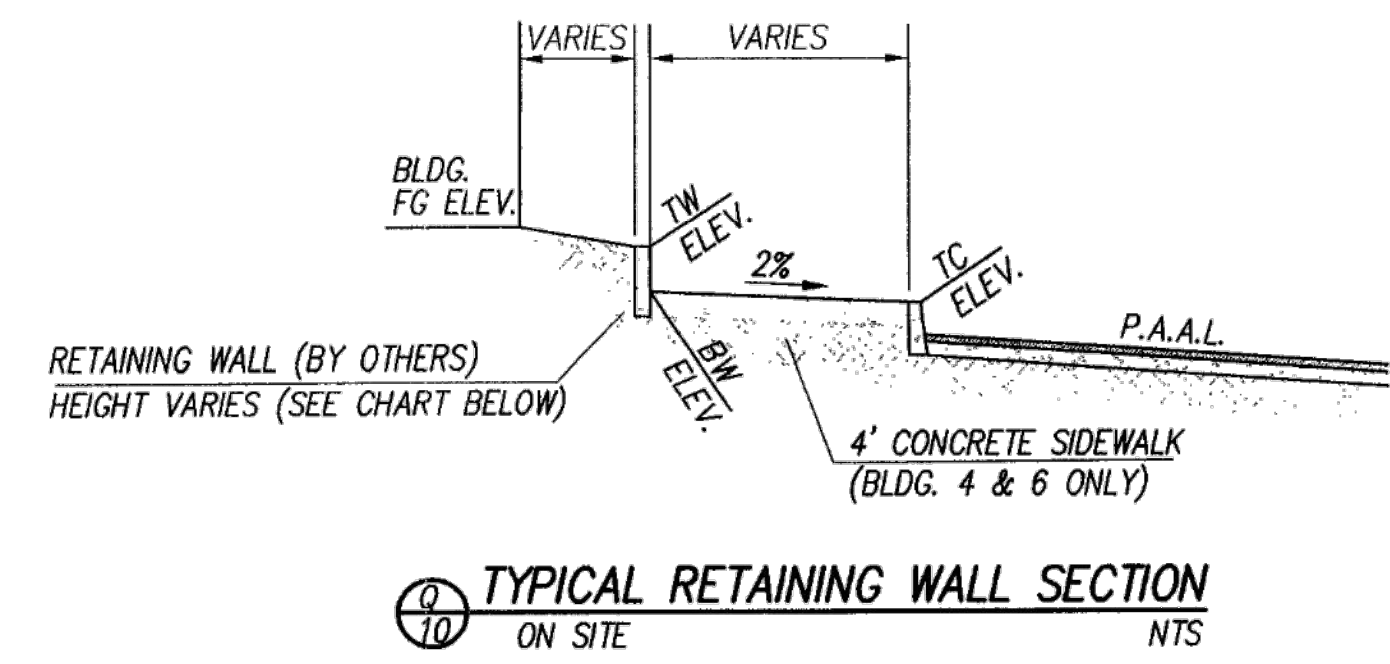
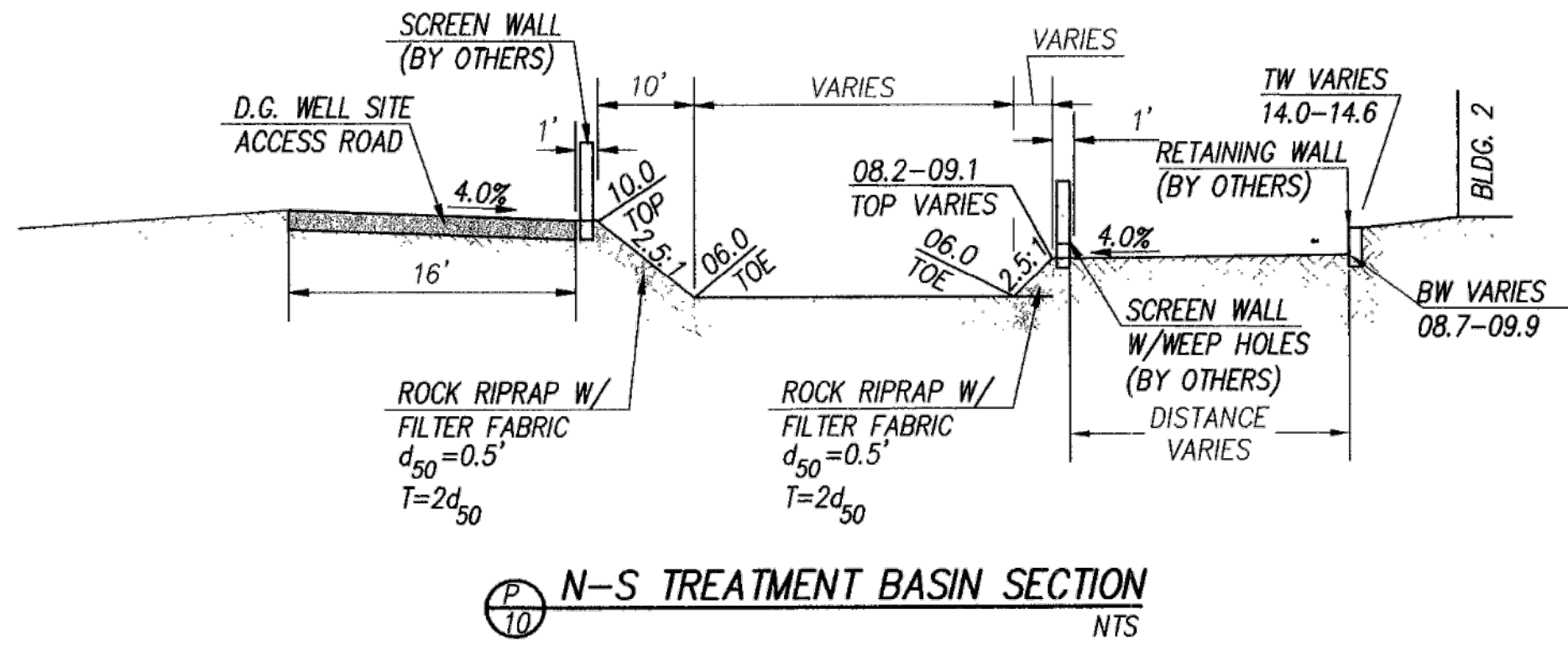
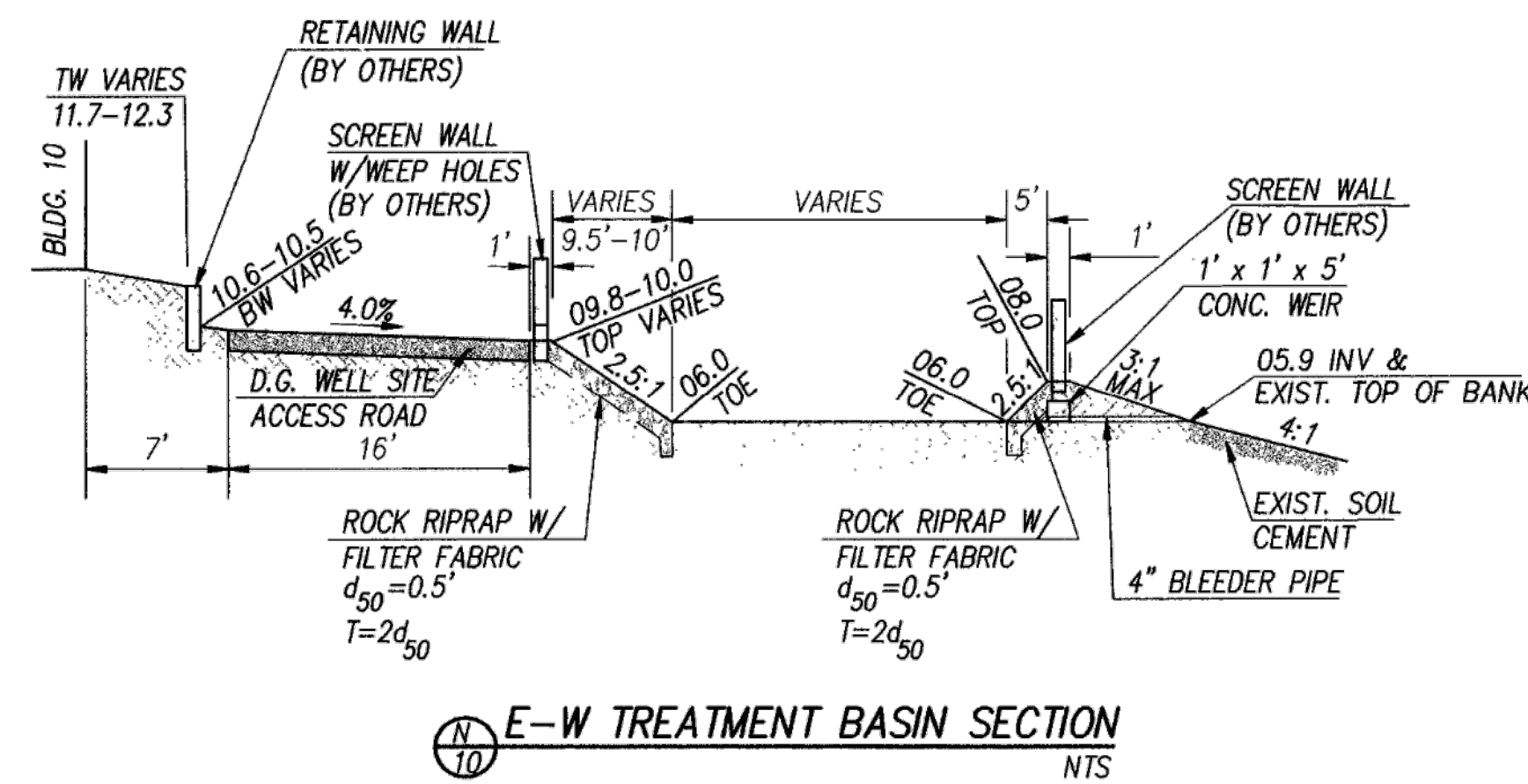


9 STANDARD PARKING DETAIL
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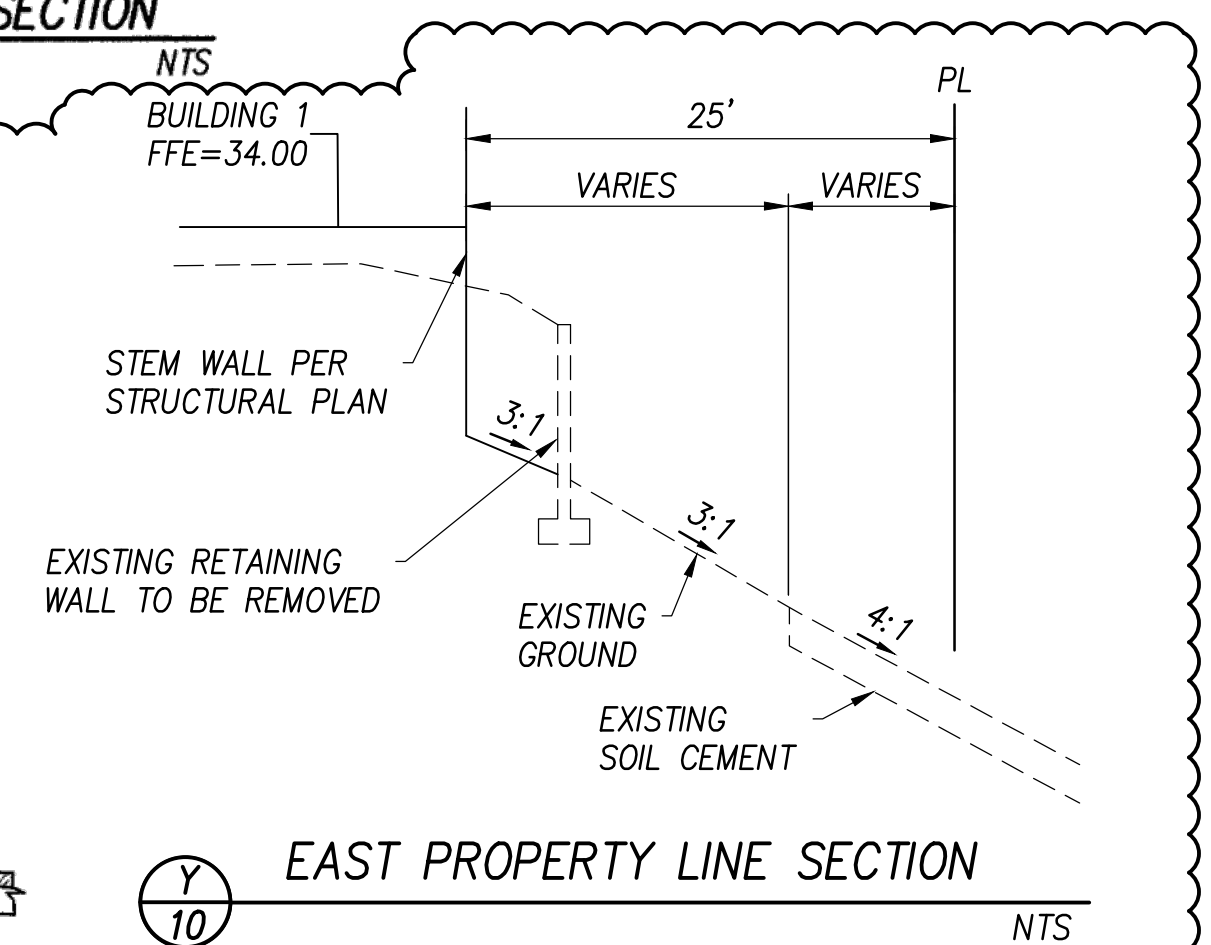
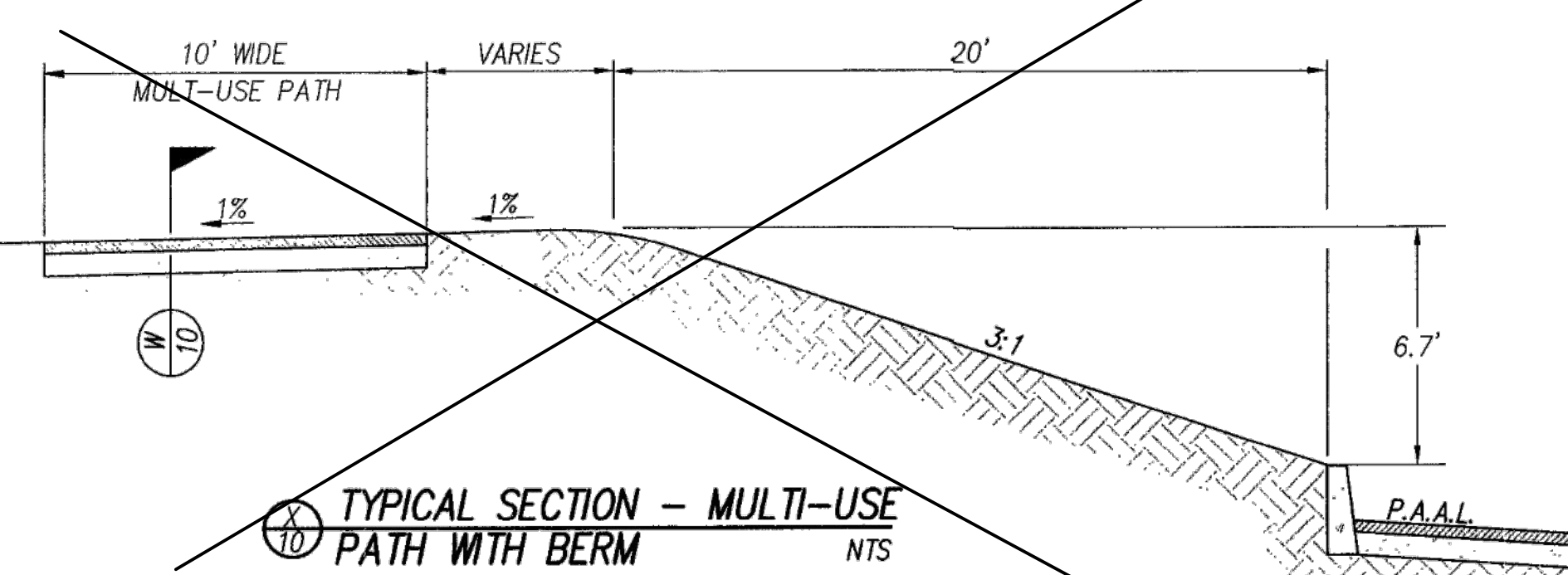
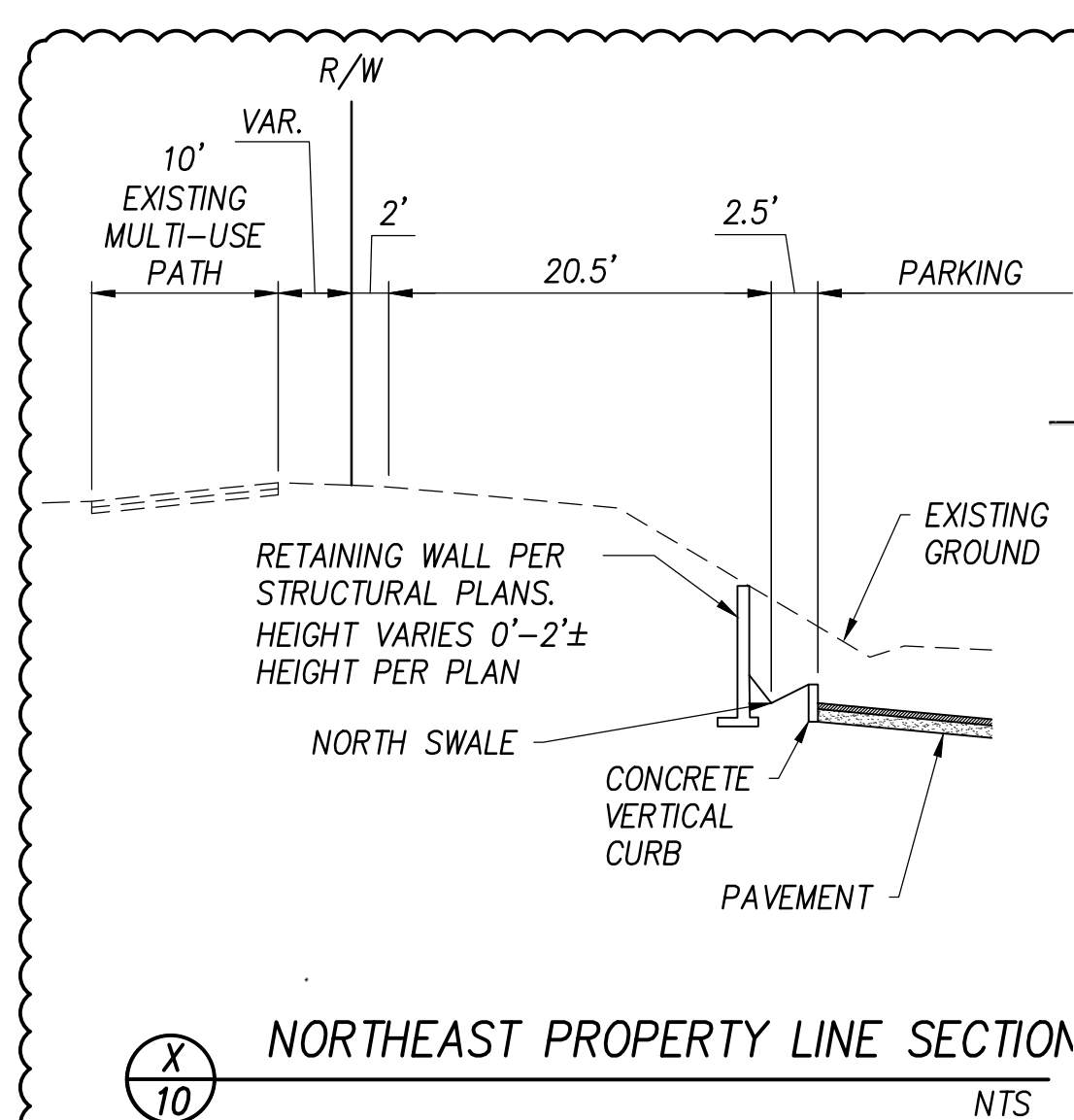
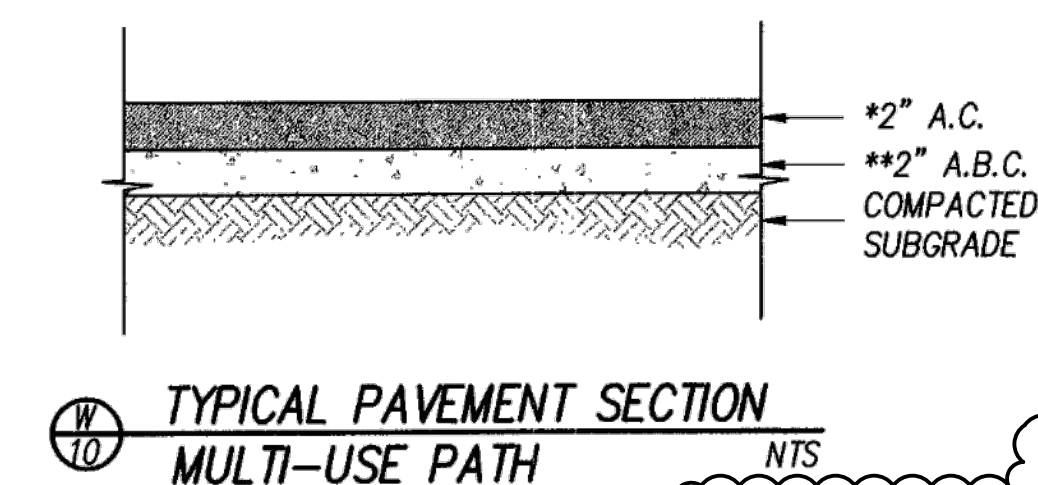
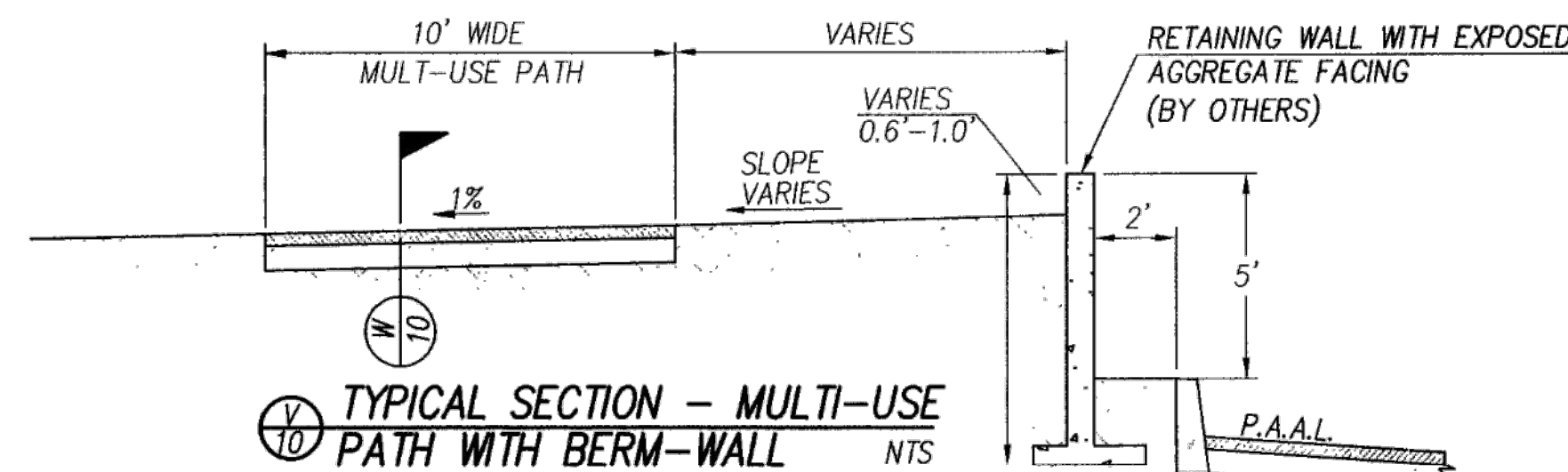
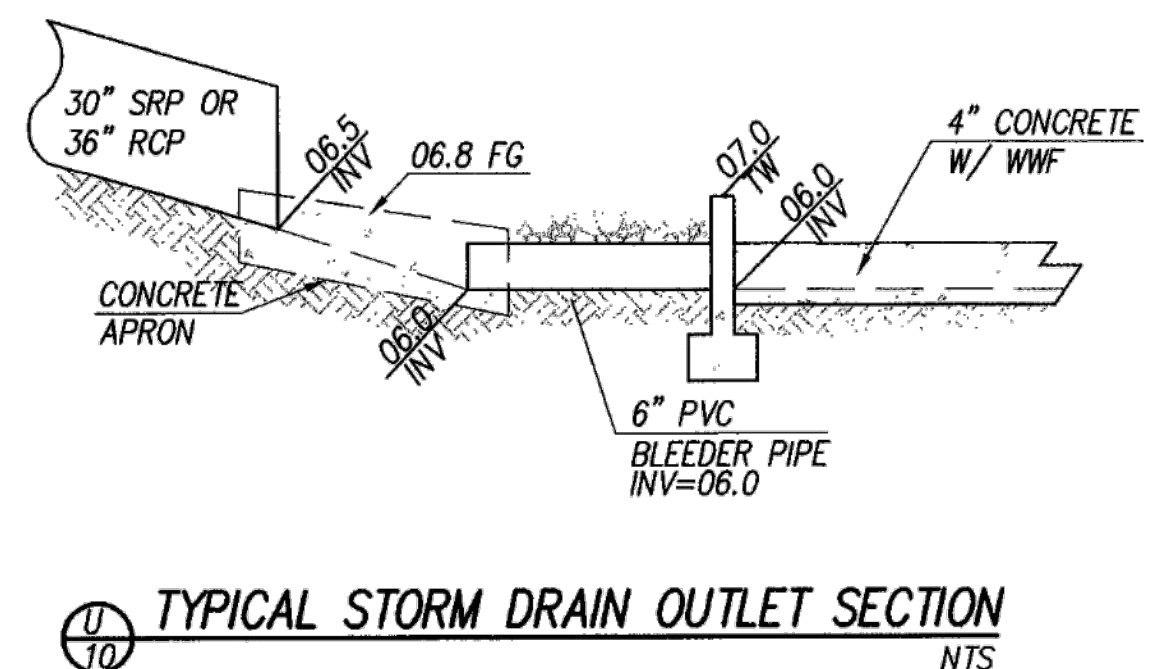
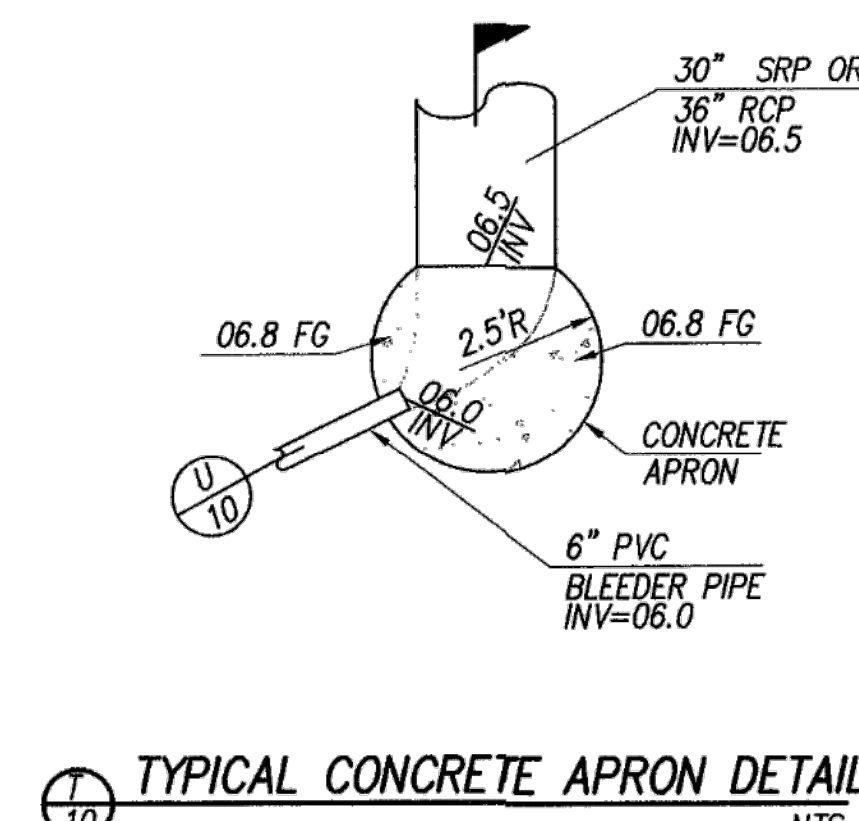
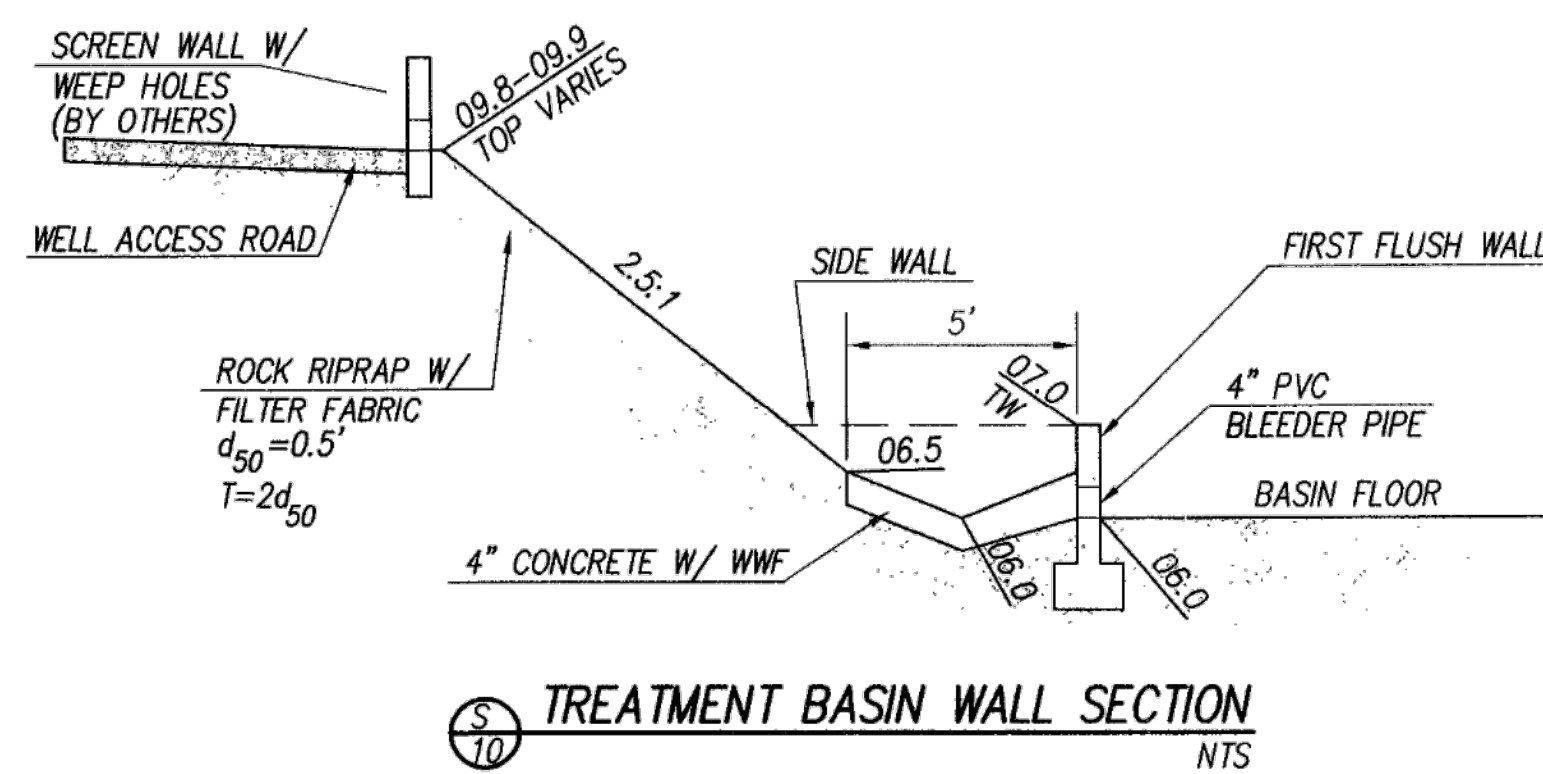
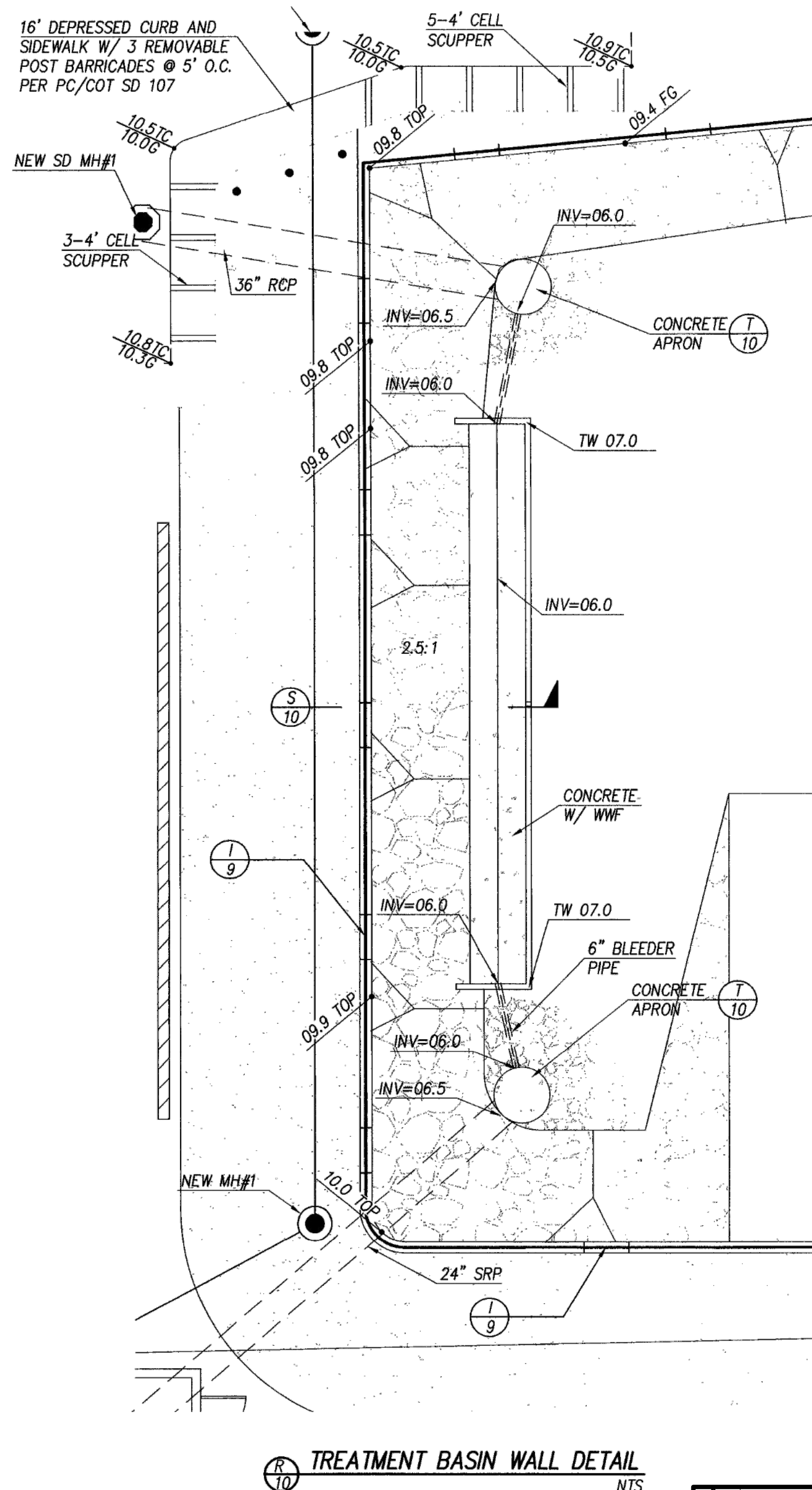
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TUCSON, ARIZONA 85712 520-321-4625

16963
RYAN G. BALE
Professional Engineer
Arizona, U.S.A.

EEC PROJECT NO: 202103
DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY
RECORDER'S OFFICE, PIMA COUNTY, AZ.
DRAWN BY: _____ APPD BY: _____ 20 REF: _____ SCALE: H: N/A
DSGN BY: _____ APPD BY: _____ 20 V: N/A
CHKD BY: _____
PLAN NO. OV 12-02-06



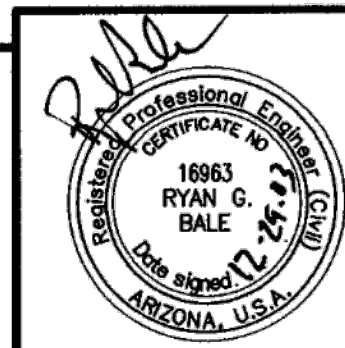
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4	16.3 (SOUTH)	VARIES 15.0-15.1	VARIES 12.7-13.6	VARIES 12.6-13.5
6	24.4	VARIES 23.5-24.2	VARIES 18.2-20.9	VARIES 18.1-20.8
8	24.0 (SOUTH)	VARIES 22.2-22.5	VARIES 21.4-21.9	VARIES 21.3-21.8



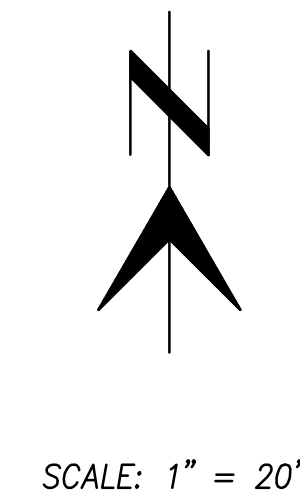
NO.	DATE	REVISION	BY	CH	APPR
1	7/20/2022	ORO VISTA APARTMENTS	BWT	SMT	

NOTE:
DETAIL "O" NOT USED.

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TUCSON, ARIZONA 85712 520-321-4625



DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS; A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.			
DRWN BY	APPD BY	REF	SCALE
DSGN BY	APPD BY		H: N/A V: N/A
CHKD BY	APPD BY		PLAN NO. OV 12-02-06



- ① 10' PUBLIC TELEPHONE EASEMENT DKT. 7044, PG. 819.
- ② 1' PUBLIC NO ACCESS EASEMENT BK 59, PG 27.
- ③ PUBLIC UTILITY EASEMENT DKT. 12650, PG. 2014.
- ④ 10' PUBLIC FOOTHILLS WATER EASEMENT DKT. 7926, PG. 1733.
- ⑤ 10' PUBLIC TEP EASEMENT DKT. 7719, PG. 1644.
- ⑥ PUBLIC INGRESS/EGRESS & UTILITY EASEMENT DKT. 13307, PG. 3455.
- ⑦ 25' BUFFERYARD
- ⑧ 25' BUILDING SETBACK.
- ⑨ VACATE WATER EASEMENT AND REMOVE WATER LINE.
- ⑩ VACATE ELECTRIC EASEMENT.

- ① CONCRETE SIDEWALK PER PAG SD 200
- ② CONCRETE CURB W/6" REVEAL, TYPE 2, PER PAG SD 209
- ③ CURB ACCESS RAMP WITH TRUNCATED DOMES PER PAG SD 207.
- ④ EXISTING CROSSWALK.
- ⑤ PROPOSED PAVEMENT.
- ⑥ PROPOSED PARKING.
- ⑦ PROPOSED CONCRETE WHEEL STOPS.
- ⑧ BICYCLE SPACES.
- ⑨ LANDSCAPE AREA (TYP.)
- ⑩ NEW HARDSCAPE PER ARCHITECTURAL PLAN.
- ⑪ PROPOSED STEM WALL, HEIGHT PER PLAN.
- ⑫ EXISTING RETAINING WALL TO BE REMOVED.
- ⑬ STEPS WITH RETAINING WALL AND HANDRAIL, SEE CD'S FOR DETAILS.
- ⑭ PROPOSED RETAINING WALL, HEIGHT PER PLAN, WITH HANDRAIL ON TOP OF WALL PER PAG SD 105.
- ⑮ EXISTING PUBLIC ART/MONUMENT TO BE RELOCATED IN LOCATION SHOWN.
- ⑯ PROPOSED RAMP AND HANDRAIL, SEE ARCHITECT PLANS FOR DETAILS.
- ⑰ PROPOSED REFUSE ENCLOSURE.
- ⑱ RELOCATED SIGN WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑲ NEW SIGN – NO ADA ACCESS.
- ⑳ NEW STOP SIGN

- 1 EXISTING TRANSFORMER TO BE RELOCATED.
- 2 RELOCATED ELECTRIC TRANSFORMER AND NEW J-BOX.
- 3 EXISTING WATER METER TO BE RELOCATED. SHORTEN EXISTING SERVICE TO RELOCATED METER LOCATION
- 4 RELOCATED WATER METER.
- 5 PROPOSED PRIVATE WATER SERVICE LINE, STUB 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- 6 REMOVE EXISTING FIRE LINE BACK TO 5' FROM BUILDING AND REROUTE AROUND NEW TRASH ENCLOSURE., SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- 7 CONNECT NEW HCS TO EXISTING MH#5 PER PC RWRD SD 402.
NEW INV=2521.00.
- 8 PROPOSED PRIVATE 28.44 LF HCS @ 2.00% SLOPE
- 9 PROPOSED PRIVATE 10.33 LF HCS @ 2.00% SLOPE.
- 10 PROPOSED DOUBLE CLEANOUT 5' FROM BUILDING,
HCS INV=2521.78, SEE PLUMBING PLANS FOR CONTINUATION.

A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL = 1 FOOT
JULY 2022
EEC JOB NO 20004

REF CASE: OV12-02-06
SCALE: 1"= 20'
SHEET 11 OF 11



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Engineering and Environmental Consultants, Inc.

	07/20/2022	ORO VISTA APARTMENTS	BWT	SMT	
NO.	DATE	REVISION	BY	CH	APPR