

### GENERAL NOTES:

1. THE GROSS AREA OF THIS DEVELOPMENT IS 13.09± ACRES.  
NET BUILDING AREA = 2.11± ACRES.  
MINIMUM AREA OF LANDSCAPE OPEN SPACE REQUIRED = 0.95 ACRES (7.26%)

RESIDENTIAL UNITS = 136 154

2. EXISTING ZONING: EL CONQUISTADOR P.A.D. - COMMERCIAL.

3. BUILDING SQUARE FOOTAGES (ALL FLOORS):

BLDG. "1" - 16,646 SF  
BLDG. "2" - 16,646 SF  
BLDG. "3" - 11,432 SF  
BLDG. "4" - 18,142 SF  
BLDG. "5" - 18,142 SF  
BLDG. "6" - 11,432 SF  
BLDG. "7" - 9,858 SF  
BLDG. "8" - 16,568 SF  
BLDG. "9" - 14,416 SF  
BLDG. "10" - 14,416 SF  
SHOPS #1 - 13,200 SF  
SHOPS #2 - 12,687 SF  
CLUBHOUSE - 3,192 SF  
BLDG. "11" RESTAURANT - 5,000 SF 27,635 SF  
TOTAL: 181,777 SF 204,412 SF

4. AMOUNT OF PARKING SPACES ALLOTTED PER BUILDING

BLDG. "1" - 32 SPACES  
BLDG. "2" - 32 SPACES  
BLDG. "3" - 17 SPACES  
BLDG. "4" - 27 SPACES  
BLDG. "5" - 27 SPACES  
BLDG. "6" - 17 SPACES  
BLDG. "7" - 17 SPACES  
BLDG. "8" - 27 SPACES  
BLDG. "9" - 32 SPACES  
BLDG. "10" - 32 SPACES  
SHOPS #1 - 53 SPACES 82 SPACES  
SHOPS #2 - 53 SPACES 53 SPACES  
CLUBHOUSE - 0 SPACES  
BLDG. "11" RESTAURANT - 25 SPACES 36 SPACES  
TOTAL = 380 SPACES 411 SPACES  
HANDICAP REQUIRED = 4 SPACES (2 VAN-ACCESSIBLE)

PARKING SPACES PROVIDED:  
TYPICAL = 425 SPACES 413 SPACES  
HANDICAP = 17 SPACES (10 SINGLE + VAN ACCESSIBLE)  
TOTAL = 446 SPACES 430 SPACES

5. BASIS OF BEARING: THE NORTH LINE OF THE NW QUARTER OF SECTION 14, T-12-S, R-13-E, ACCORDING TO EL CONQUISTADOR COUNTRY CLUB, BLOCKS 1 THRU 3, AS RECORDED IN BOOK 33 M&P, PAGE 82. BEARING BEING: N 89° 56' 20" E

6. BASIS OF ELEVATIONS: PIMA COUNTY DOT/ CITY OF TUCSON DOT GEODETIC CONTROL POINT E21. ELEVATION BEING: 2693.76 NAVD 88 DATUM.

7. DEVELOPER WILL COVENANT TO HOLD TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.

8. DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.

9. DRAINAGE WAYS AND/OR DRAINAGE SYSTEMS TO BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FROM THE TOWN OF ORO VALLEY AND/OR BUILDING OFFICIAL.

10. A PROPERTY OWNERS ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY, AND LIABILITY OF PRIVATE DRAINAGE WAYS, DRAINAGE EASEMENTS AND COMMON AREAS.

11. ACCESS ACROSS FLOOD PRONE AREAS TO BUILDING SITES WILL BE APPROVED BY THE TOWN ENGINEER AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.

12. DEVELOPMENT PLANS WILL BE SUBMITTED FOR THE COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

13. THE FOLLOWING UTILITIES WILL PROVIDE SERVICE TO THIS DEVELOPMENT:

(A) ELECTRIC - TUCSON ELECTRIC POWER COMPANY  
(B) GAS - SOUTHWEST GAS CORPORATION  
(C) WATER - ORO VALLEY WATER UTILITY  
(D) SEWER - PIMA COUNTY WASTEWATER MANAGEMENT  
(E) TELEPHONE - QWEST COMMUNICATIONS  
(F) FIRE PROTECTION - RURAL METRO FIRE DEPARTMENT  
(G) CABLE TELEVISION - JONES INTERCABLE

14. THIS PROJECT WILL BE SERVED BY THE ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.

15. REQUIRED FIRE FLOW FOR THIS DEVELOPMENT IS 1,500 G.P.M. ALL BUILDINGS SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED.

16. ON-SITE SANITARY SEWERS EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY SHALL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OR PERFORMING OF BUILDING PLANS.

17. ALL SEWERS WILL BE DESIGNED TO PROVIDE GRAVITY FLOW.

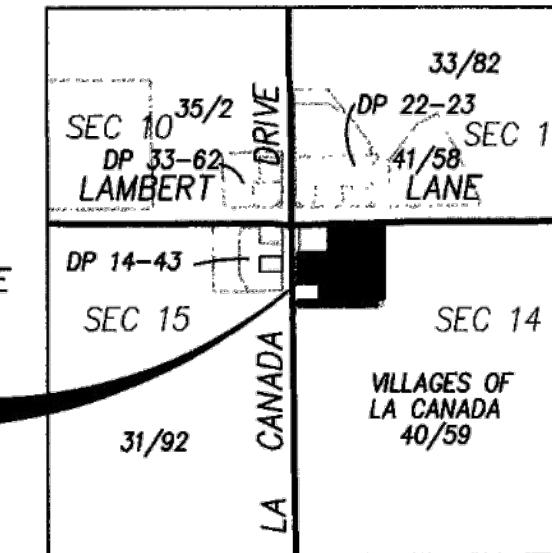
### DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS

A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB,  
AS RECORDED IN BOOK 33 M&P, PAGE 82, PIMA COUNTY RECORDER'S OFFICE, PIMA COUNTY, AZ.

SCALE: 1"=100'  
C.I.=1'

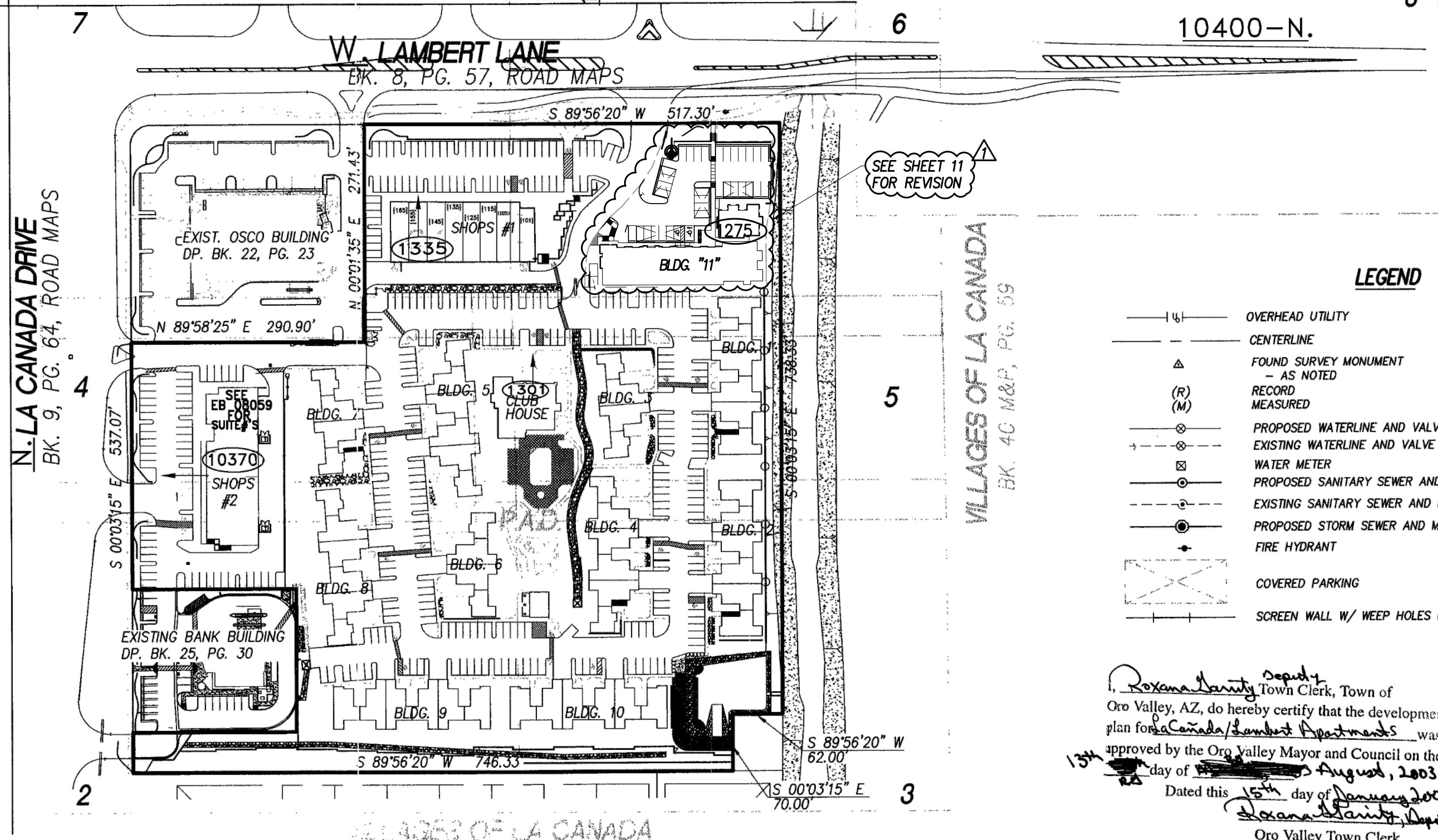
SCALE: 3"=1 MILE

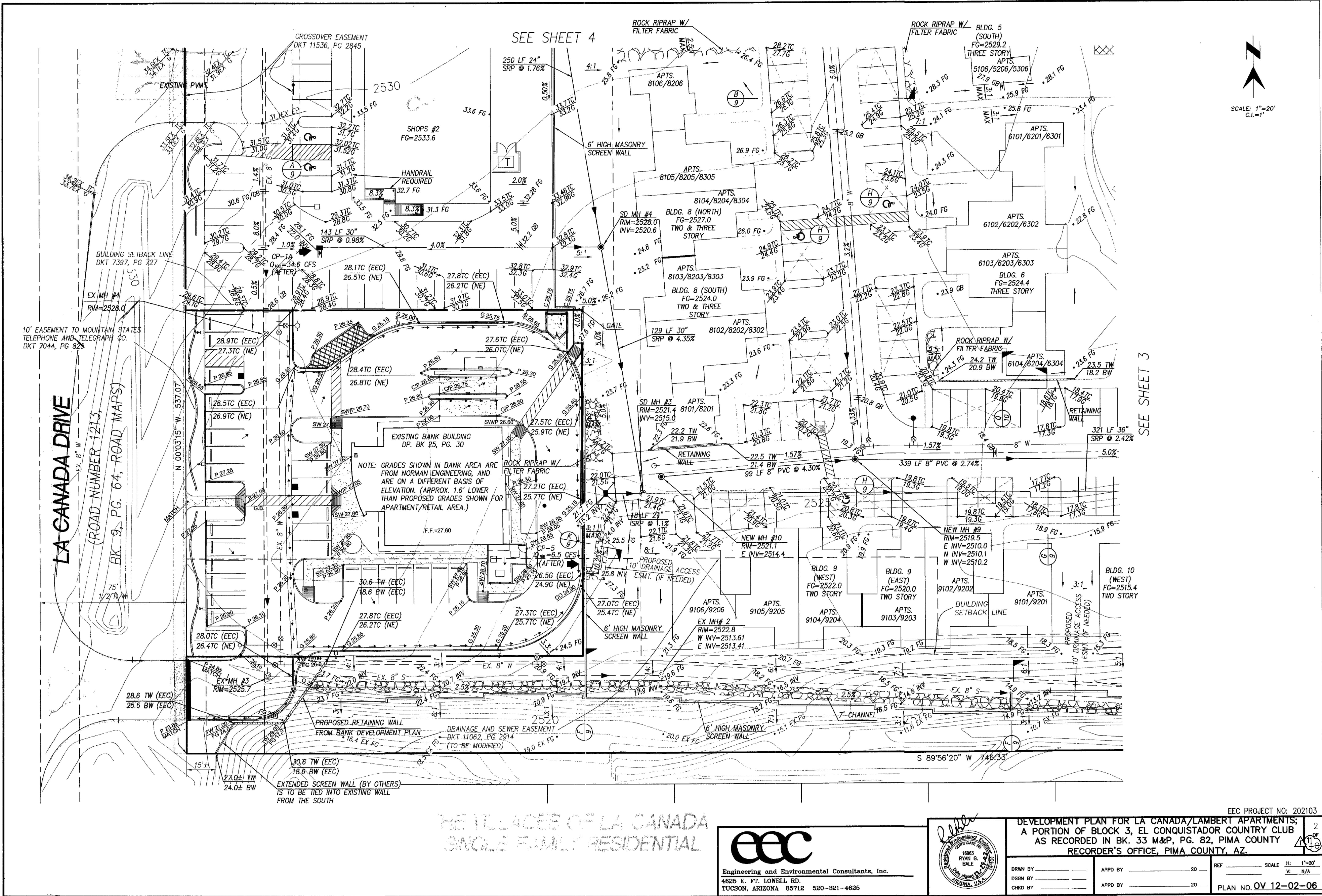
THIS  
PROJECT

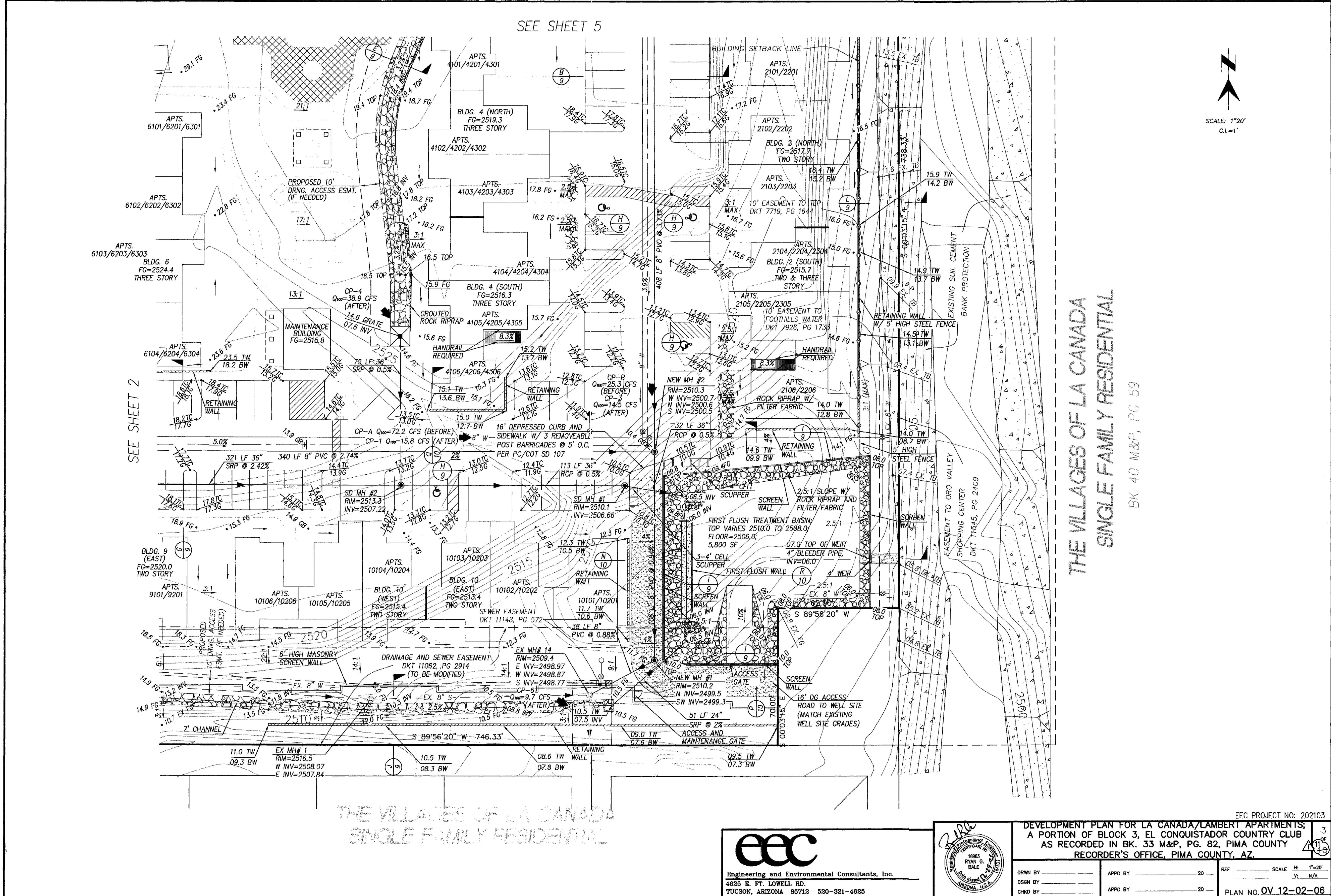


### LOCATION MAP

PORTION OF SECTION 14,  
T-12 S, R-13 E.  
G. & S.R.M., PIMA COUNTY, ARIZONA







# LA CANADA DRIVE

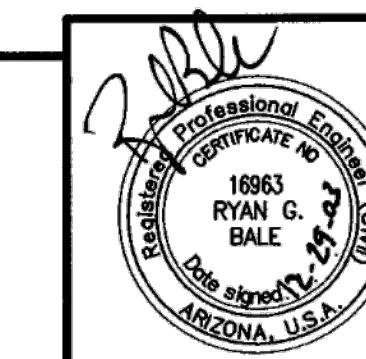
ROAD NUMBER 1213,  
BK. 9, PG. 64, ROAD MAPS)

10' EASEMENT TO  
TELEPHONE AND  
DKT 7044, PG 82

SEE SHEET 2

EEC PROJECT NO: 202103

DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;  
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB  
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY  
RECORDER'S OFFICE, PIMA COUNTY, AZ. 11



ebook

**Engineering and Environmental Consultants, Inc.**  
4625 E. FT. LOWELL RD.  
TUCSON, ARIZONA 85712 520-321-4625

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11  
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18

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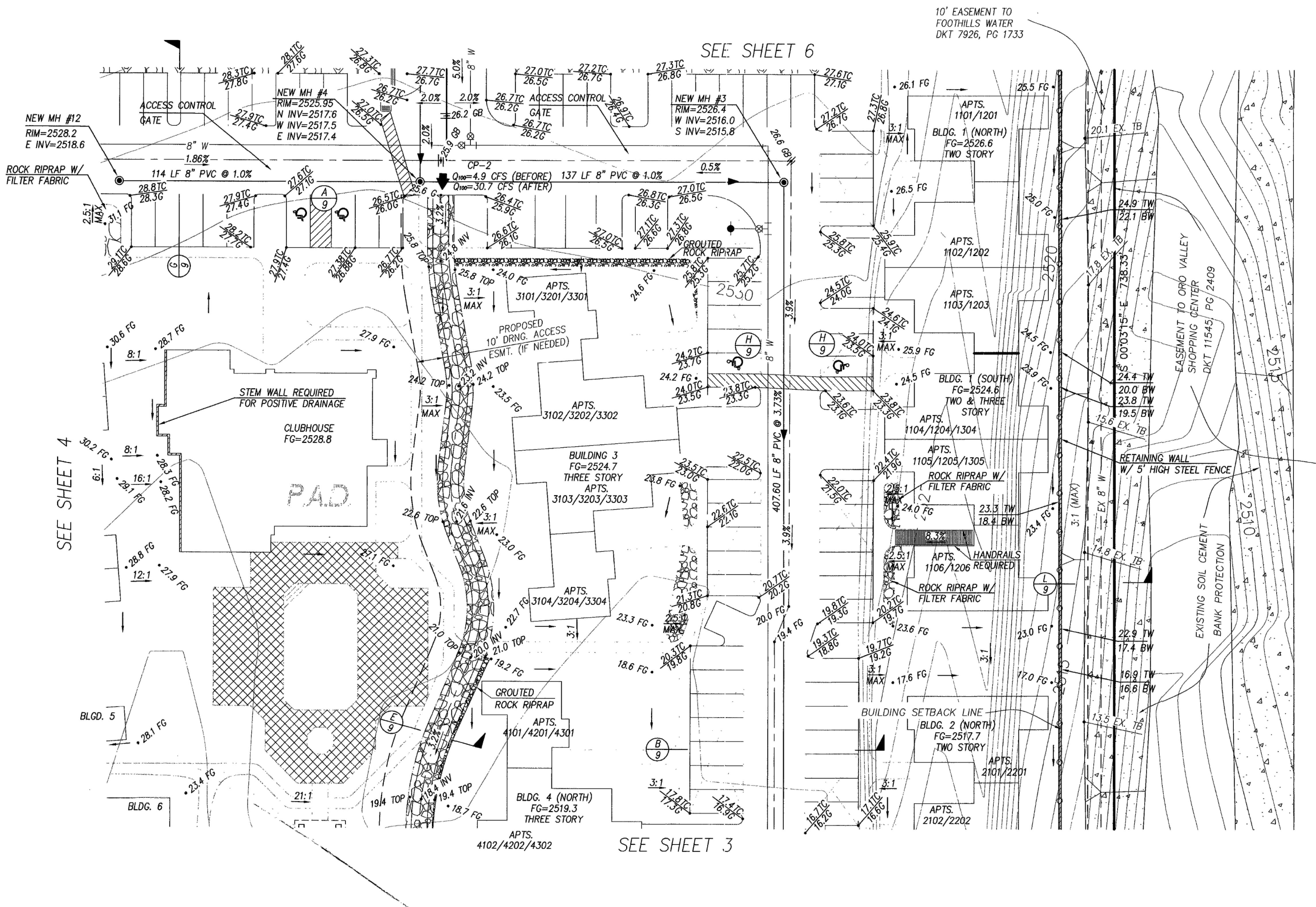
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PLAN NO. SV 12-02-00

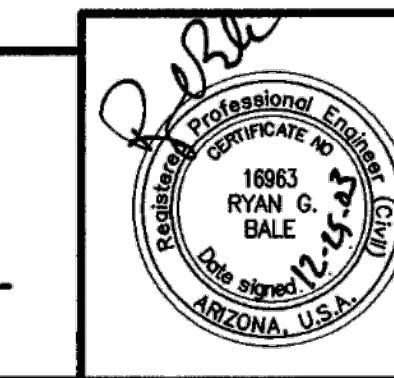
DP BK 27 PG 11 SHT 4 OF ~~10~~ 11 △



# THE VILLAGES OF LA CANADA SINGLE FAMILY RESIDENTIAL

BK 40 1/25, PG 39

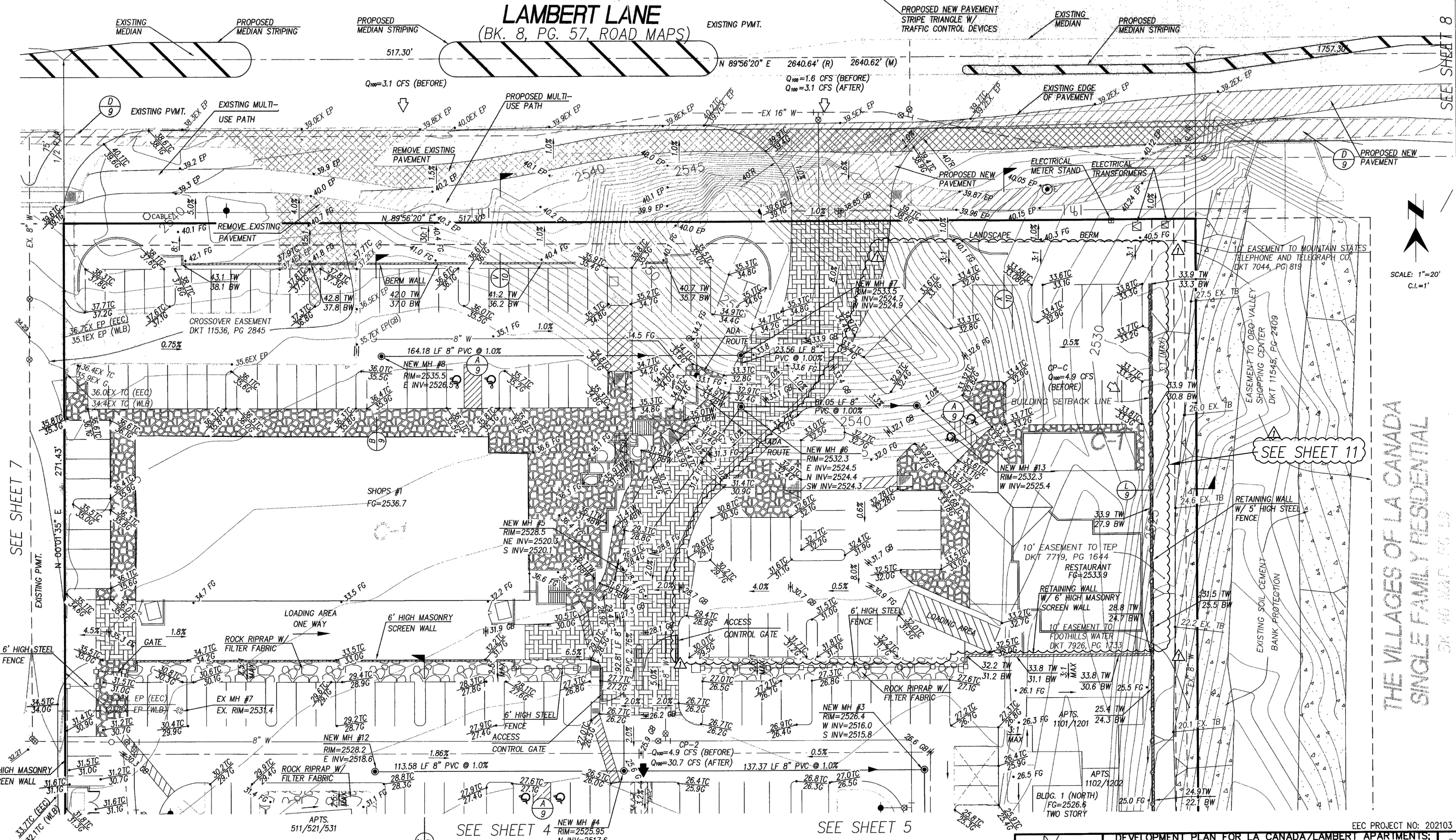
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DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;  
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB  
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY  
RECORDER'S OFFICE, PIMA COUNTY, AZ.

DP BK 27 PG 11 SHT 5 OF ~~10~~ 11 □

# DIAMOND SHAMROCK



A CANADA DRIVE

(ROAD NUMBER 1213,  
BK. 9, PG. 64, ROAD MAPS)

# **LAMBERT LANE**

(BK. 8, PG. 57, ROAD MAPS)

ORNER  
ON 14  
K NAIL

ORNER  
ON 14  
K NAIL

ORNER  
ON 14  
K NAIL

366.02' 1 89°56'20" E 2640.64' (R) 2640.52

517.30

$$Q_{100} = 3.1 \text{ CFS (BEFORE)}$$

SCALE: 1"=20'  
C.L.=1'

1

1

1

EXISTING OSCO BUILDING  
DP. BK. 22, PG. 23

NOTE: GRADES SHOWN IN OSCO AREA ARE FROM WLB GROUP, AND  
ON A DIFFERENT BASIS OF ELEVATION. (APPROX. 1.6' LOWER  
PROPOSED GRADES SHOWN FOR APARTMENT/RETAIL AREA.)

56

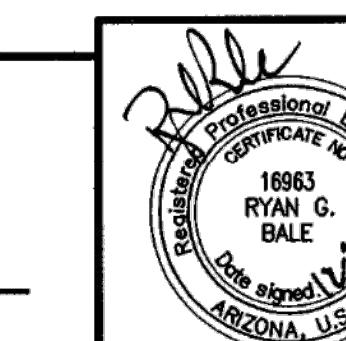
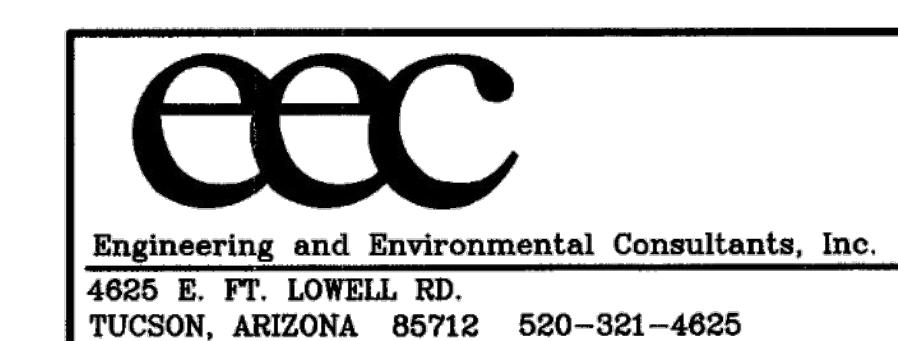
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SEE SHEET

SEE SHEET 6



EEC PROJECT NO. 202103  
DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS;  
A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB  
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY  
RECORDER'S OFFICE, PIMA COUNTY, AZ. 7  
OF  
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DRWN BY \_\_\_\_\_ APPD BY \_\_\_\_\_ 20 \_\_\_\_\_ REF \_\_\_\_\_ SCALE H: 1"=20' .  
DSGN BY \_\_\_\_\_ \_\_\_\_\_ V: N/A  
CHKD BY \_\_\_\_\_ APPD BY \_\_\_\_\_ 20 \_\_\_\_\_ PLAN NO. OV 12-02-06

EEG PROJECT NO: 202103

DP BK 27 PG 11 SHT 7 OF ~~10~~ 11

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SCALE: 1"=20'  
C.I.=1'

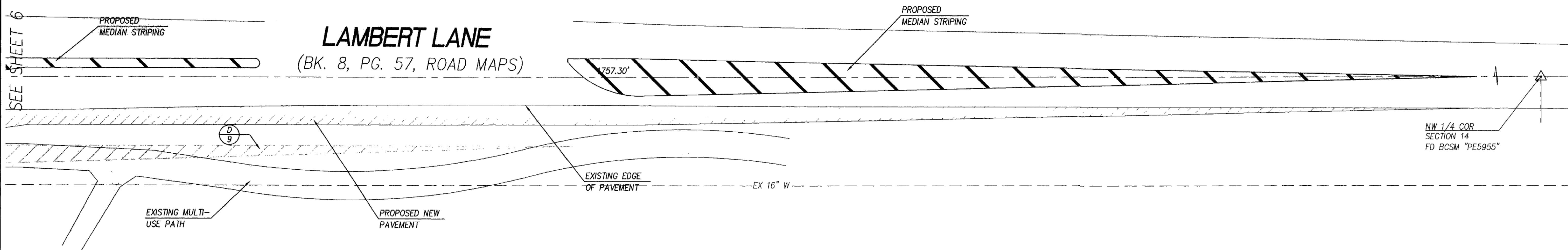
## AUTUMN HILL

(BK. 41, PG. 58, M&P)

AUTUMN HILL LN.

## LAMBERT LANE

(BK. 8, PG. 57, ROAD MAPS)



### GENERAL NOTES:

CONTINUED FROM SHEET 1

36. THE FOLLOWING CONDITIONS RELATE TO LANDSCAPING ON THE SITE (GRADING EXCEPTION - EXHIBIT B):

- (A) ALONG THE LAMBERT LANE FRONTAGE 36-INCH BOX CANOPY TREES AND APPROPRIATE UNDER STORY VEGETATION SHALL BE PLANTED IN A MANNER TO CREATE A DENSE SCREEN. THE LAMBERT LANE FRONTAGE IS DEFINED AS EXTENDING FROM THE EASTERN PROPERTY CORNER TO THE EASTERN EDGE OF THE OSCO DRIVE.
- (B) WHERE EVER FEASIBLE, A 60-INCH HIGH BERM SHALL BE CONSTRUCTED ALONG THE LAMBERT LANE FRONTAGE (FRONTAGE AS DEFINED IN (A) ABOVE) WITH A WIDTH TO BE DETERMINED TO SUPPORT THE HEIGHT.
- (C) THE BERM SHALL INCLUDE UNDER STORY PLANTINGS, SHRUBS AND GROUND COVER TO STABILIZE THE BERM.
- (D) ALL PERIMETER LANDSCAPING SHALL BE INSTALLED BY JUNE 1, 2004 WITH THE EXCEPTION THAT IF THE HILL IS NOT REMOVED (SEE 37(A) BELOW), THE HILL AREA SHALL BE TREATED FOR EROSION CONTROL WITH STANDARD RESEEDING AND SCULPTED AS APPROVED BY THE 1999 GRADING EXCEPTION AND DEVELOPMENT PLAN.

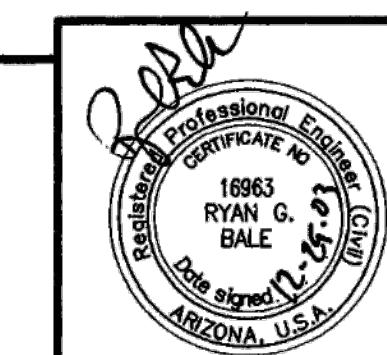
37. THE FOLLOWING CONDITIONS RELATE TO THE GENERAL DEVELOPMENT OF THE SITE (GRADING EXCEPTION - EXHIBIT B):

- (A) NO GRADING PERMIT SHALL BE ISSUED FOR THE GRADING OF THE HILL UNLESS AND UNTIL BUILDING PERMITS HAVE BEEN ISSUED AND CONSTRUCTION CONTRACTS HAVE BEEN ENTERED INTO FOR THE TWO (2) COMMERCIAL BUILDINGS FRONTING LAMBERT LANE.
- (B) ALL BUILDING PADS AND INTERIOR INFRASTRUCTURE SHALL BE COMPLETED IN ONE PHASE.
- (C) CASH FUNDS REQUIRED TO UNDERGROUND ALL UTILITIES FRONTING LAMBERT LANE SHALL BE PLACED IN AN ESCROW ACCOUNT PRIOR TO THE ISSUANCE OF ANY GRADING OR BUILDING PERMITS ON THE SITE. COST ESTIMATES FOR THE ESCROW ACCOUNT ARE TO BE DETERMINED BY THE TOWN ENGINEER.
- (D) THE BUILDING PROFILES SHALL BE LOWERED BY ADDITIONAL GRADING TO THE GREATEST EXTENT FEASIBLE AS DETERMINED BY THE TOWN OF ORO VALLEY PUBLIC WORKS DEPARTMENT.
- (E) STAIR STEP BUILDING HEIGHTS AND THE USE OF STEM WALLS FOR RETAINING SHALL BE UTILIZED TO REDUCE THE VISUAL IMPACT OF THE BUILDINGS AND PROTECT EXISTING VIEW CORRIDORS.
- (F) THE ROOF REFLECTIVITY FOR ALL STRUCTURES SHALL BE LIMITED TO 60%.
- (G) ALL FRONTING BUILDINGS ALONG LAMBERT LANE AND LA CANADA DRIVE SHALL BE LIMITED TO SINGLE STORY AND A MAXIMUM HEIGHT OF 24-FEET TO THE TOP OF THE PARAPET.
- (H) THE RESTAURANT PAD SHALL BE SET BACK FROM LAMBERT LANE IN ACCORDANCE WITH THE PROPOSED DEVELOPMENT (MINIMUM OF 90-FEET FROM THE PROPERTY BOUNDARY).

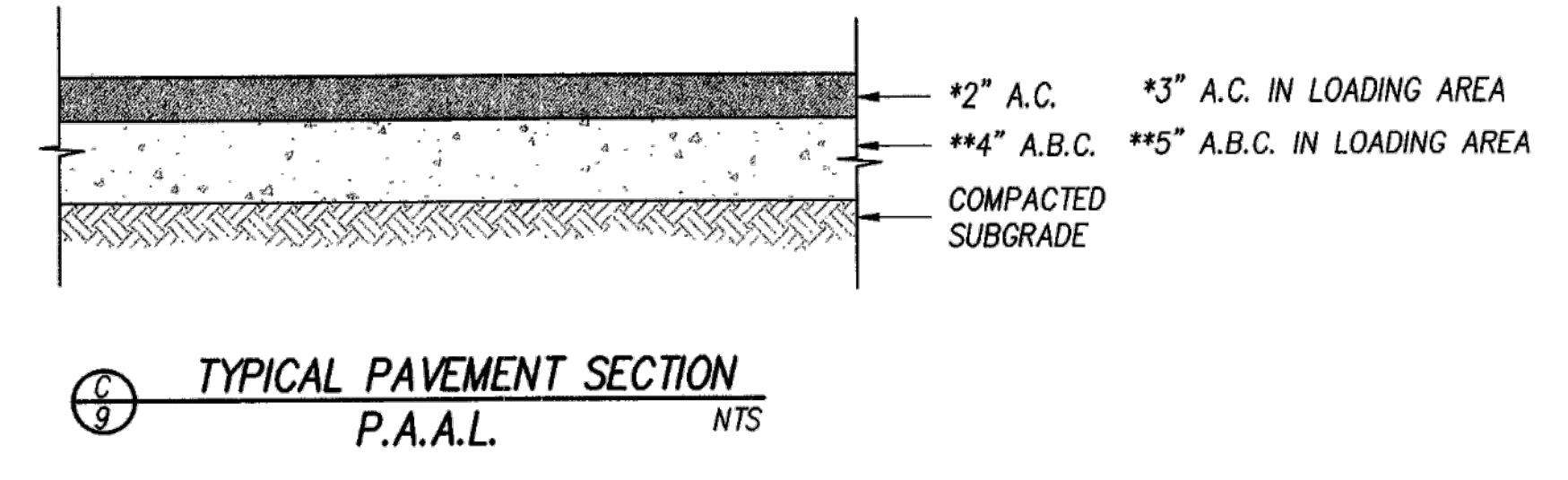
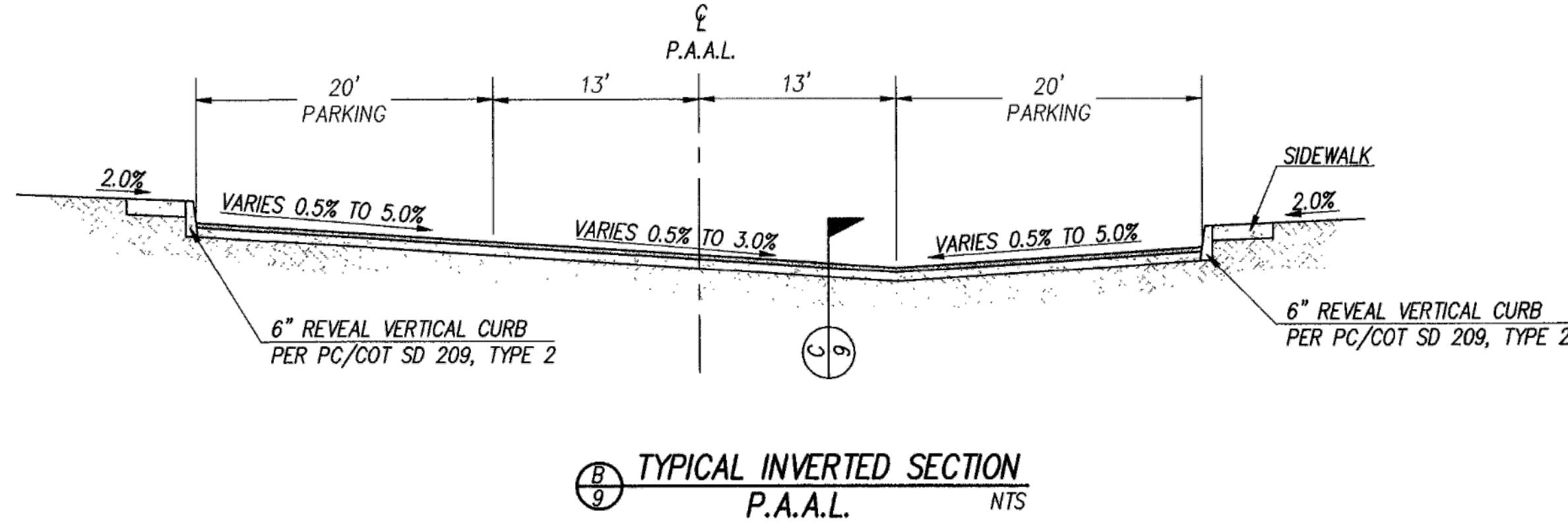
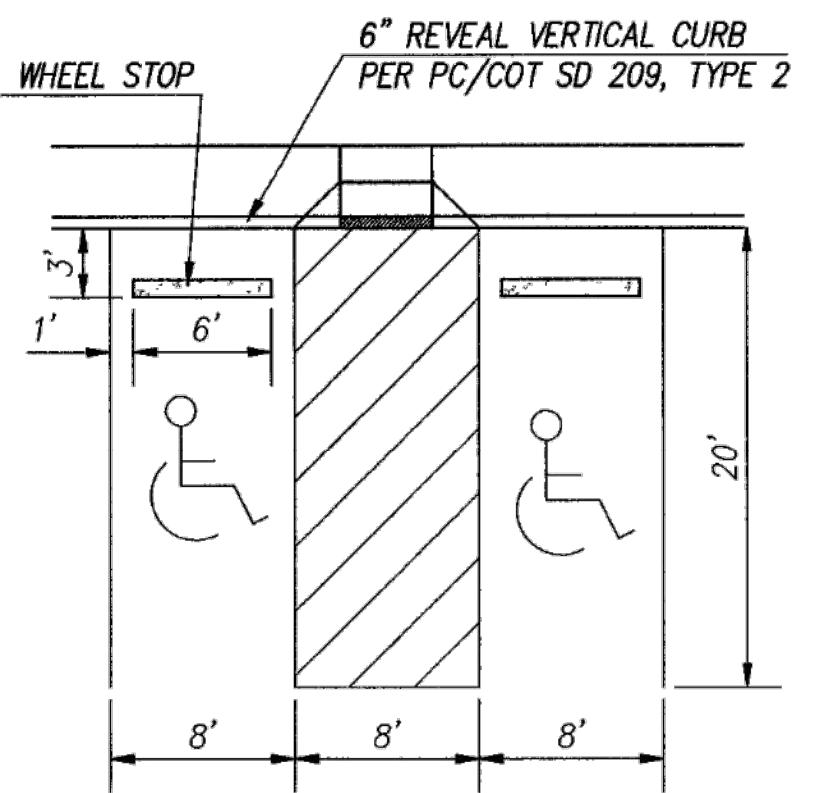
38. ADDITIONAL CONDITIONS:

- (A) SCRUBBERS AND FILTERS SHALL BE PLACED ON THE VENTING OUTLETS OF ALL BUSINESSES PREPARING FOOD TO MITIGATE SMOKE, VAPORS AND ODORS.
- (B) MECHANICAL EQUIPMENT SHALL BE SCREENED FROM THE SURROUNDING COMMUNITIES (ALL LEVELS) TO THE EXTENT POSSIBLE. MECHANICAL EQUIPMENT SCREENS SHALL BE ACOUSTICALLY DESIGNED TO PREVENT NOISE FROM EXTENDING BEYOND THE PROPERTY BOUNDARIES TO THE EXTENT POSSIBLE.
- (C) COMPREHENSIVE SIGN PACKAGE SHALL BE REVISED TO INCLUDE SIGNAGE FOR THE DEVELOPMENT. THE REVISED SIGN PACKAGE SHALL BE REVIEWED AND APPROVED BY DRB AND THE TOWN COUNCIL.
- (D) THE RIP RAP FOR SLOPES AND FOR DETENTION AND SPILLWAY SHALL USE LOCAL ROCK AND OTHER MATERIALS THAT, COMBINED WITH REVEGETATION OF THE BASIN, CREATE A NATURAL LOOK.
- (E) ALL ITEMS IDENTIFIED IN THE COUNCIL COMMUNICATION DATED AUGUST 6TH AS DONE OR COMPLETE SHALL BE REVIEWED TO VERIFY THAT THEY ARE STILL APPLICABLE TO THE NEW DEVELOPMENT PLAN AND, IF NECESSARY, ADDED AS CONDITIONS.
- (F) IMPROVEMENTS TO THE WATER SITE TO SCREEN THE WELL AND RESERVOIR WILL BE ADDED TO SCREEN IT BOTH VISUALLY AND ACOUSTICALLY.
- (G) ALL PARKING LOT LIGHT STANDARDS SHALL NOT EXCEED EIGHTEEN (18') FEET IN HEIGHT, AND ALL PATIO LIGHTING IN BUILDINGS 1, 2, 9 AND 10 SHALL BE FULLY SHIELDED.
- (H) PROVIDE A REVISED DRAINAGE REPORT PRIOR TO THE ISSUANCE OF A GRADING PERMIT.
- (I) DEVELOPER SHALL DEPOSIT \$50,000 CASH IN ESCROW FOR ANY SAFETY IMPROVEMENTS, IF NEEDED, WITH ANY INTEREST TO STAY IN THE ESCROW ACCOUNT TO ADD TO THE \$50,000. ANY FUNDS NOT USED FOR THE IMPROVEMENT TO BE RETURNED TO THE DEVELOPER. THE ESCROW ACCOUNT SHALL BE ESTABLISHED WHEN THE FIRST BUILDING PERMIT IS PULLED. (THAT ONE YEAR AFTER COMPLETION OF CONSTRUCTION REVIEW TO SEE IF THERE ARE ANY SAFETY PROBLEMS AND INVESTIGATE ANY CORRECTIVE ACTION WHICH WILL BE THE DEVELOPER'S RESPONSIBILITY TO INCORPORATE SAFETY IDEAS OR DESIGN SIDEWALKS, ETC. TO DISCOURAGE CROSSING STREETS OTHER THAN AT CROSSWALKS AND THE DEVELOPER SHALL MEET WITH THE TOWN ENGINEER AND POLICE CHIEF TO REVIEW SAFETY).
- (J) ANY COVERED PARKING OTHER THAN THAT SHOWN ON THE DEVELOPMENT PLAN AND THE ARCHITECTURAL ELEVATIONS SHALL BE REVIEWED AND APPROVED BY THE TOWN COUNCIL.
- (K) THE DESIGN OF THE FIRST FLUSH TREATMENT BASIN SHALL BE REVIEWED DURING THE IMPROVEMENT PLAN APPROVAL PROCESS.

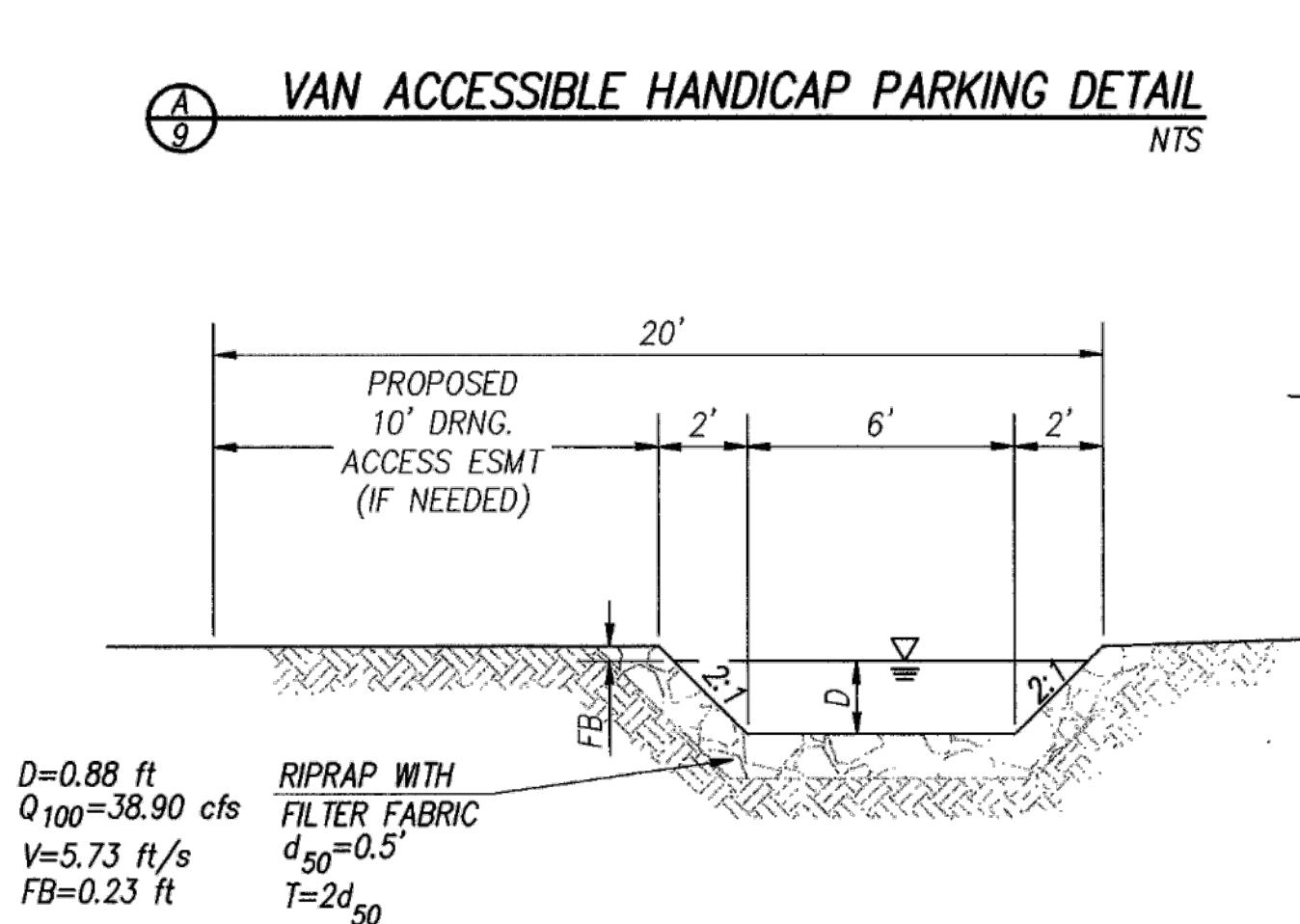
ECC PROJECT NO: 202103



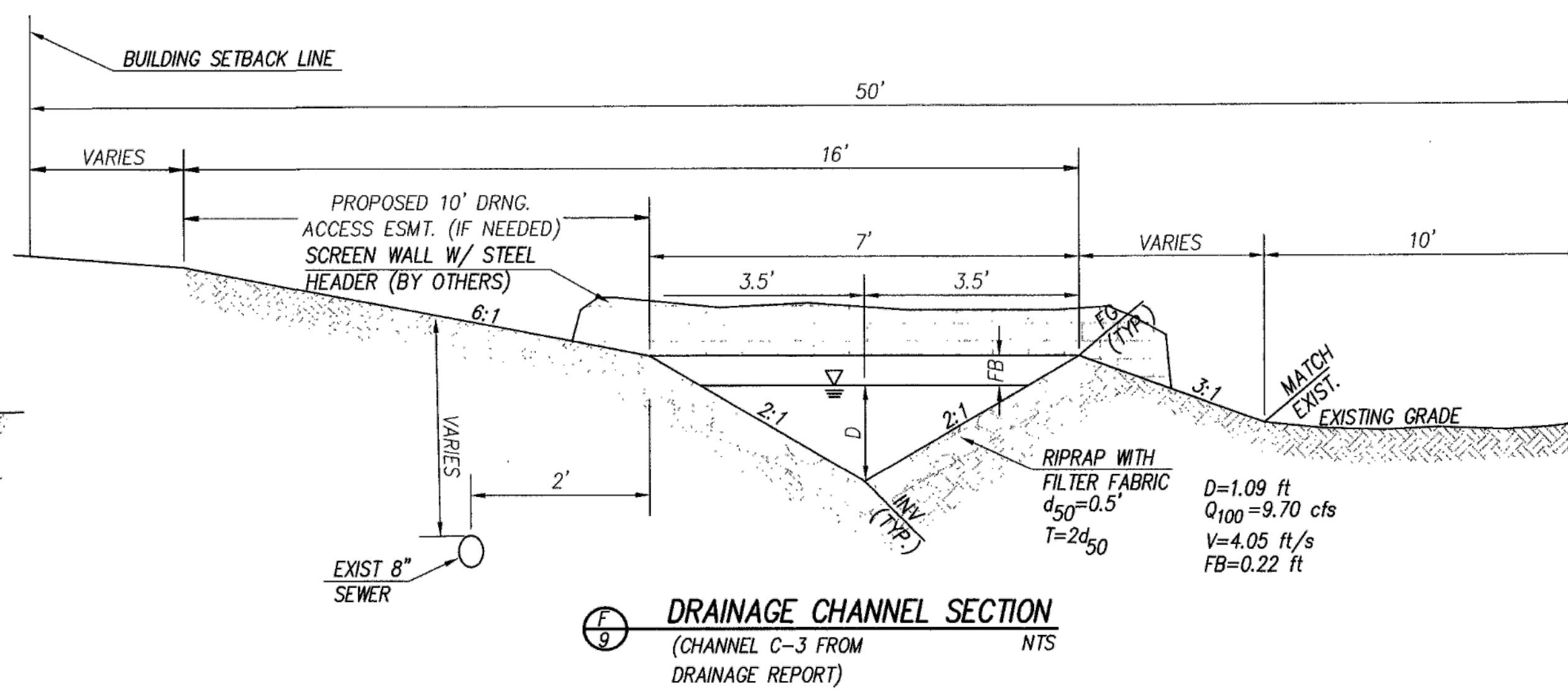
DEVELOPMENT PLAN FOR LA CANADA/LAMBERT APARTMENTS; A PORTION OF BLOCK 3, EL CONQUISTADOR COUNTRY CLUB		8
AS RECORDED IN BK. 33 M&P, PG. 82, PIMA COUNTY RECODER'S OFFICE, PIMA COUNTY, AZ.		11/10
DRWN BY _____	APPD BY _____	REF _____
DSGN BY _____	DSGN BY _____	SCALE H: 1"=20'
CHKD BY _____	APPD BY _____	V: N/A
PLAN NO. OV 12-02-06		20



**VAN ACCESSIBLE HANDICAP PARKING DETAIL**



**E**  
**9** **DRAINAGE CHANNEL SECTION**  
**(CHANNEL C-4 FROM** **NTS**  
**DRAINAGE REPORT)**



*LAMBERT LANE INTERSECTION*

600'

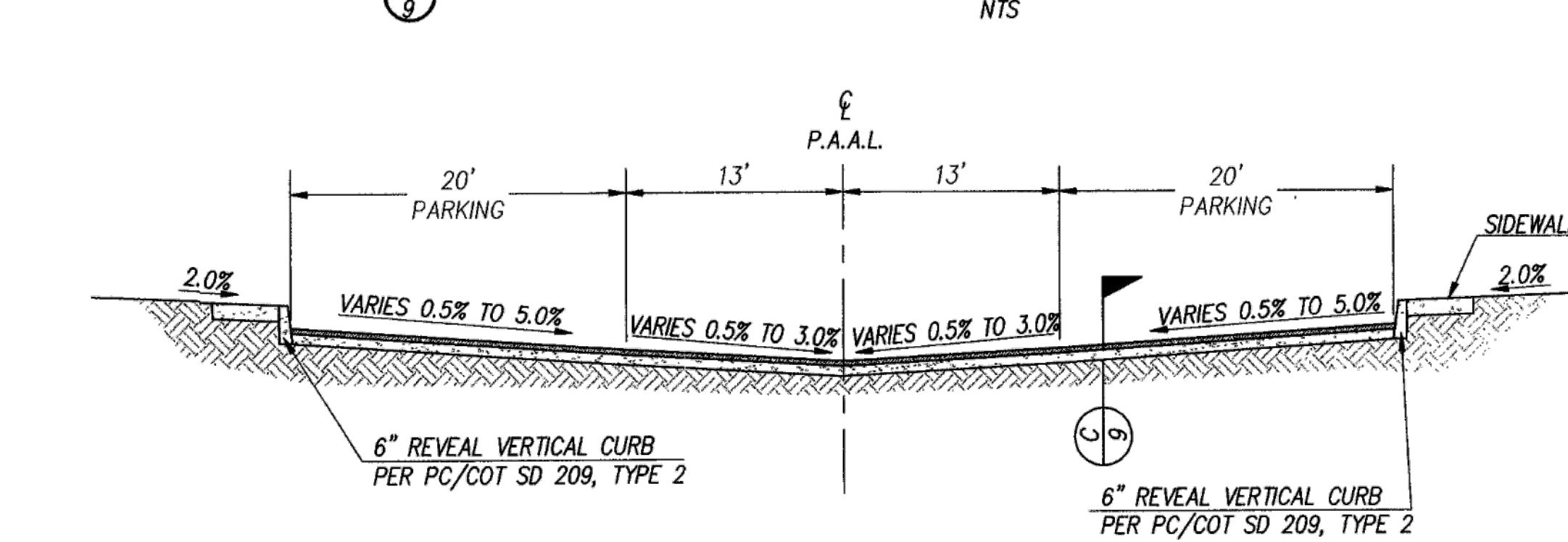
15' P.A.L. 15'

470'

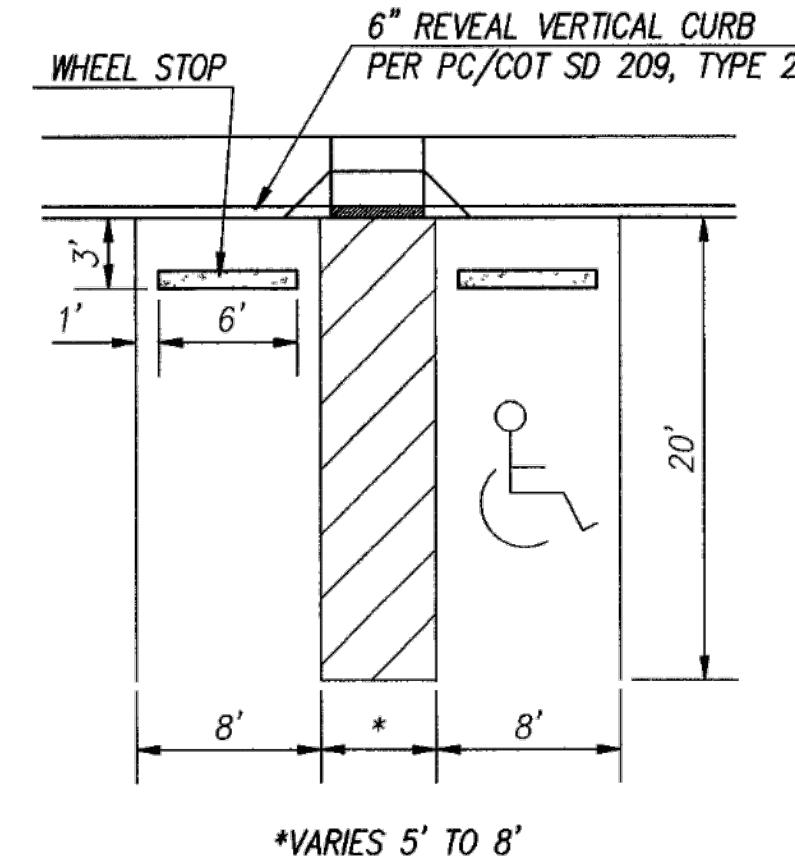
NEAR SIDE

FAR SIDE

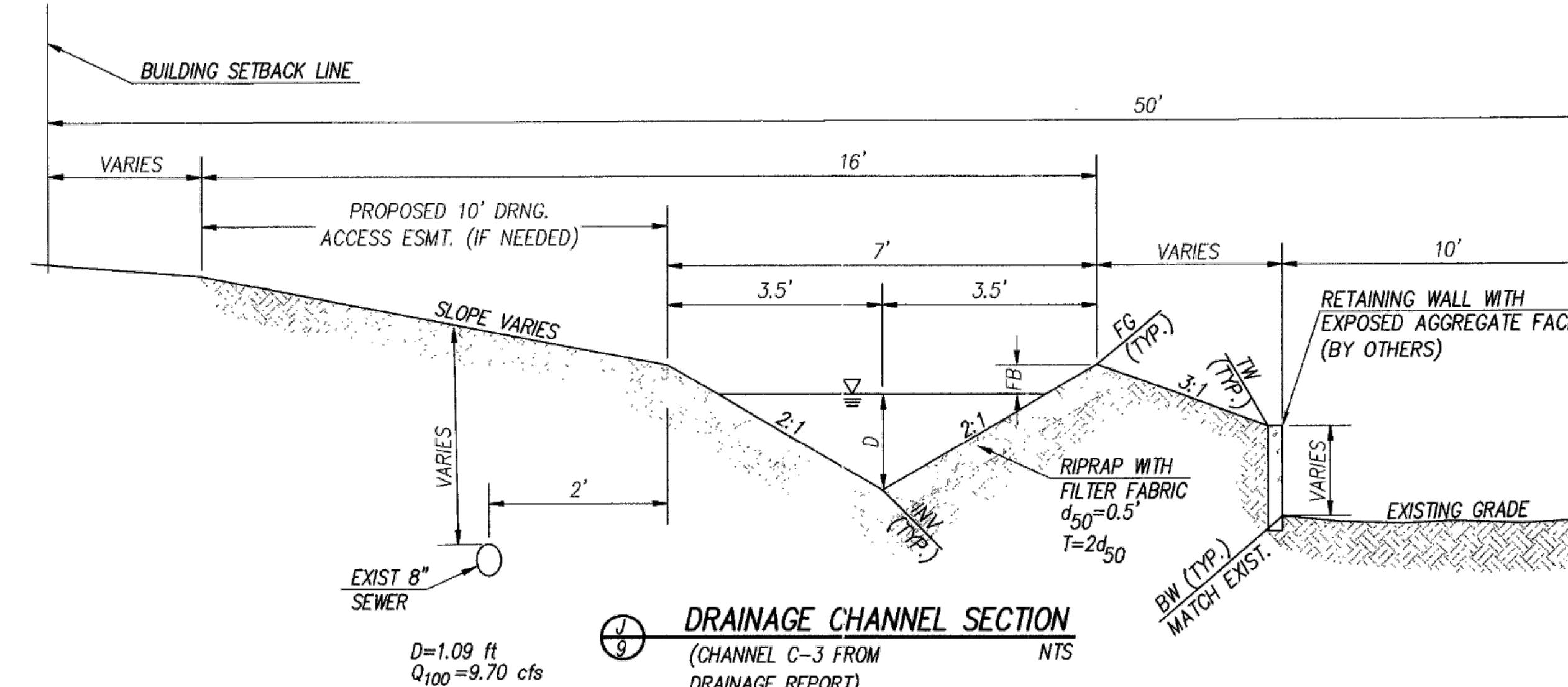
SIGHT VISIBILITY TRIANGLE DETAIL NTS



TYPICAL INVERTED SECTION  
P.A.A.L. NTS



**SINGLE HANDICAP PARKING DETAILS**

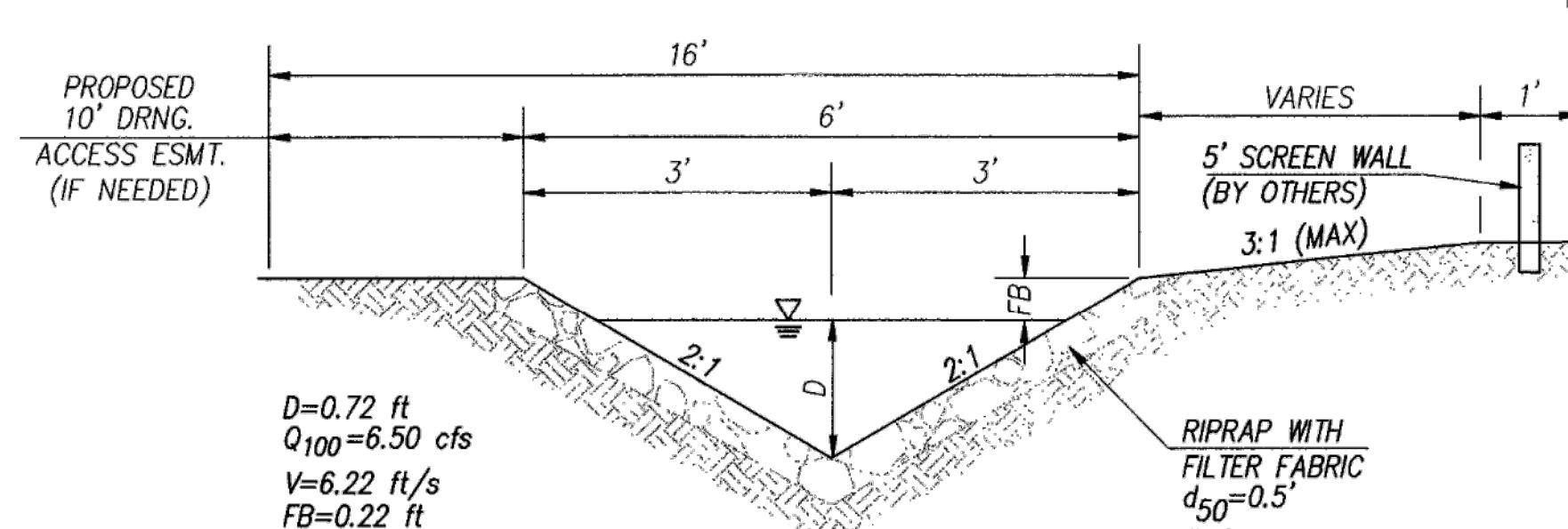


SCREEN WALL W/ 10 WEEP HOLES  
(BY OTHERS)

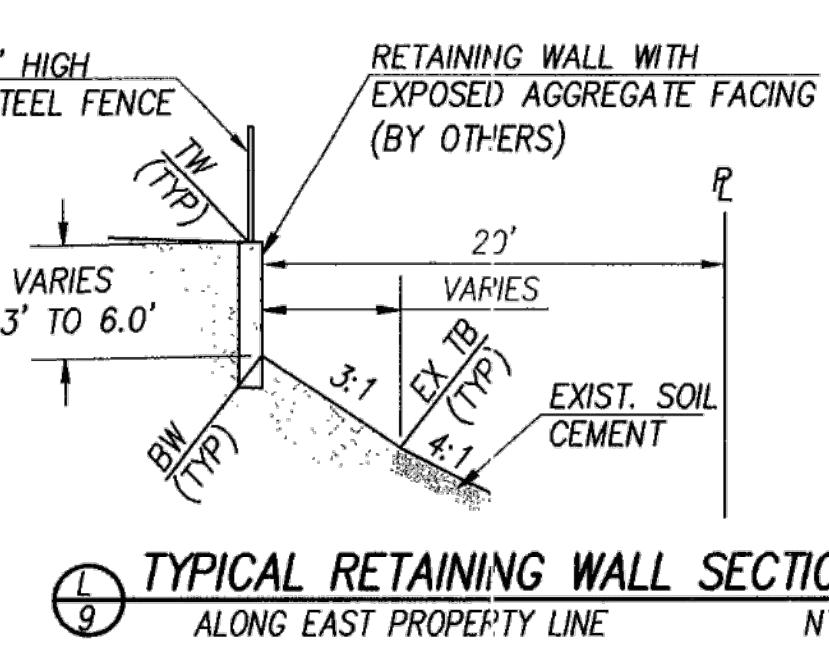
WEEP HOLE

WEEP HOLE DETAIL

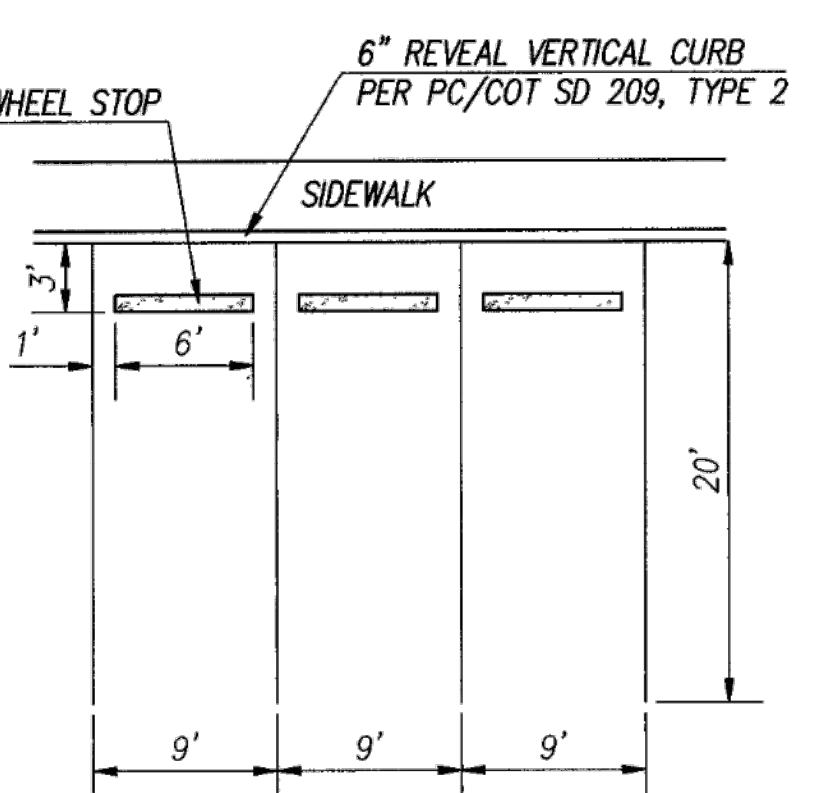
TREATMENT BASIN SCREEN WALL NTS



**DRAINAGE CHANNEL SECTION**  
(CHANNEL C-2 FROM  
DRAINAGE REPORT) NTS

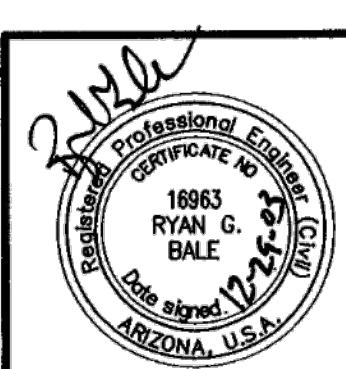


**L  
9** TYPICAL RETAINING WALL SECTION  
ALONG EAST PROPERTY LINE NTS



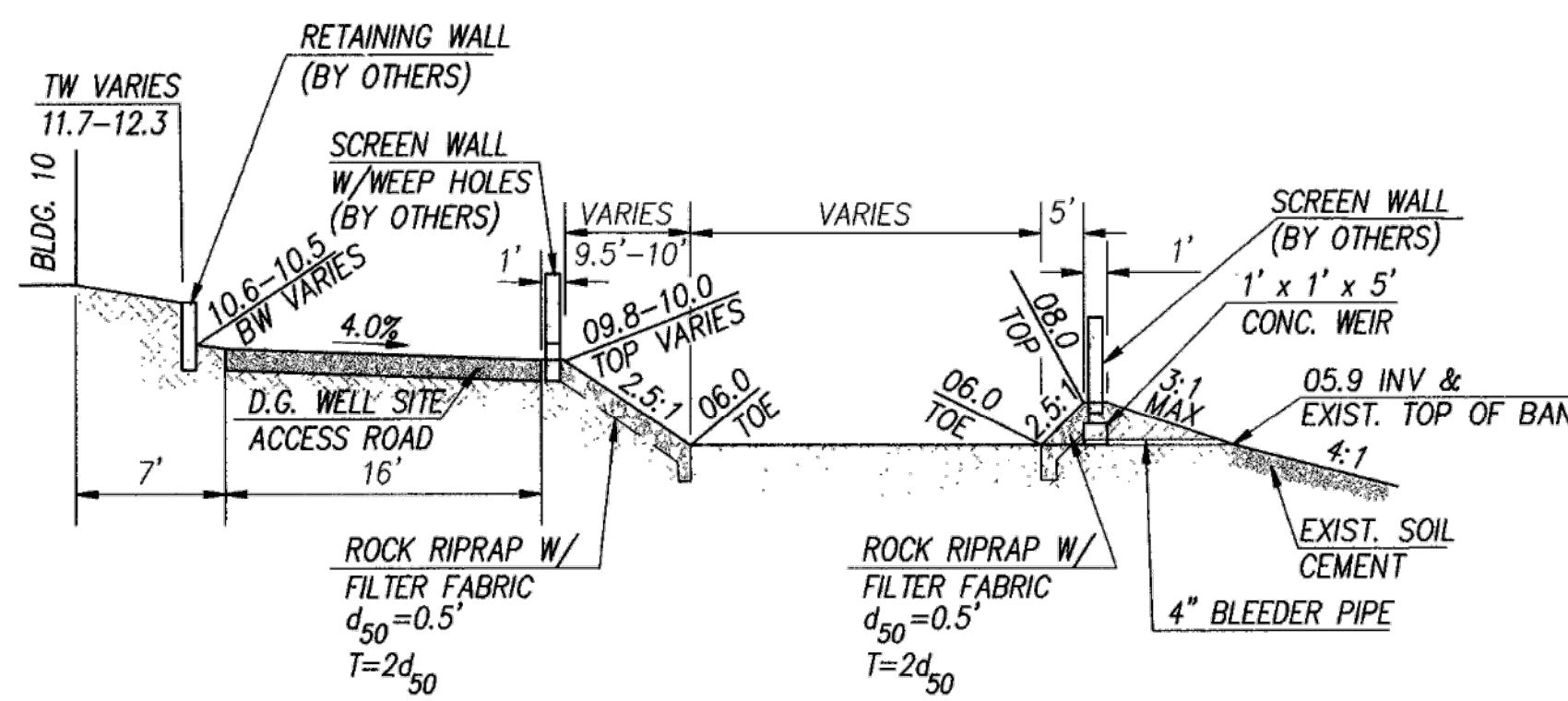
**STANDARD PARKING DETAIL**

EEG PROJECT NO: 202103

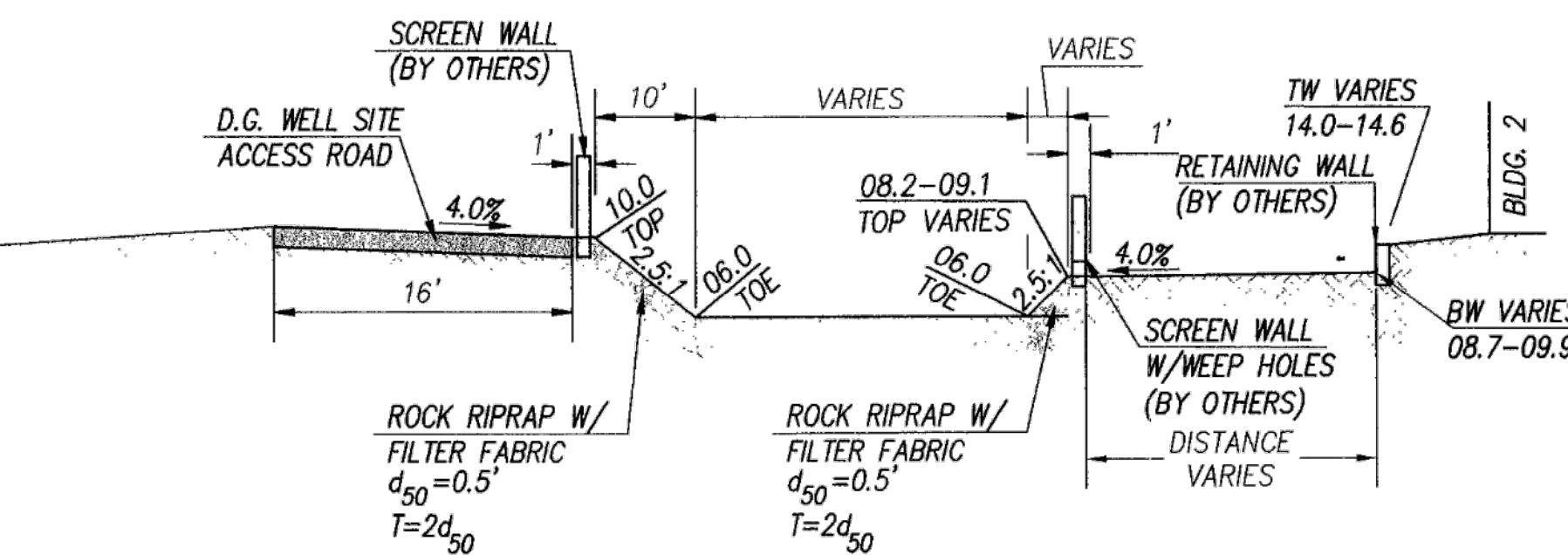


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RECORDER'S OFFICE, PIMA COUNTY, AZ.

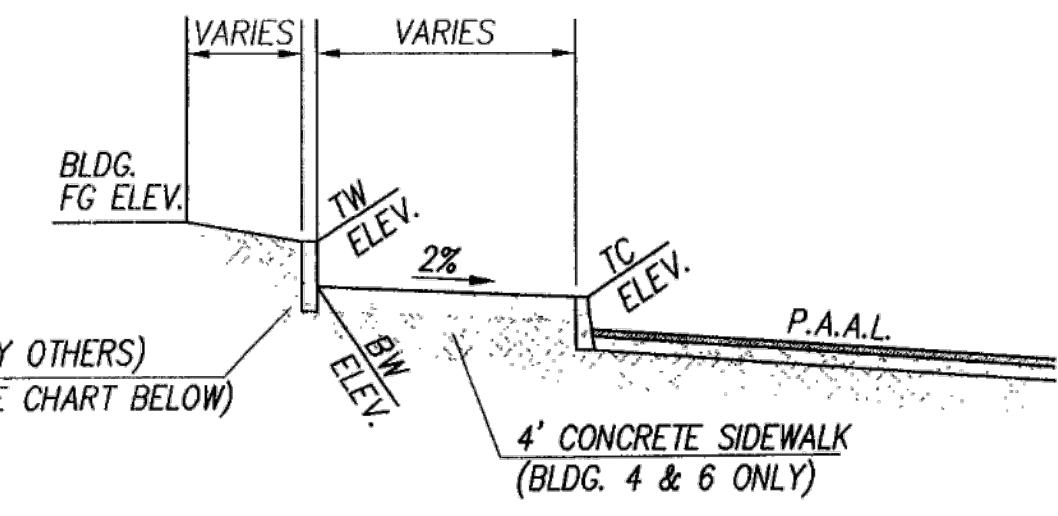
DRWN BY _____	APPD BY _____ 20 _____	REF _____ SCALE H: N/A V: N/A
DSGN BY _____		
CHKD BY _____	APPD BY _____ 20 _____	PLAN NO. <b>OV 12-02-06</b>



**E-W TREATMENT BASIN SECTION**

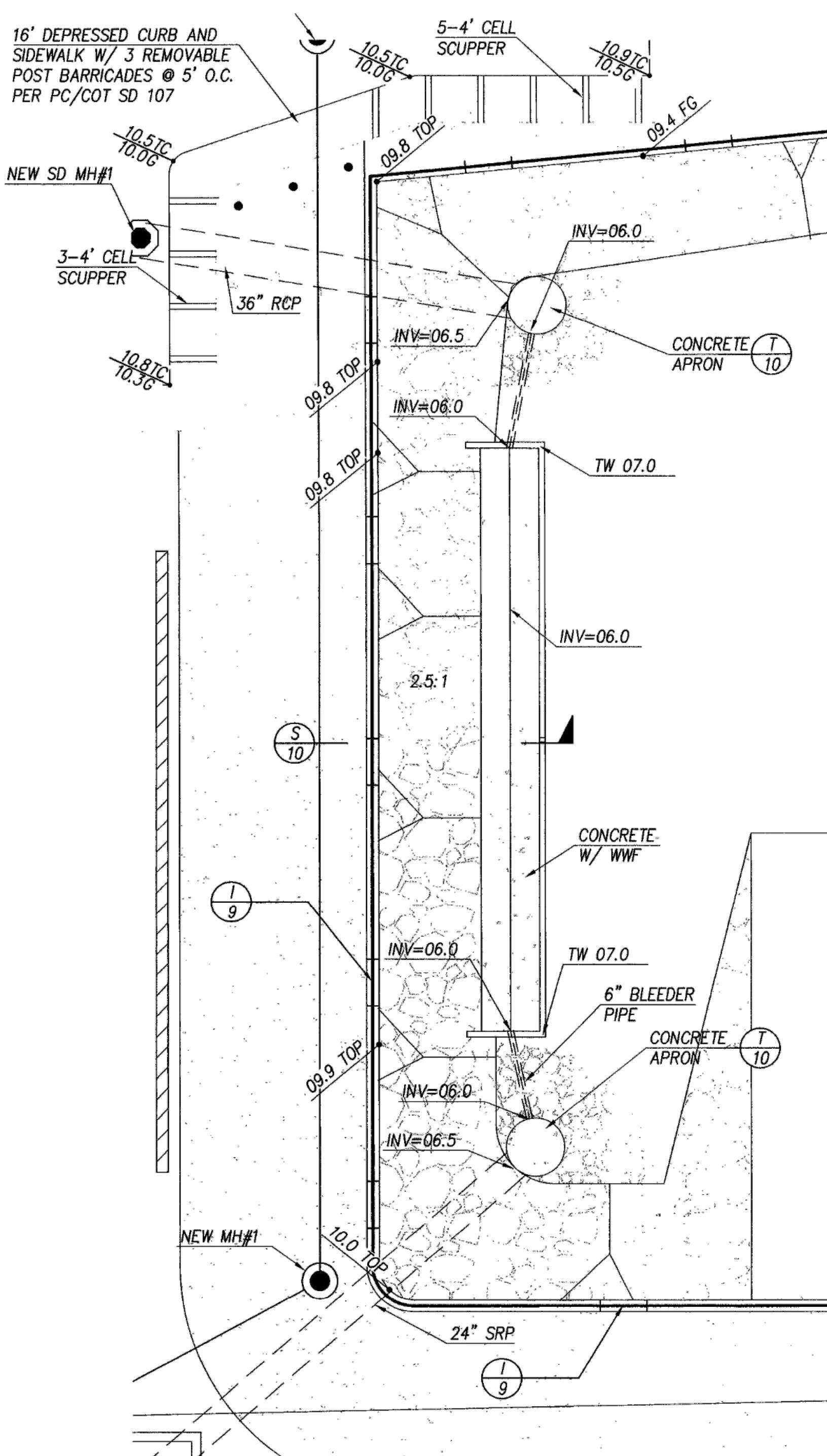


P 10 N-S TREATMENT BASIN SECTION NTS

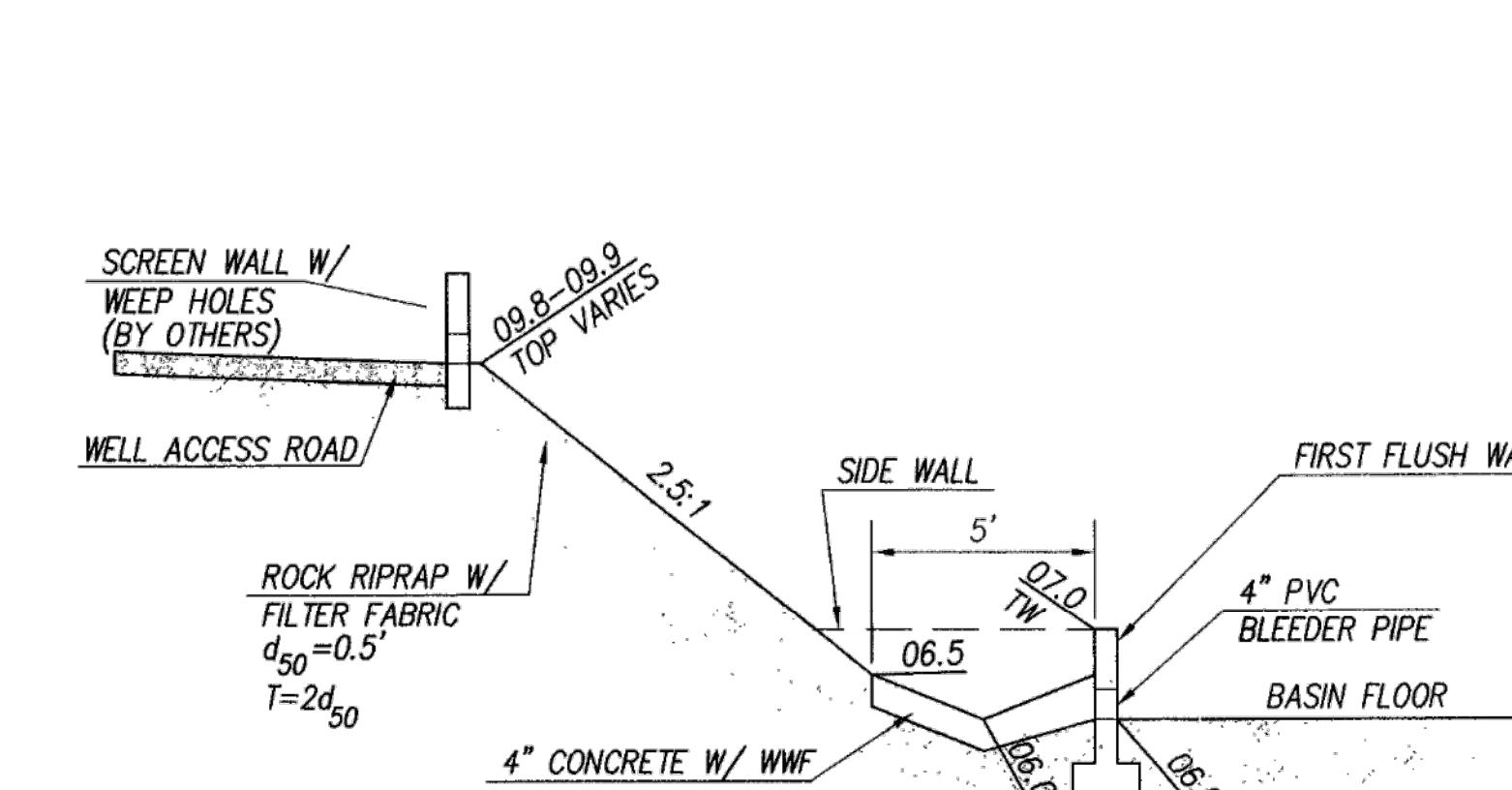


Q 10 TYPICAL RETAINING WALL SECTION  
ON SITE NTS

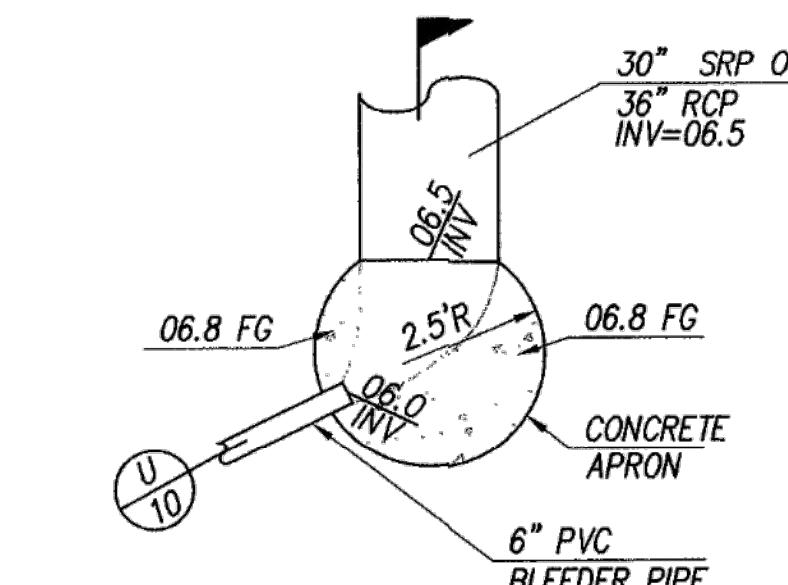
BLDG #	FG ELEV.	TW ELEV.	BW ELEV.	TC ELEV.
4	16.3 (SOUTH)	VARIABLES 15.0-15.1	VARIABLES 12.7-13.6	VARIABLES 12.6-13.5
6	24.4	VARIABLES 23.5-24.2	VARIABLES 18.2-20.9	VARIABLES 18.1-20.8
8	24.0 (SOUTH)	VARIABLES 22.2-22.5	VARIABLES 21.4-21.9	VARIABLES 21.3-21.8



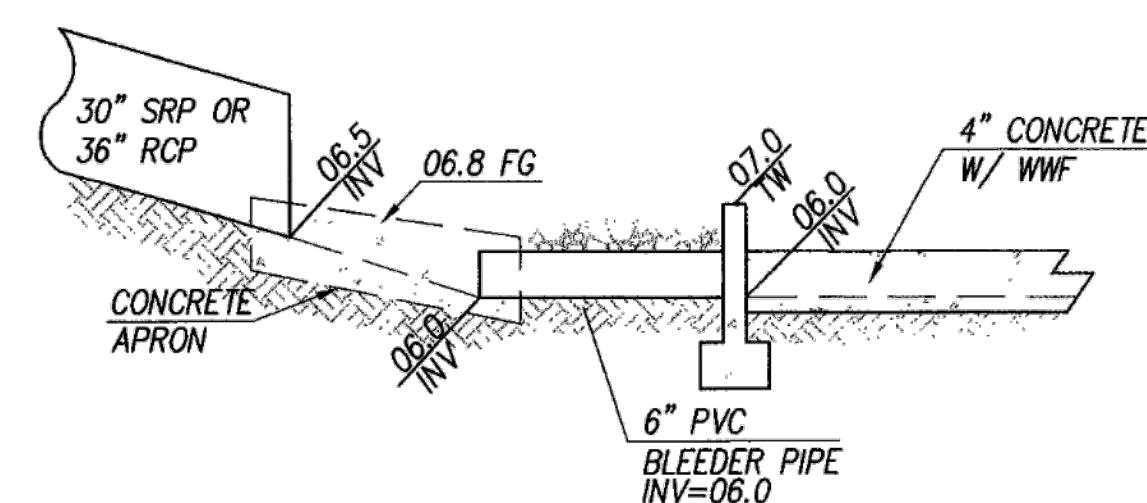
TREATMENT BASIN WALL DETAIL



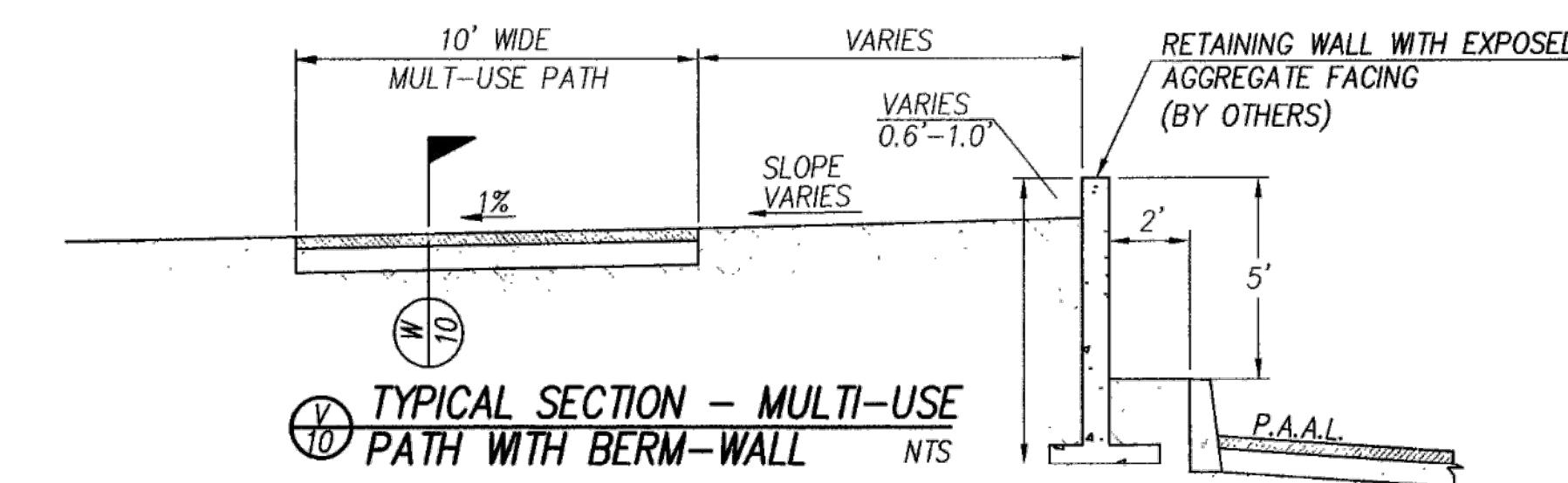
**TREATMENT BASIN WALL SECTION**



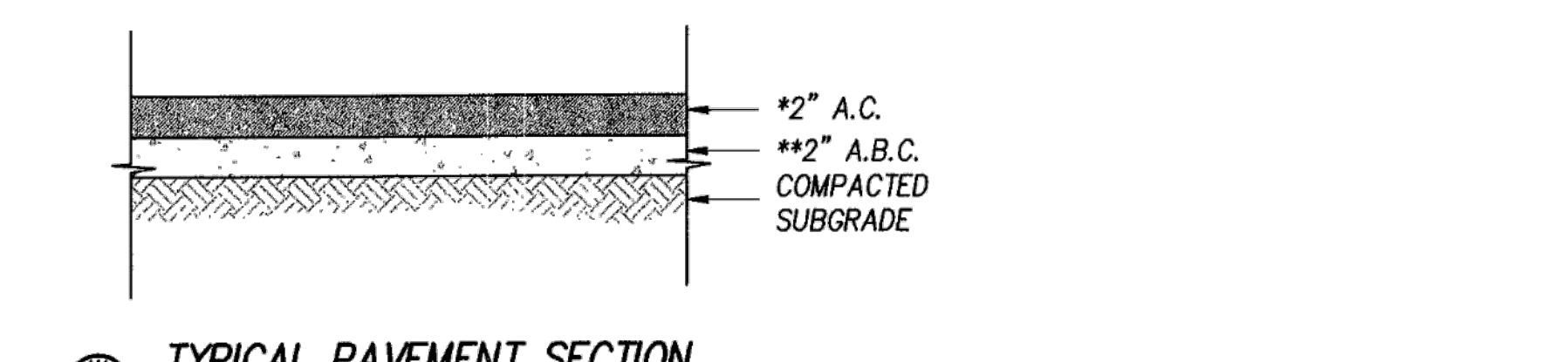
TYPICAL CONCRETE APRON DETAIL



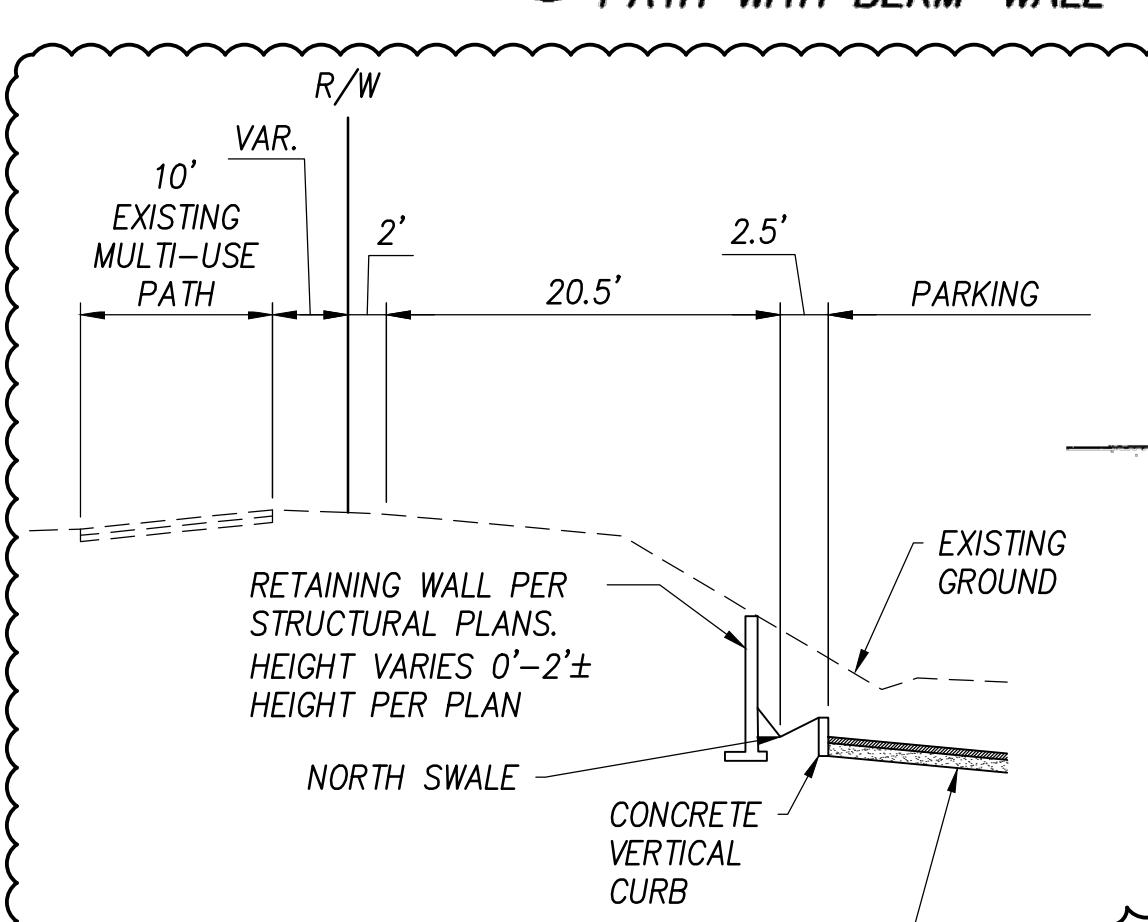
U  
10 TYPICAL STORM DRAIN OUTLET SECTION NTS



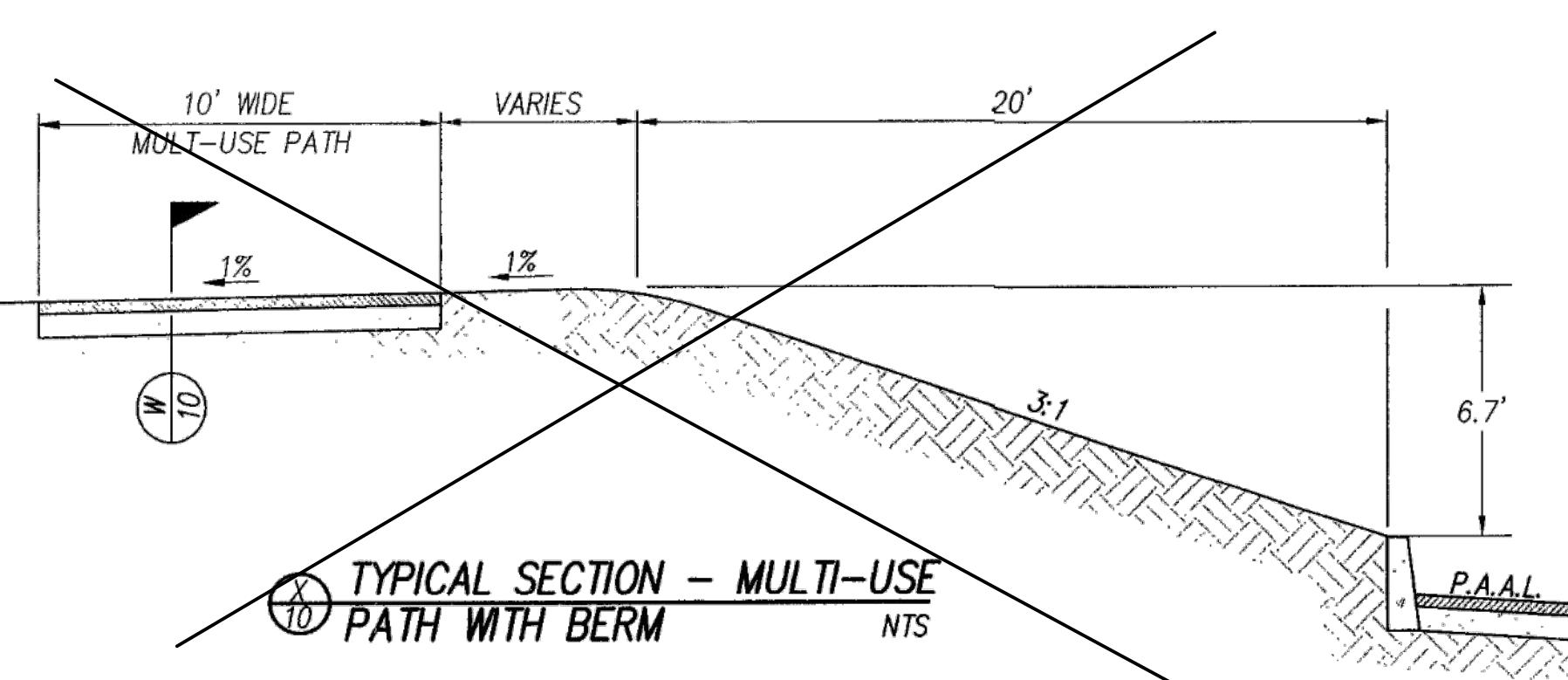
**TYPICAL SECTION - MULTI-US  
PATH WTH BERM-WALL**



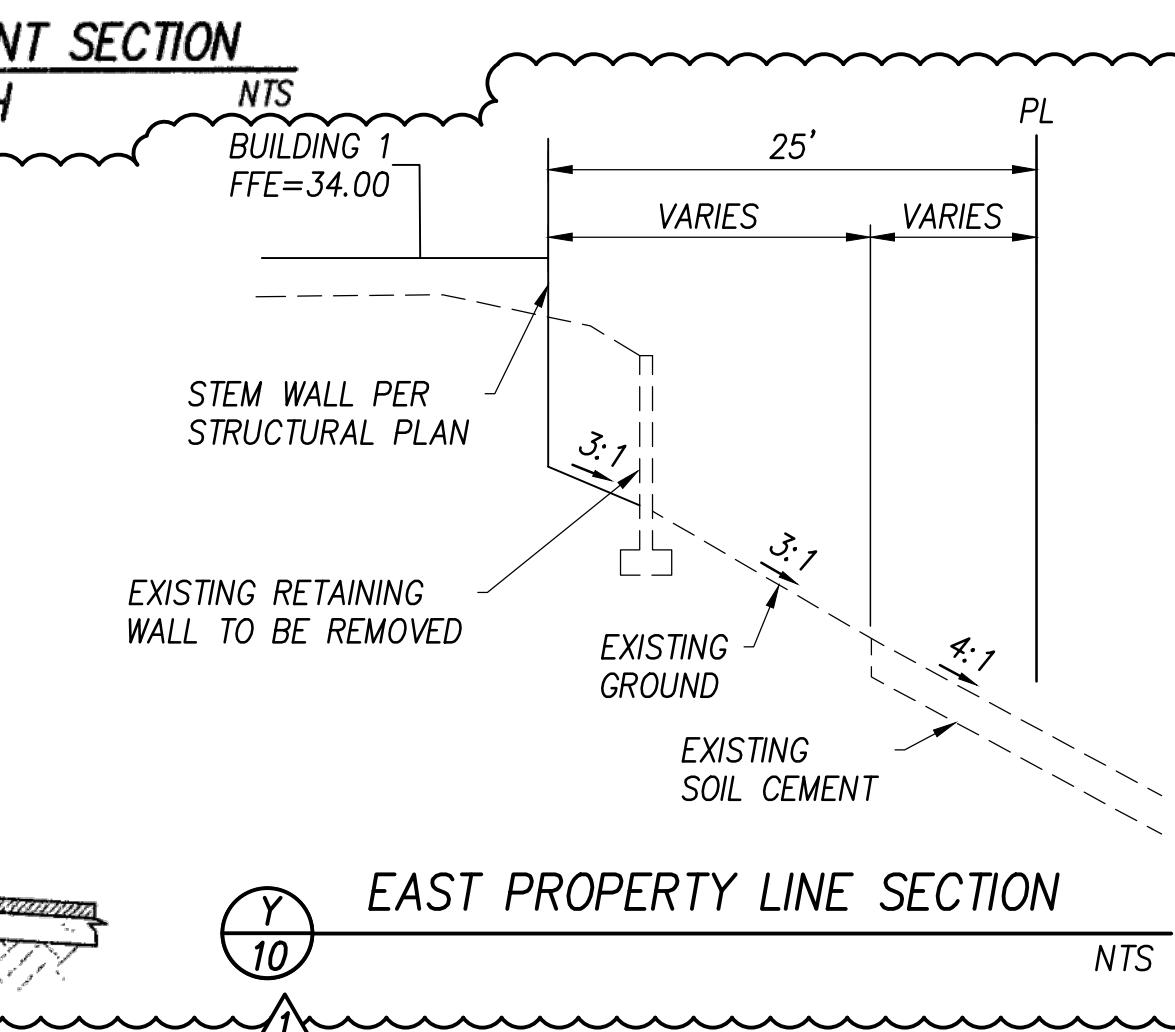
**TYPICAL PAVEMENT SECTION**  
**MULTI-USE PATH**



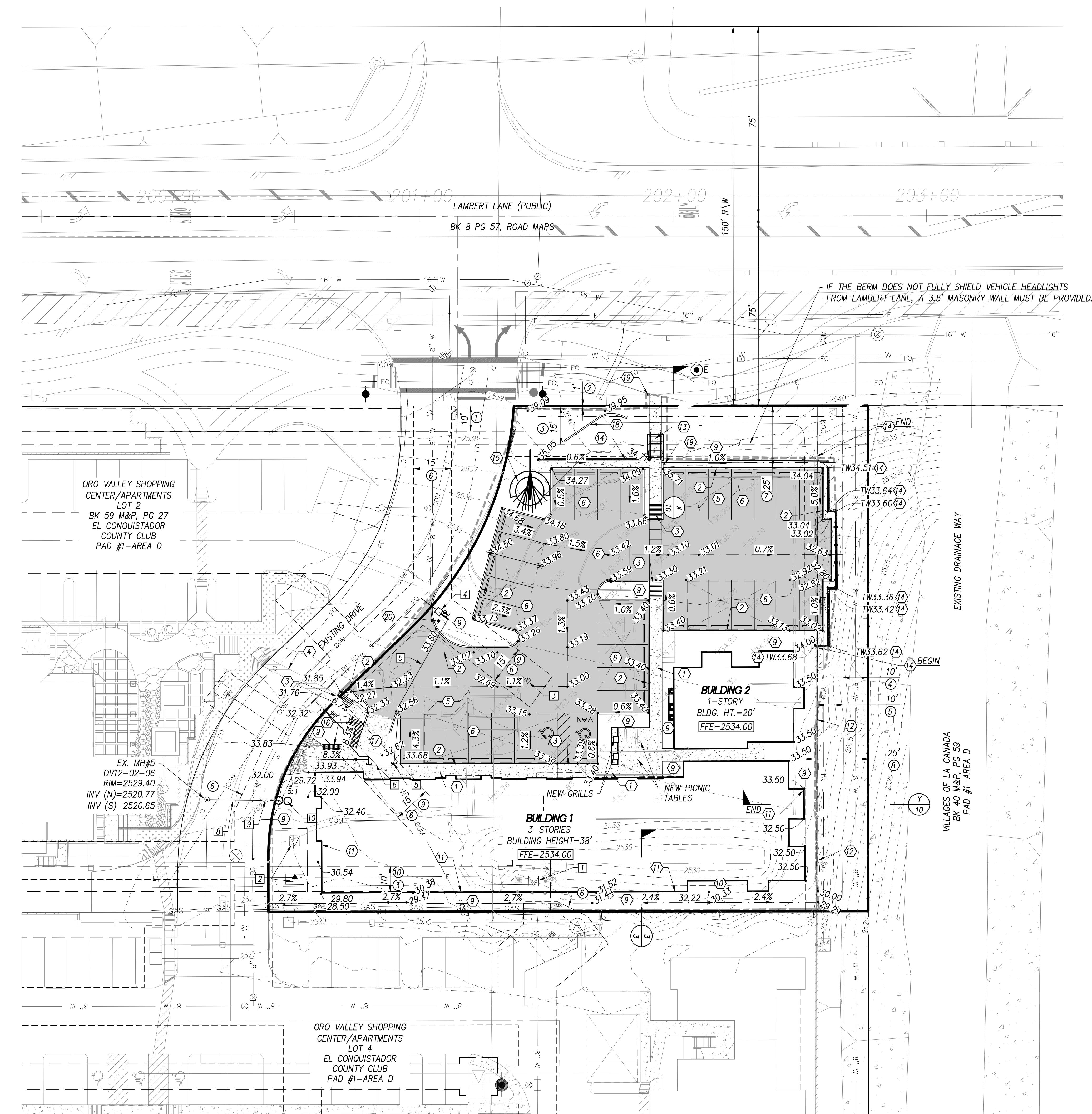
*NORTHEAST PROPERTY LINE SECTION*



X 10 TYPICAL SECTION - MULTI-  
PATH WITH BERM



**EAST PROPERTY LINE SECTION**



SCALE: 1" = 2



## SITE KEYNOTES

- ① 10' PUBLIC TELEPHONE EASEMENT DKT. 7044, PG. 819.
- ② 1' PUBLIC NO ACCESS EASEMENT BK 59, PG 27.
- ③ PUBLIC UTILITY EASEMENT DKT. 12650, PG. 2014.
- ④ 10' PUBLIC FOOTHILLS WATER EASEMENT DKT. 7926, PG. 1733.
- ⑤ 10' PUBLIC TEP EASEMENT DKT. 7719, PG. 1644.
- ⑥ PUBLIC INGRESS/EGRESS & UTILITY EASEMENT DKT. 13307, PG. 3455.
- ⑦ 25' BUFFERYARD
- ⑧ 25' BUILDING SETBACK.
- ⑨ VACATE WATER EASEMENT AND REMOVE WATER LINE.
- ⑩ VACATE ELECTRIC EASEMENT.

## GRADING KEYNOTES

- ① CONCRETE SIDEWALK PER PAG SD 200
- ② CONCRETE CURB W/6" REVEAL, TYPE 2, PER PAG SD 209
- ③ CURB ACCESS RAMP WITH TRUNCATED DOMES PER PAG SD 207.
- ④ EXISTING CROSSWALK.
- ⑤ PROPOSED PAVEMENT.
- ⑥ PROPOSED PARKING.
- ⑦ PROPOSED CONCRETE WHEEL STOPS.
- ⑧ BICYCLE SPACES.
- ⑨ LANDSCAPE AREA (TYP.)
- ⑩ NEW HARDSCAPE PER ARCHITECTURAL PLAN.
- ⑪ PROPOSED STEM WALL, HEIGHT PER PLAN.
- ⑫ EXISTING RETAINING WALL TO BE REMOVED.
- ⑬ STEPS WITH RETAINING WALL AND HANDRAIL, SEE CD'S FOR DETAILS.
- ⑭ PROPOSED RETAINING WALL, HEIGHT PER PLAN, WITH HANDRAIL ON TOP OF WALL PER PAG SD 105.
- ⑮ EXISTING PUBLIC ART/MONUMENT TO BE RELOCATED IN LOCATION SHOWN.
- ⑯ PROPOSED RAMP AND HANDRAIL, SEE ARCHITECT PLANS FOR DETAILS.
- ⑰ PROPOSED REFUSE ENCLOSURE.
- ⑱ RELOCATED SIGN WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑲ NEW SIGN – NO ADA ACCESS.

## NEW STOP SIGN UTILITY KEYNOTES

- 1 EXISTING TRANSFORMER TO BE RELOCATED
- 2 RELOCATED ELECTRIC TRANSFORMER AND NEW J-BOX.
- 3 EXISTING WATER METER TO BE RELOCATED. SHORTEN EXISTING SERVICE TO RELOCATED METER LOCATION
- 4 RELOCATED WATER METER.
- 5 PROPOSED PRIVATE WATER SERVICE LINE, STUB 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- 6 REMOVE EXISTING FIRE LINE BACK TO 5' FROM BUILDING AND REROUTE AROUND NEW TRASH ENCLOSURE., SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- 7 CONNECT NEW HCS TO EXISTING MH#5 PER PC RWRD SD 402.  
NEW INV=2521.00.
- 8 PROPOSED PRIVATE 28.44 LF HCS @ 2.00% SLOPE
- 9 PROPOSED PRIVATE 10.33 LF HCS @ 2.00% SLOPE.
- 10 PROPOSED DOUBLE CLEANOUT 5' FROM BUILDING,  
HCS INV=2521.78, SEE PLUMBING PLANS FOR CONTINUATION.

# MASTER DEVELOPMENT PLAN FOR

OROVISTA APARTMENTS  
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,  
SECTION 14, T 12 S, R 13 E, G&SRM,  
TRAILER PARK, LA CANADA, CALIFORNIA

**EEC**  
Engineering and Environment

Engineering and Environmental Consultants, Inc.

CONTOUR INTERVAL = 1 FOOT  
JULY 2022  
FFC JOB NO 20004

REF CASE: OV12-02-06  
SCALE: 1" = 20'  
SHEET 11 OF 11

 1	07/20/2022	ORO VISTA APARTMENTS	BWT	SMT	
NO.	DATE	REVISION	BY	CH	APPR

DP BK 27 PG 11 SHT 11 OF 1

DP BK 27 PG 11 SHT 11 OF 1