

GENERAL NOTES

1. THE GROSS AREA OF THIS DEVELOPMENT IS 0.88 ACRES (38,333 S.F.).
2. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
3. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
4. ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT ARE PER THE EL CONQUISTADOR PAD #1-AREA D 0V12-02-06, WILL BE A CONDITION OF DEVELOPMENT.
5. ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, PER PAD #1 0V12-02-06A, WILL BE A CONDITION OF DEVELOPMENT.
6. ASSURANCES FOR WATER SERVICES, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
7. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
8. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
9. ALL WEATHER ACCESS MUST BE PROVIDED TO THE DEVELOPMENT.
10. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWED BUILDING HEIGHT FOR THIS DEVELOPMENT IS 3 STORIES/38 FEET.
2. THE PROPOSED BUILDING HEIGHT IS 3 STORIES/38 FEET.
3. THE TOTAL AMOUNT OF USABLE OPEN SPACE REQUIRED FOR THIS PROJECT IS 4,800 SF.
4. THE TOTAL AMOUNT OF USABLE OPEN SPACE PROVIDED WITHIN THIS PROJECT IS 4,869 SF.
5. THE ENTIRE DEVELOPMENT REQUIRED LANDSCAPED OPEN SPACE IS 0.95 ACRES.
6. THE TOTAL AMOUNT OF LANDSCAPED AREA WITHIN THIS PROJECT IS 10,500 SF.
7. THE LANDSCAPE BUFFERYARD (B) FOR THIS PROJECT IS:
 - NORTH (LAMBERT LANE) = 25' MINIMUM.
 - EASTERN PAD BOUNDARY = 5' MINIMUM.
8. THE BUILDING SETBACKS FOR THIS PROJECT ARE:
 - PUBLIC STREET = 90'
 - ADJACENT PAD = 25'
9. EXISTING ZONING IS EL CONQUISTADOR COUNTRY CLUB-AREA D.
10. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEERING GENERAL NOTES

1. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
2. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
3. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE DEVELOPMENT.
4. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
2. ORO VALLEY WATER UTILITY SHALL BE THE WATER PROVIDER.
3. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
4. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100-YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
5. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME OF 3600 SQUARE FEET OR LESS WHEN REQUIRED FIRE FLOW OF 1000 GPM IS NOT WITHIN 600 FEET OF THE HOME. HOMES OF 3601+ SQUARE FEET SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THE REQUIRED FIRE FLOW PRESCRIBED BY IFC TABLE B105.1 IS NOT AVAILABLE WITHIN 600 FEET OF THE HOME. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.
6. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
7. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
8. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
9. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
10. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

DRAINAGE GENERAL NOTES

1. ALL DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGEWAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGEWAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
4. DRAINAGEWAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
5. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - INTERNATIONAL CODES WITH LOCAL AMENDMENTS
 - NATIONAL ELECTRICAL CODE
 - ADA STANDARDS FOR ACCESSIBLE DESIGN
 - GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
 - TOWN OF ORO VALLEY POOL CODE
 - PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
 - TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
 - TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
 - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
 - ORO VALLEY TOWN CODE, CURRENT REVISED

PARKING CALCULATIONS

1. PARKING REQUIRED

$$2 \text{ SPACES PER UNIT} \times 16 \text{ UNITS} = 32 \text{ SPACES}$$

$$1 \text{ GUEST SPACE PER 4 UNITS} = 4 \text{ SPACES}$$

$$\text{TOTAL REQUIRED} = 36 \text{ SPACES}$$
2. ADA REQUIRED = 2 PER 25 SPACES.
3. PARKING PROVIDED

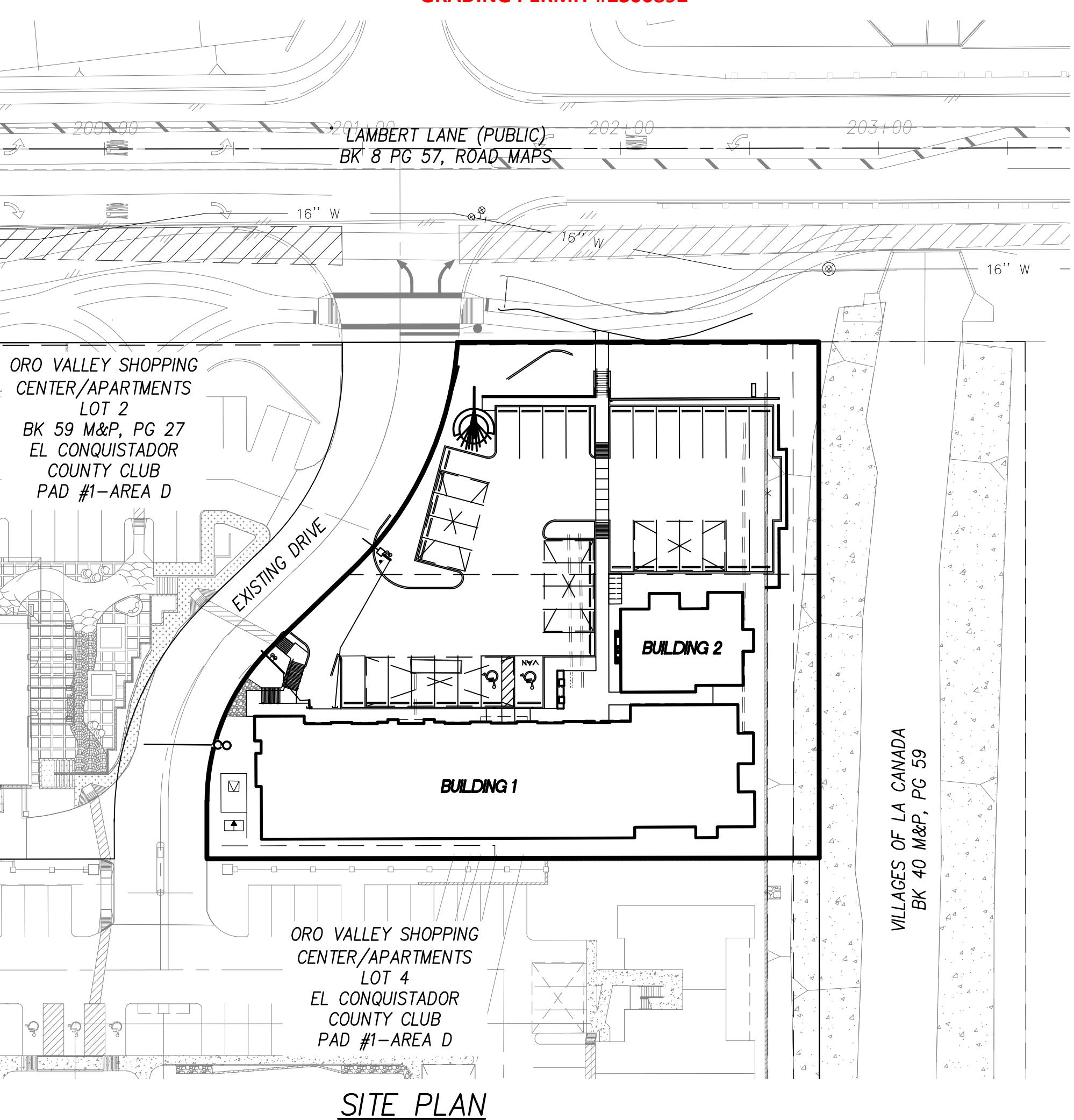
$$36 \text{ SPACES, 2 OF WHICH ARE ADA STALLS.}$$
4. BIKE SPACES REQUIRED = 1 per 20 VEHICLE SPACES = $36/20 = 1.8 \text{ SPACE}$
5. BIKE SPACES PROVIDED = 6 SPACES.

FINAL SITE PLAN/CIVIL IMPROVEMENT PLAN

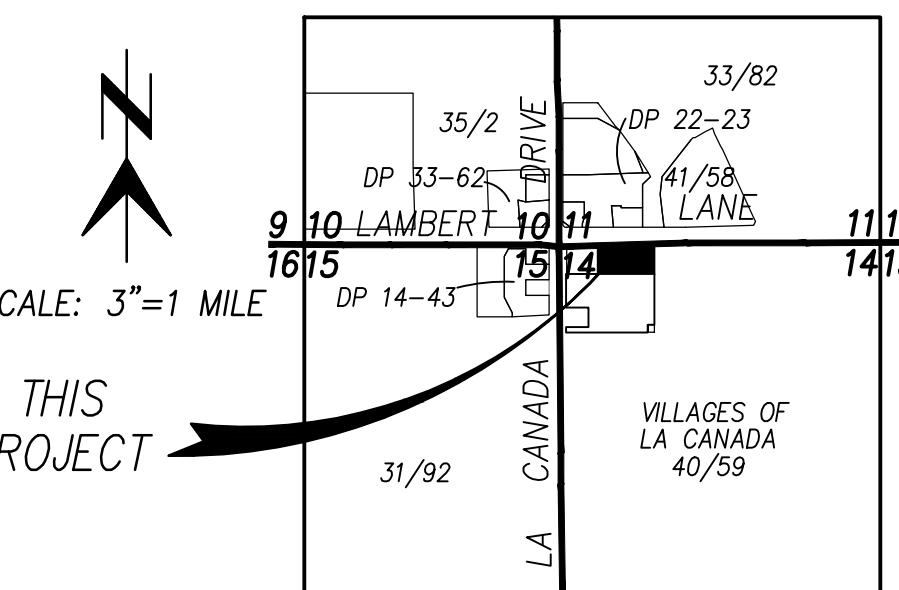
ORO VISTA APARTMENTS PHASE 2

2002073

GRADING PERMIT #2300892

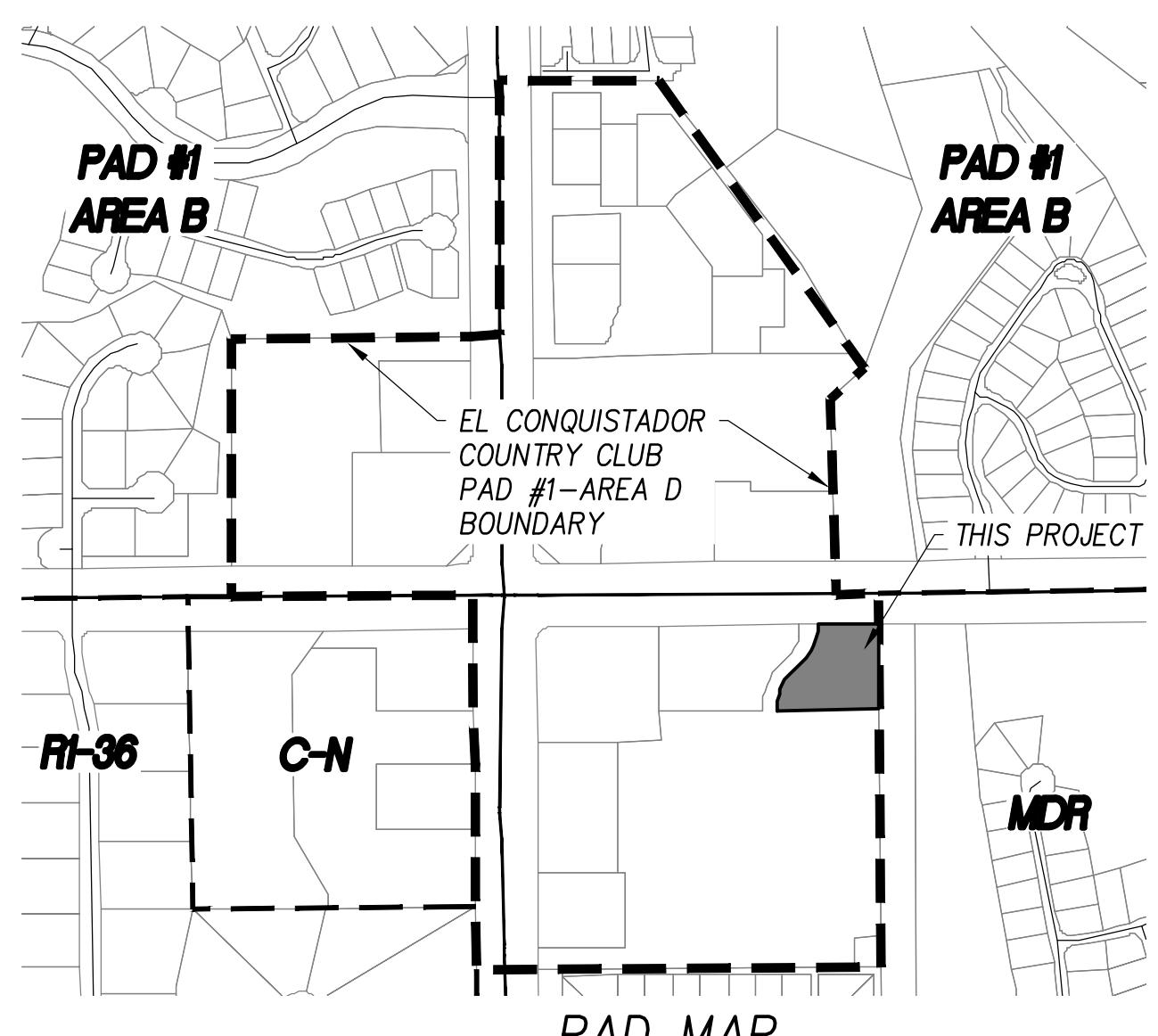


SITE PLAN



LOCATION MAP

PORTION OF SECTION 14,
T.12 S., R.13 E.
G. & S.R.M., PIMA COUNTY, ARIZONA



PAD MAP

APPROVED

PLANNING AND ZONING ADMINISTRATOR

DATE

TOWN ENGINEER

DATE

ORO VALLEY WATER UTILITY DIRECTOR

DATE

OWNER/DEVELOPER

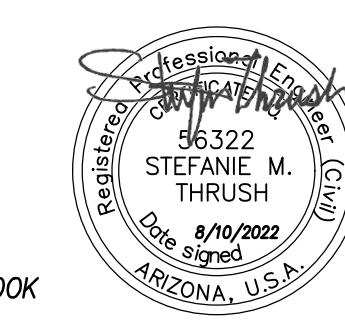
ORO VISTA SHOPPING CENTER
THE BEZTAK COMPANIES
31731 NORTHWESTERN HWY, SUITE 250W
FARMINGTON HILLS, MI 48334
ATTN: STEPHANIE THRUSH, P.E.
EMAIL: sthrush@ecccorp.com
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ENGINEER

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SHEET INDEX

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SHEET 2 NOTES
SHEET 3 PLAN SHEET
SHEET 4-6 DETAILS
SHEET 7 HORIZONTAL CONTROL PLAN



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2002073

FINAL SITE PLAN/CIVIL IMPROVEMENT PLAN

FOR

ORO VISTA APARTMENTS PHASE 2
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T.12 S., R.13 E., G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

REF CASE: 0V12-02-06A AND (0)79

0V12-02-06A AND (0)79

SCALE: 1"=40'

SHEET 1 OF 7

GENERAL NOTES

- CUT/FILL SLOPE TREATMENT:
 - SLOPES 3:1 AND FLATTER SHALL BE REVEGETATED.
 - SLOPES 2:1 TO 3:1 SHALL BE ONE-FOOT THICK RIP-RAP ($D_{50}=6"$) OVER FILTER FABRIC.
 - SLOPES 1:1 TO 2:1 SHALL BE HAND PLACED RIP-RAP ($D_{50}=6"$) IN 4" THICK LAYER OF GROUT, WITH THE ROCK EMBEDDED HALF THE DIAMETER.
- SEE DEMOLITION PLAN FOR EXISTING ITEMS TO BE REMOVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPLACED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT. ALL REPAIR REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN PERMITS INCLUDING THOSE FOR GRADING AND AIR POLLUTION, REQUIRED BY GOVERNMENTAL AGENCIES, NO WORK AS DELINEATED ON THESE PLANS, SHALL BE STARTED UNTIL THE CONTRACTOR HAS OBTAINED THE NECESSARY PERMITS.
- THE CONTRACTOR SHALL LOCATE ALL STRUCTURES, UNDERGROUND PIPELINES, ELECTRICAL AND TELEPHONE CONDUITS, WHETHER SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO CONSTRUCTION, AND SHALL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO THESE FACILITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL, AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES BETWEEN HIS ESTIMATED QUANTITIES AND THOSE SHOWN ON THE PLANS.
- ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THESE PLANS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT TO CONSTRUCT/INSTALL THE IMPROVEMENTS SHOWN ON THESE PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL CALL BLUE STAKE (1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES AT LEAST 2 (TWO) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE REGULATIONS.
- A REPORT OF SOILS INVESTIGATION INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY NINYO AND MOORE, NINYO AND MOORE JOB NUMBER 604873001, DATED SEPTEMBER 8, 2015. EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS MADE THERETO.
- AS-BUILT PLANS SHALL BE REQUIRED WHEN CONSTRUCTION IS COMPLETE, TO SATISFY CLOSEOUT OF THE FLOODPLAIN USE PERMIT IN PIMA COUNTY. AS-BUILT PLANS MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
- A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES OR DURING CONSTRUCTION.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
- BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISHED BUILDING PAD ELEVATIONS AS SHOWN ON THIS PLAN. STREETS & PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF PROPOSED FINISH GRADE ELEVATIONS AS SHOWN ON THIS PLAN.
- THE AREA OF DISTURBANCE (GRADING AND UTILITY CONSTRUCTION) FOR THIS PROJECT IS 18,270 SF, OR 0.42 ACRES.
- THE PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT AS-BUILT RECORD DRAWINGS AND CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS-BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE DEPARTMENT OF PUBLIC WORKS AND THE RELEASE OF ASSURANCE, EXCEPT FOR MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED THE ABOVE PERTAINS TO EACH PHASE.

PAVING AND GRADING NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSPI) 2003 EDITION, EXCEPT AS MODIFIED HEREBY.
- ALL CONCRETE SHALL COMPLY TO PC/COT SSPI SECTION 1006, CLASS S, 3,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY.
- A SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
- THE CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLES AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RINGS AND COVERS TO THE NEW FINISHED GRADE.
- EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PC/COT SSPI, SECTION 203-5.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSPI #303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSPI #406, MIX NO. 2 (SUBDIVISION MIX 4.0% voids), MIX NO. 2 (ARTERIAL MIX 5.5% voids).
- ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PC/COT SSPI, EDITION OF 2003, EXCEPT AS MODIFIED HEREBY.
- ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27, SECTION 9 OF THE ORO VALLEY ZONING CODE REVISED, JULY 2007.
- ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
 - WALL(S), RETAINING OR OTHER TYPE(S);
 - ANY REINFORCED CONCRETE STRUCTURE(S);
 - ANY ENCROALEMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE.
- THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
- THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUPERORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH ADEQ STORMWATER DISCHARGE PERMIT IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.,) ENCROACHING OR AFFECTING - DIRECTLY OR INDIRECTLY - ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS (OR) ON THIS PLAT.
- THE TOWN WILL, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS AND FINAL PLAT, PERFORM A FIELD REVIEW OF THE DEVELOPMENT. FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW.
- BENCHMARKS:

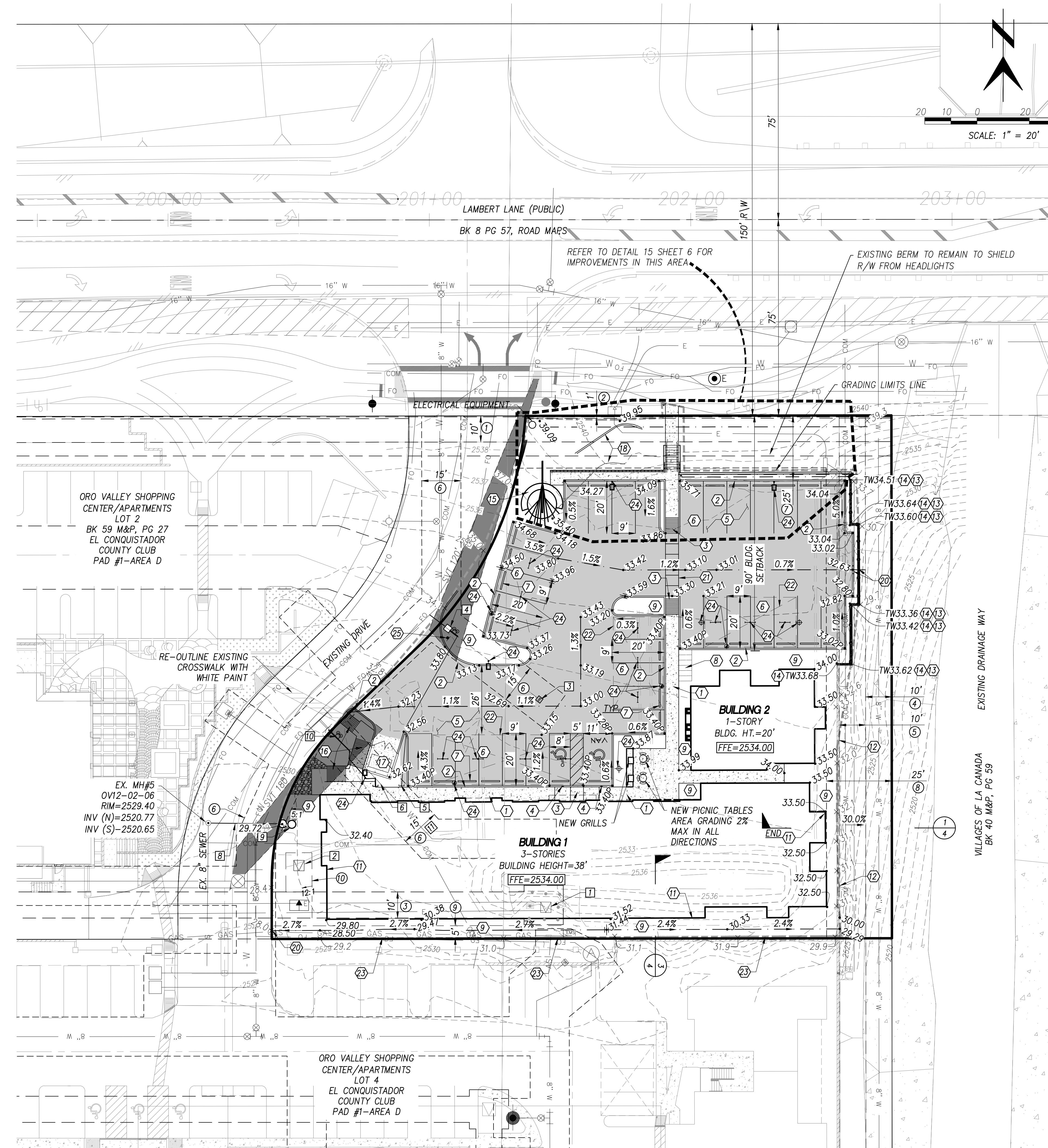
BENCHMARK NO. 1 IS A 60D NAIL SOUTHEAST PANEL POINT, 25'± SOUTH OF SOUTHEAST BOUNDARY CORNER. SAID BENCHMARK NO. 1 HAS AN ELEVATION OF 2693.43.

BENCHMARK NO. 2 IS A 40D NAIL NORTHEAST PANEL POINT, 1.5'± WEST OF NORTHEAST BOUNDARY CORNER. SAID BENCHMARK NO. 2 HAS AN ELEVATION OF 2688.88.
- ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.



eeC
Engineering and Environmental Consultants, Inc.
civil engineering • land development
surveying • environmental services
staking • flood control and drainage
transportation
EXPIRES 3/31/2023

2002073
FINAL SITE PLAN/CIVIL IMPROVEMENT PLAN
FOR
ORO VISTA APARTMENTS PHASE 2
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
REF CASE: 0112-02-06
0112-02-06A AND (0)79
CONTOUR INTERVAL = 1 FOOT
JULY 2022
EEC JOB NO 20004
SCALE: 1"=40'
SHEET 2 OF 7



SITE KEYNOTES

- ① 10' PUBLIC TELEPHONE EASEMENT DKT. 7044, PG. 819.
- ② 1' PUBLIC NO ACCESS EASEMENT BK 59, PG 27.
- ③ 10' PUBLIC UTILITY EASEMENT DKT. 12650, PG. 2014. TO BE VACATED UNDER BLDG.
- ④ 10' PUBLIC FOOTHILLS WATER EASEMENT DKT. 7926, PG. 1733.
- ⑤ 10' PUBLIC TEP EASEMENT DKT. 7719, PG. 1644.
- ⑥ PUBLIC INGRESS/EGRESS & UTILITY EASEMENT DKT. 13307, PG. 3455. TO BE VACATED UNDER BUILDING/NEW DRIVEWAY.
- ⑦ 25' BUFFERYARD, TYPE "B"
- ⑧ 25' BUILDING SETBACK.
- ⑨ NEW 5' GAS EASEMENT BY SEPARATE INSTRUMENT.
- ⑩ NEW 15' PUBLIC ELECTRIC EASEMENT BY SEPARATE INSTRUMENT.

GRADING KEYNOTES

- ⑪ CONCRETE SIDEWALK PER PAG SD 200
- ⑫ CONCRETE CURB W/6" REVEAL, TYPE 2, PER PAG SD 209
- ⑬ CURB ACCESS RAMP WITH TRUNCATED DOMES PER PAG SD 207.
- ⑭ ADA PARKING SIGN PER DETAIL 10 SHEET 5.
- ⑮ PROPOSED PAVEMENT PER GEOTECH RECOMMENDATION. REFER TO DTL 13 ON SHT 5 FOR PAVEMENT SECTIONS.
- ⑯ PROPOSED PARKING, STRIPING PER ARCHITECTURAL PLAN.
- ⑰ PROPOSED CONCRETE WHEEL STOPS PER DTL 7 SHT 4.
- ⑱ BICYCLE SPACES PER DETAIL 6 SHEET 4.
- ⑲ LANDSCAPE AREA (TYP.) PER LANDSCAPE PLAN.
- ⑳ NEW HARSCAPE PER ARCHITECTURAL PLAN.
- ㉑ PROPOSED STEM WALL PER BUILDING PLAN, HEIGHT PER PLAN. EXPOSED SIDE TO BE STUCCO PAINTED TO MATCH BUILDING.
- ㉒ EXISTING RETAINING WALL TO BE REMOVED.
- ㉓ CMU "STACK" WALL WITH STUCCO AND PAINT TO MATCH BLDG. HEIGHT = 3.5' MIN. ABOVE RETAINING WALL. SEE DTL 21 SHEET 4.
- ㉔ PROPOSED RETAINING WALL PER STRUCTURAL PLANS. EXPOSED SIDE TO BE STUCCO PAINTED TO MATCH BUILDING.
- ㉕ EXISTING PUBLIC ART/MONUMENT TO BE RELOCATED IN LOCATION SHOWN. BASE DESIGN BY OTHERS.
- ㉖ PROPOSED RAMP AND HANDRAIL (MAX 2% AT LANDINGS), SEE DETAIL 16 SHEET 6.
- ㉗ PROPOSED REFUSE ENCLOSURE PER DTL 11 SHEET 5.
- ㉘ EXISTING SIGN TO BE RELOCATED PER ARCHITECTURAL PLAN. LENGTH REDUCED TO FIT.
- ㉙ CONTINOUS HANDRAIL (BOTH SIDES) PER PAG DTL 105.
- ㉚ 4' WIDE CURB OPENING, PER DETAIL 5 SHEET 4, AND WALL OPENING PER STRUCTURAL PLANS.
- ㉛ CROSS-WALK PER DTL 14 SHT 5.
- ㉜ COVERED PARKING STRUCTURE PER ARCHITECTURAL PLANS..
- ㉝ EXISTING RETAINING WALL TO REMAIN.
- ㉞ SITE LIGHTING, PER SITE LIGHTING PLAN.
- ㉟ NEW STOP SIGN, PER DTL 20 SHT 5.

UTILITY KEYNOTES

- ㉟ EXISTING TRANSFORMER TO BE RELOCATED
- ㉟ RELOCATED ELECTRIC TRANSFORMER.
- ㉟ EXISTING WATER METER TO BE RELOCATED. SHORTEN EXISTING SERVICE TO RELOCATED METER LOCATION. INSTALL BACKFLOW PREVENTER.
- ㉟ RELOCATED DOMESTIC WATER METER WITH NEW BACKFLOW PREVENTER.
- ㉟ PROPOSED PRIVATE WATER SERVICE LINE, STUB 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- ㉟ REMOVE EXISTING FIRE LINE BACK TO 5' FROM BUILDING AND REROUTE AROUND NEW TRASH ENCLOSURE. INSTALL BACKFLOW PREVENTER. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- ㉟ CONNECT NEW HCS TO EXISTING MH#5 PER PC RWD SD 402. NEW INV=2521.00. TYPE I TRENCH PATCH PER PAG 216. MATCH EX PVMT.
- ㉟ PROPOSED PRIVATE 28.44 LF HCS @ 2.00% SLOPE
- ㉟ PROPOSED DOUBLE CLEANOUT 5' FROM BUILDING, HCS INV=2521.57, SEE PLUMBING PLANS FOR CONTINUATION.
- ㉟ FIRE LINE BACKFLOW PREVENTER.
- ㉟ REMOVE WATERLINE UNDER NEW BUILDING.



EXPIRES 3/31/2023

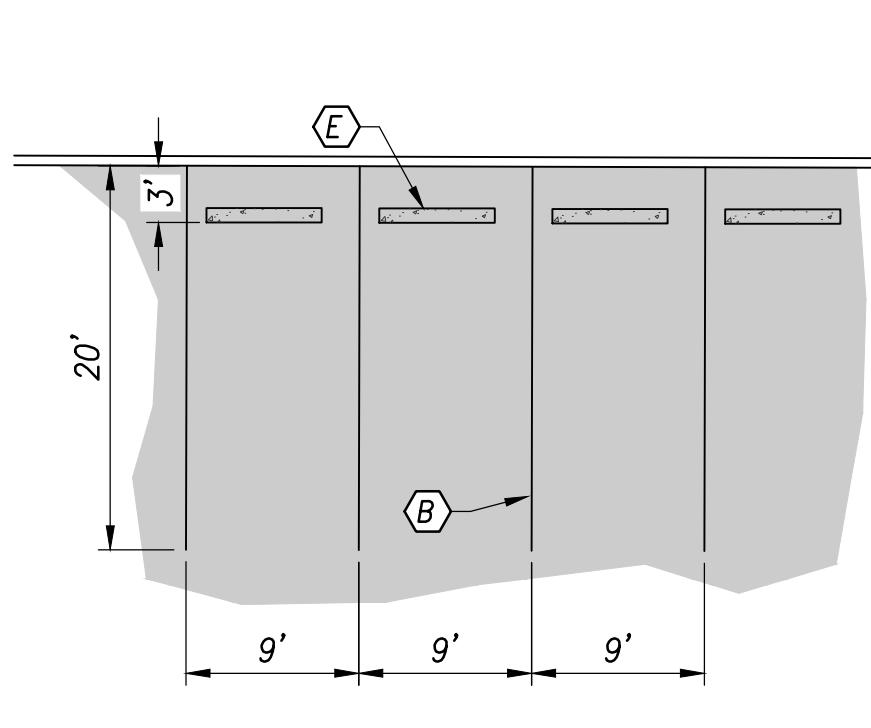
2002073

FINAL SITE PLAN/CIVIL IMPROVEMENT PLAN
FORORO VISTA APARTMENTS PHASE 2
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Engineering and Environmental Consultants, Inc.
555 E River Road | Tucson, Arizona 85704
Tel 520.321.4625 | Fax 520.321.0333

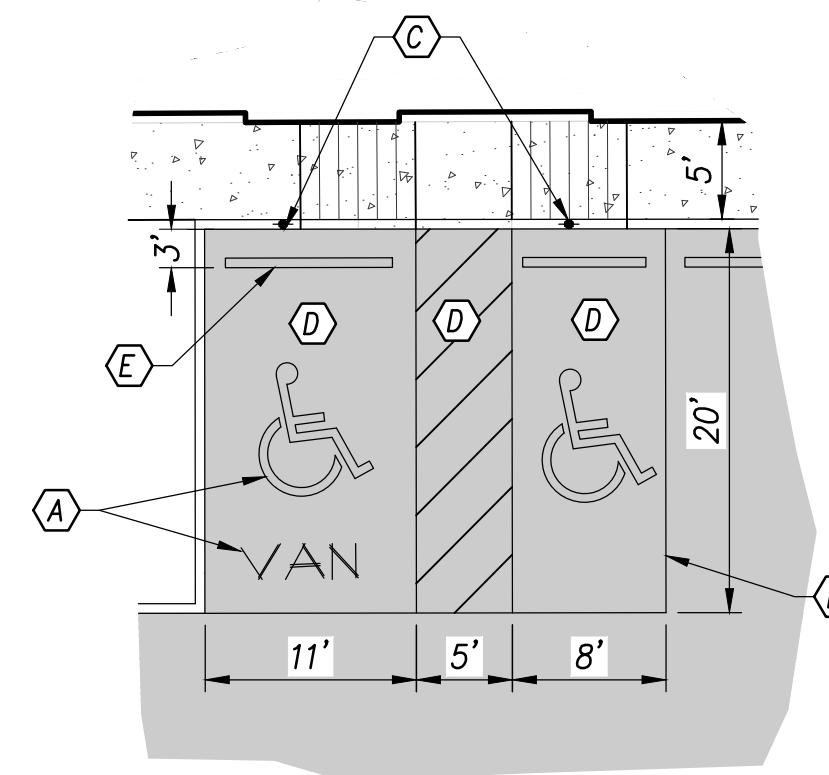
CONTOUR INTERVAL = 1 FOOT
JULY 2022
EEC JOB NO 20004
REF CASE: OVI12-02-06
OVI12-02-06A AND (0)79
SCALE: 1"=20'
SHEET 3 of 7

FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2



8 STANDARD PARKING DETAIL NTS

- (A) DISABLED PARKING PAVEMENT MARKINGS PER PC/COT & A.D.A. STD'S. (COLOR, SYMBOL, STRIPING)
- (B) 4" WHITE STRIPE
- (C) DISABLED PARKING SIGN, SEE DETAIL 10 SHEET 5. POST MOUNTED IN CURB.
- (D) A MAXIMUM 2% (1:48) SLOPE IN ALL DIRECTIONS AT ALL AREAS OF THE ACCESSIBLE PARKING LAYOUT AS PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SECTION 502.4.
- (E) WHEEL STOP PER DETAIL 7 SHEET 4.



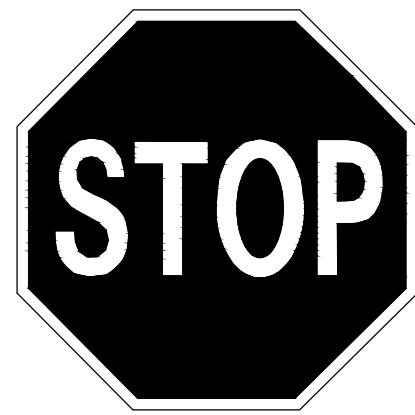
9 ADA AND VAN PARKING DETAIL 1"=10'

NOTES:

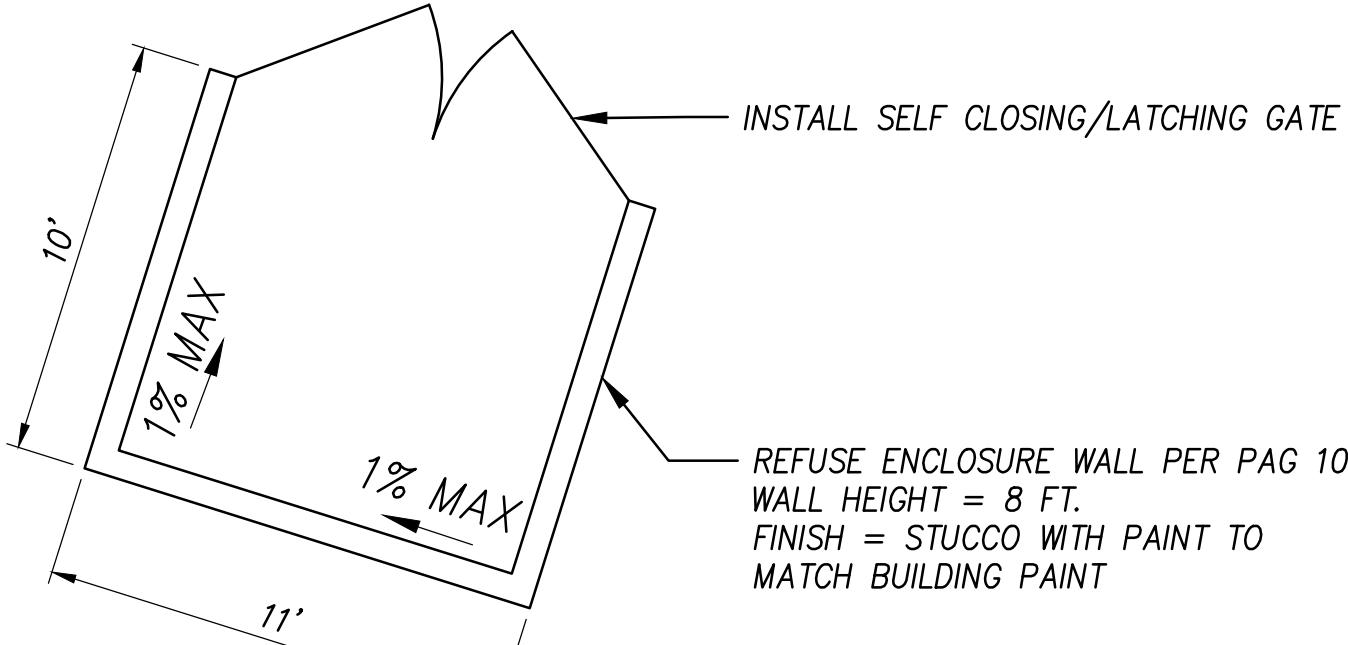
1. ALL DIMENSIONS ARE GIVEN IN INCHES.
2. THESE SIGNS ARE NOT AVAILABLE THROUGH THE TOWN, BUT CAN BE PURCHASED AT PRIVATE BARRICADE AND SIGN COMPANIES.
3. BOTTOM OF "RESERVED PARKING" SIGN SHALL BE 7' ABOVE FINISH GRADE.
4. OMIT "VAN ACCESSIBLE" SUPPLEMENTAL PLAQUE IN STANDARD DISABLED PARKING SPACES.



10 DISABLED PARKING SIGN DETAIL NTS



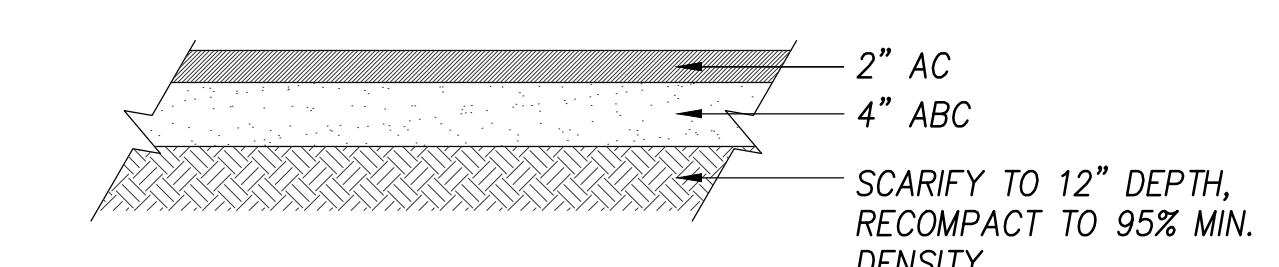
20 STANDARD STOP SIGN PER MUTCD SIGN R1-1 NTS



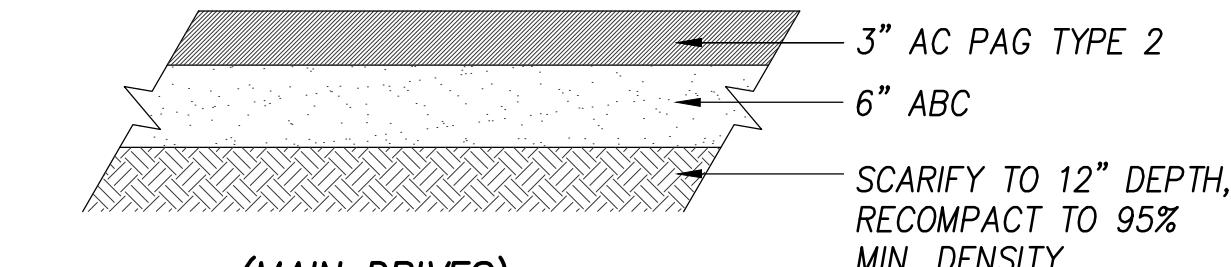
11 TRASH ENCLOSURE NTS



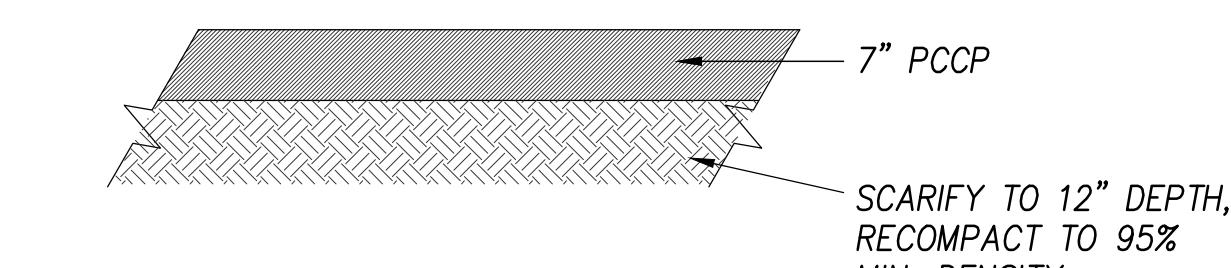
12 NON-ACCESSIBLE ROUTE SIGN NTS



(AUTOMOBILE PARKING AREAS)

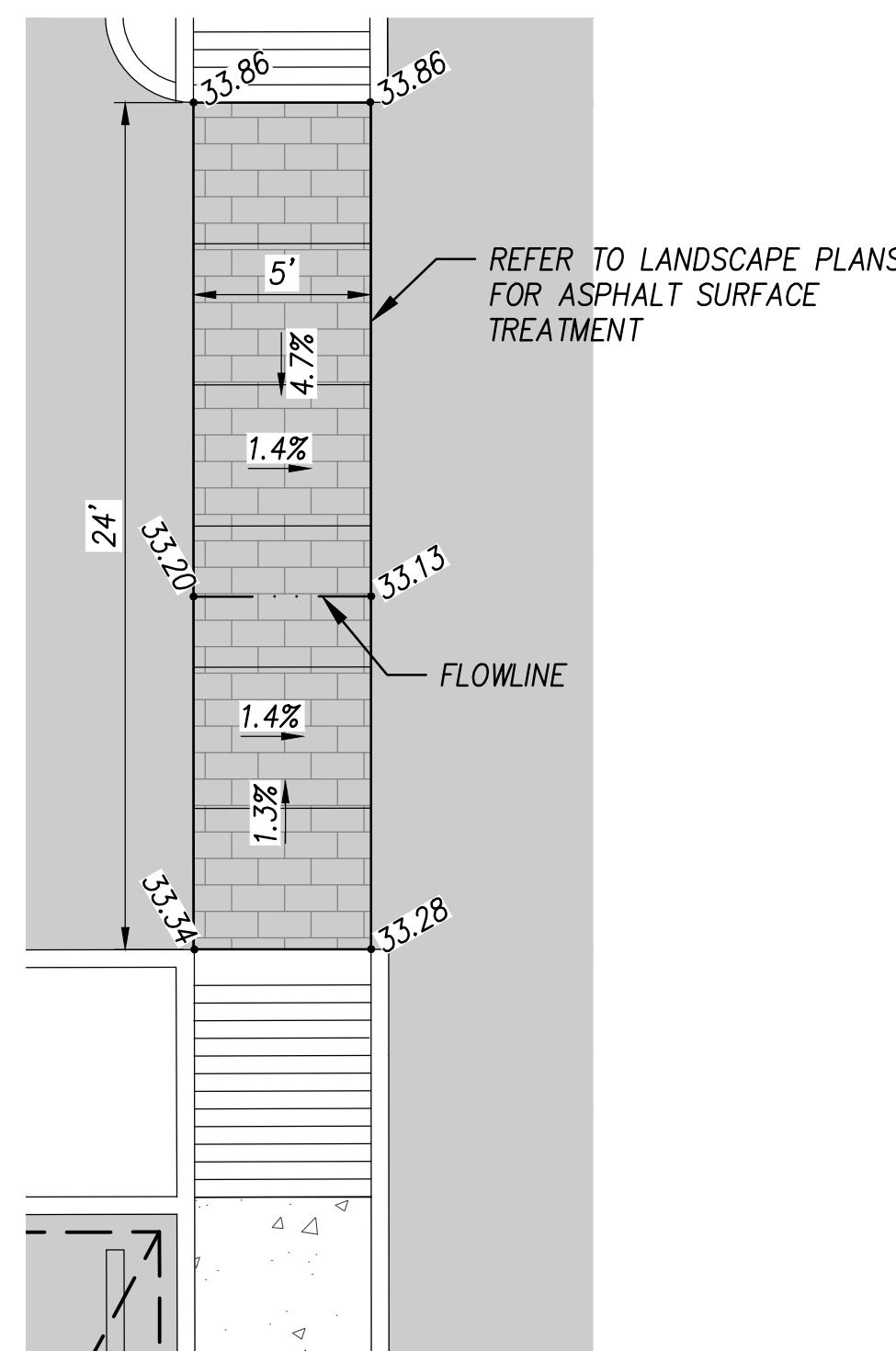


(MAIN DRIVES)



(TRASH ENCLOSURE)

13 TYPICAL PAVEMENT SECTION
REFERENCE GEOTECH REPORT #211721ST NTS
BY SPEEDIE AND ASSOCIATES.

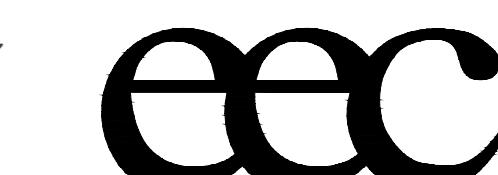


14 CROSSWALK STRIPING DETAIL 1"=5'

2002073

FINAL SITE PLAN/CIVIL IMPROVEMENT PLAN
FOR

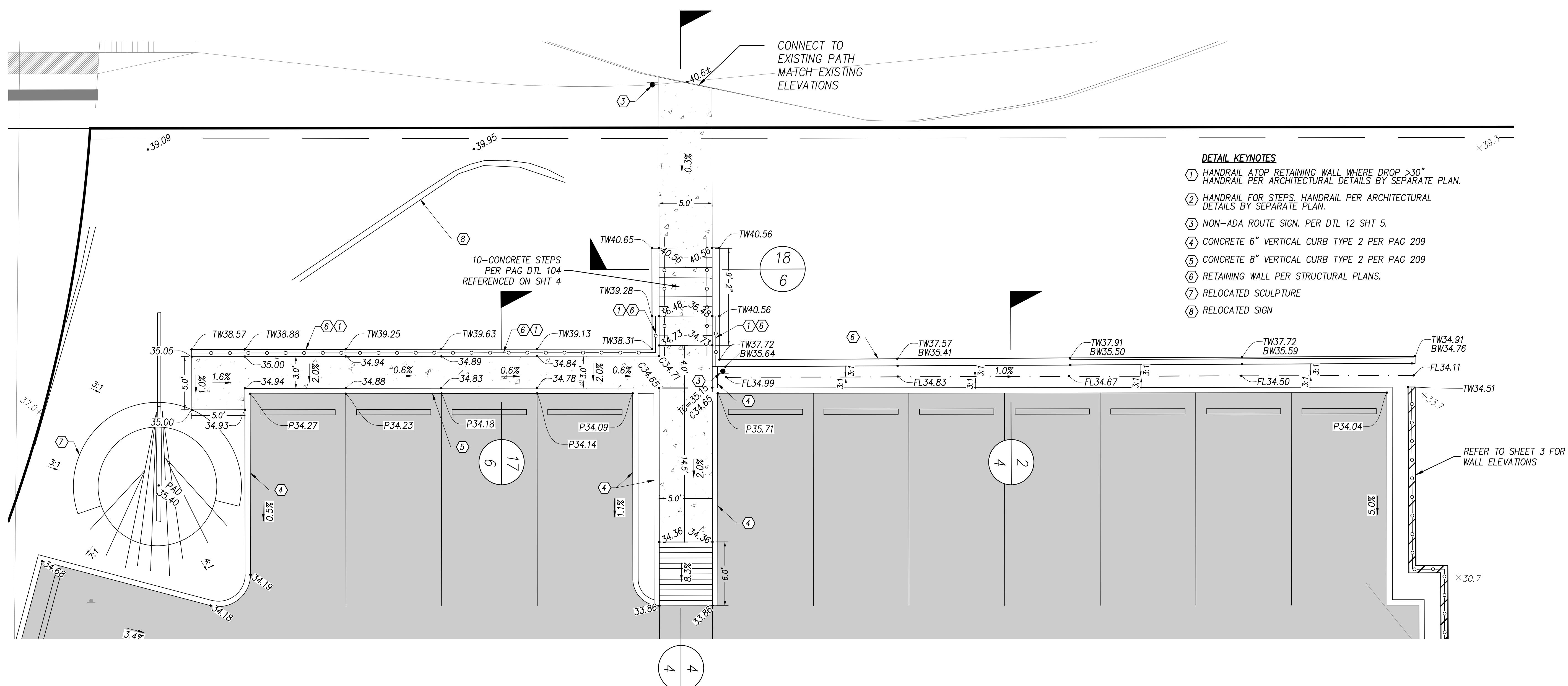
ORO VISTA APARTMENTS PHASE 2
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
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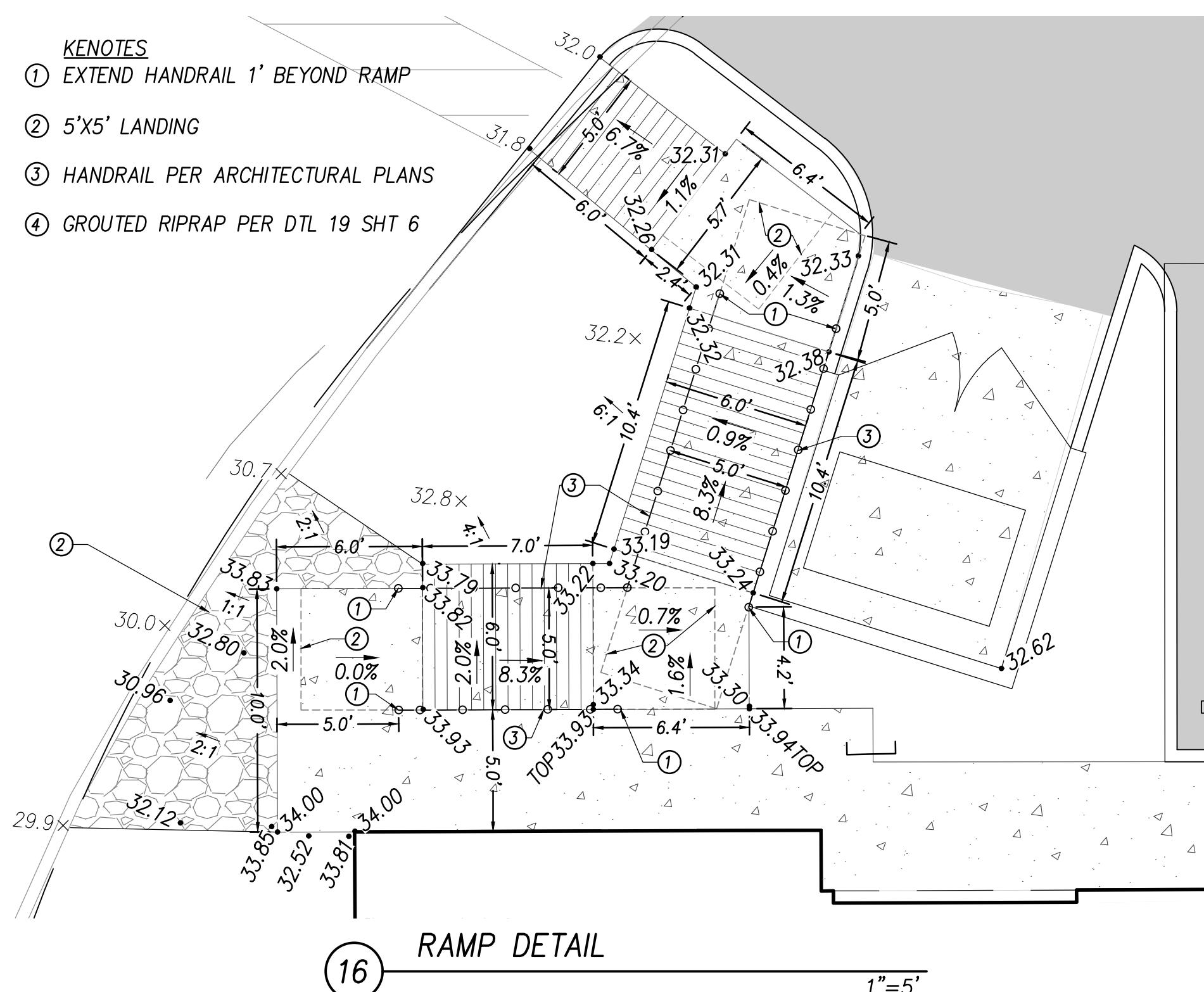
civil engineering • land development
surveying • environmental services
staking • flood control and drainage
transportation
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555 E River Road | Tucson, Arizona 85704
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0V12-02-06A AND (0)79
SCALE AS NOTED
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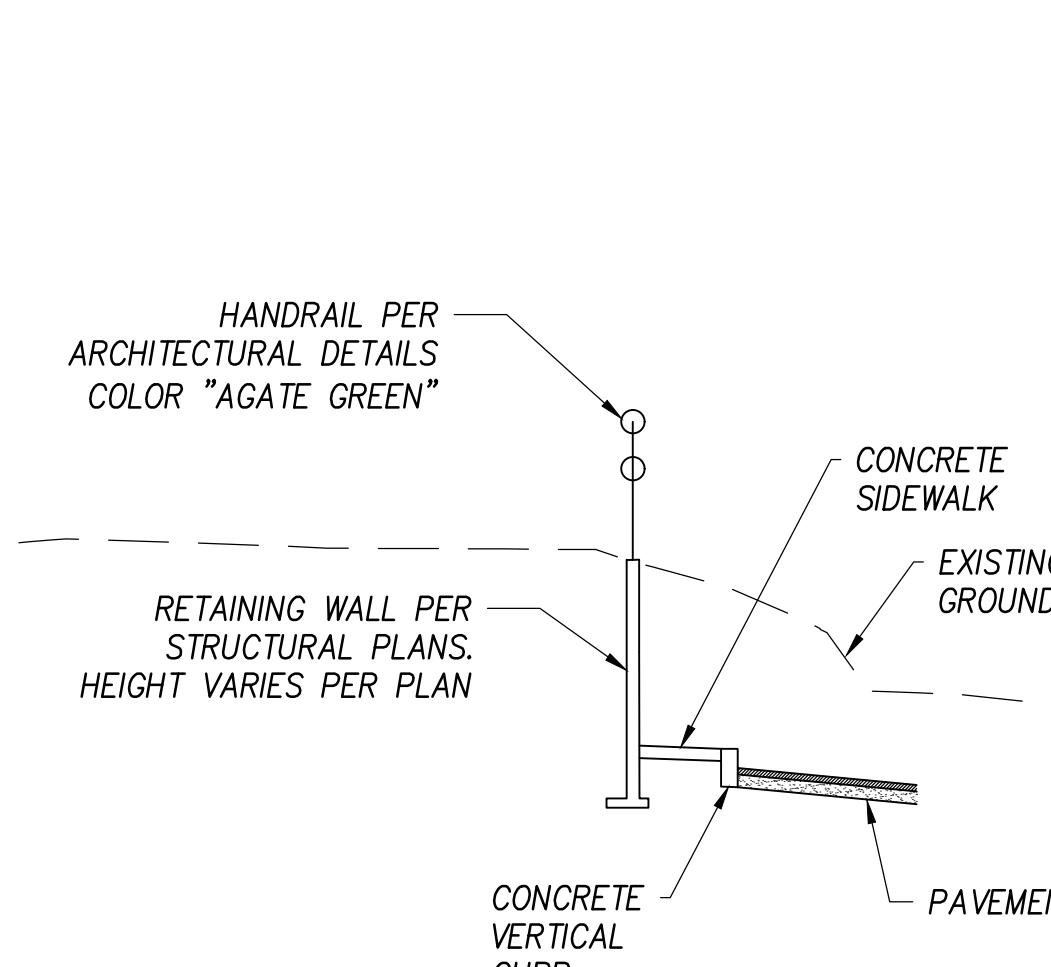
FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2
SHEET 5 OF 7



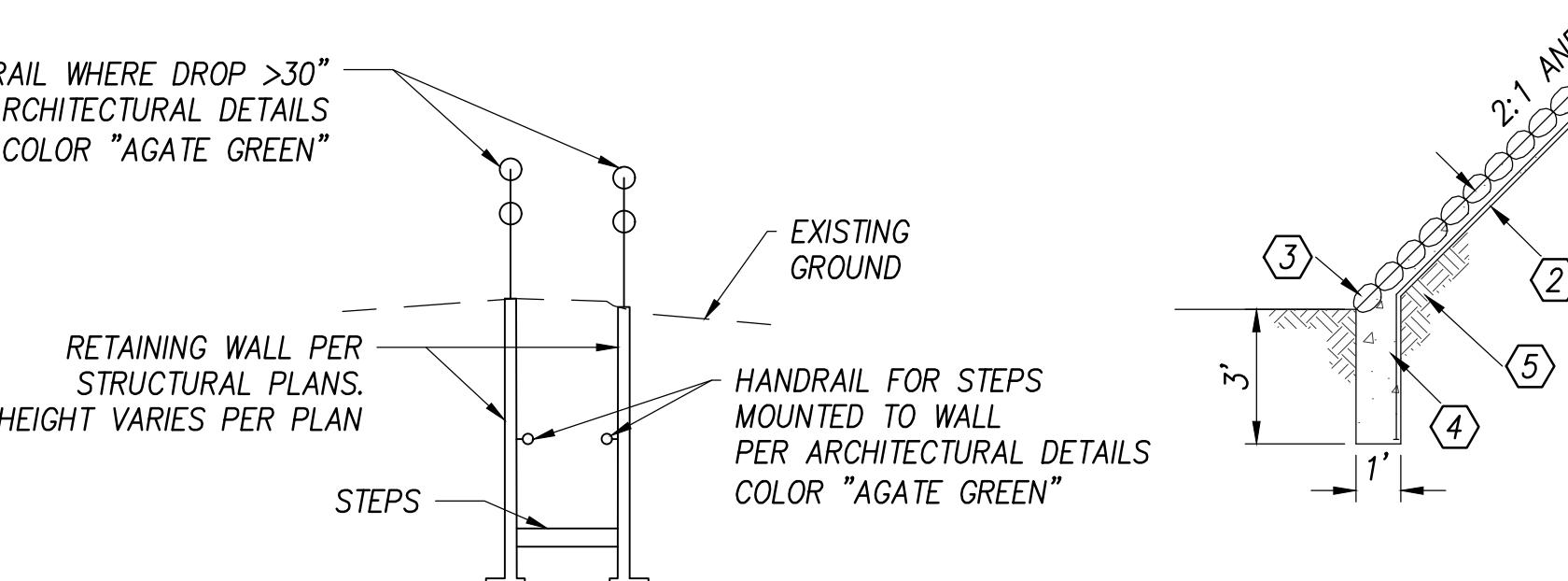
15 NORTH RETAINING WALL, STAIR AND SIDEWALK DETAIL



17 NORTHWEST PROPERTY LINE SECTION



18 CONCRETE STEPS-SECTION DETAIL



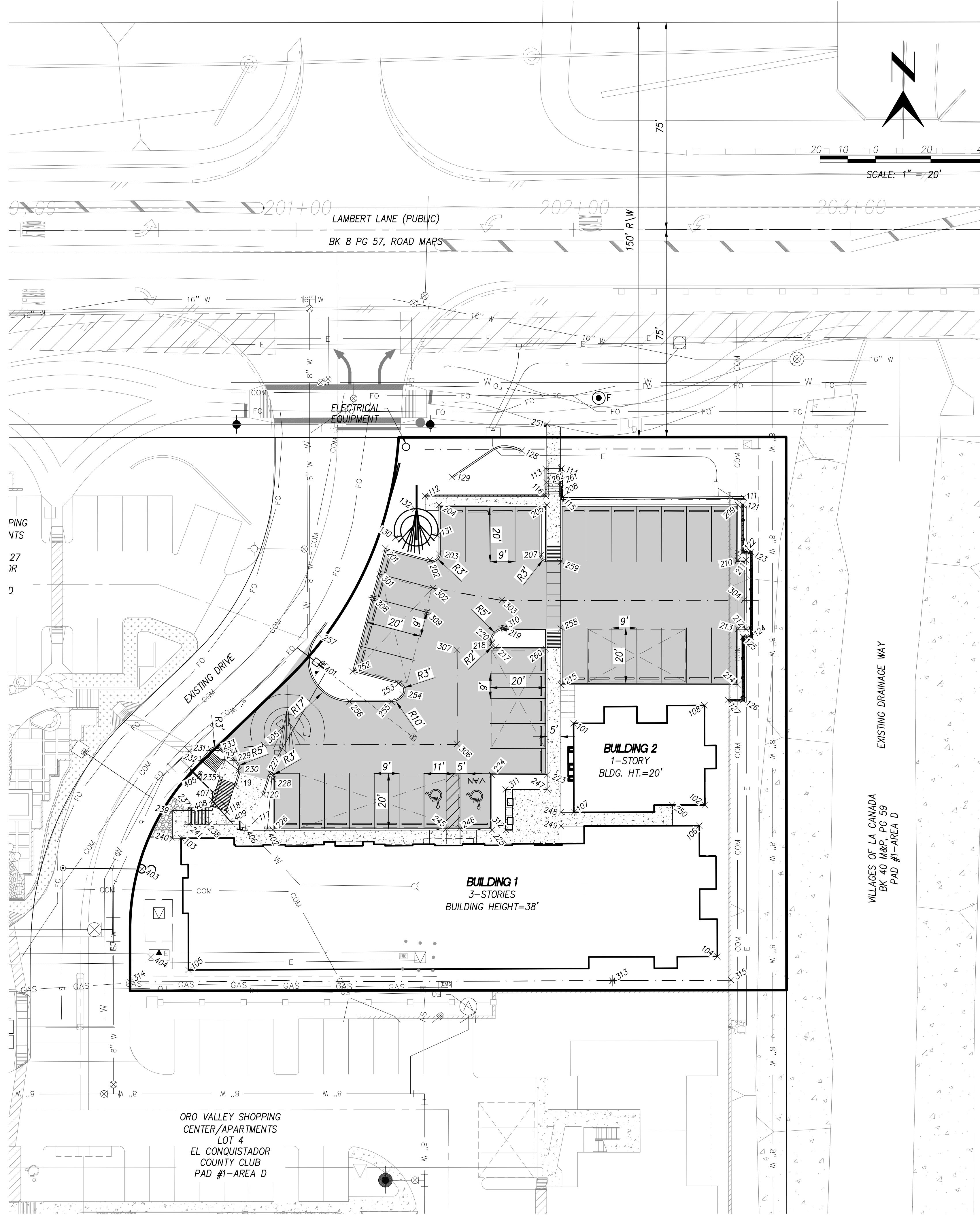
19 ROCK-FACED CONCRETE SLOPE PAVING
PFR PAG SPECIFICATION 912 NTS

2002073

ORO VISTA APARTMENTS PHASE 2
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
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*civil engineering • land development
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REF CASE: OV12-02-06
CONTOUR INTERVAL = 1 FOOT
OV12-02-06A AND (0)79
JULY 2022
SCALE: 1"=20'
EEC JOB NO 20004
SHEET 6 OF 7

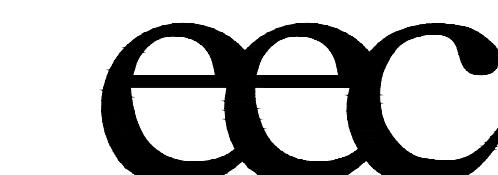


Point Table			
Point #	Northing	Easting	Description
101	8638.96	5003.57	BLDG CORNER
102	8609.47	5051.01	BLDG CORNER
103	8597.43	4861.72	BLDG CORNER
104	8554.65	5055.55	BLDG CORNER
105	8549.77	4864.40	BLDG CORNER
106	8601.96	5049.04	BLDG CORNER
107	8606.79	5003.69	BLDG CORNER
108	8645.47	5050.88	BLDG CORNER
111	8720.57	5065.05	RETAINING WALL
112	8721.20	4949.90	RETAINING WALL
113	8731.08	4993.55	RETAINING WALL
114	8731.11	4999.22	RETAINING WALL
115	8720.59	4999.56	RETAINING WALL
116	8721.25	4993.56	RETAINING WALL
117	8603.73	4888.52	REFUSE WALL
118	8606.92	4878.35	REFUSE WALL
119	8616.31	4881.29	REFUSE WALL
120	8613.11	4891.47	REFUSE WALL
121	8718.01	5064.73	RETAINING WALL
122	8700.84	5064.75	RETAINING WALL
123	8700.85	5067.75	RETAINING WALL
124	8670.18	5067.78	RETAINING WALL
125	8670.17	5064.78	RETAINING WALL
126	8647.34	5064.80	RETAINING WALL
127	8647.33	5059.43	RETAINING WALL
128	8737.62	4984.87	SIGN WALL
129	8728.00	4959.73	SIGN WALL
130	8706.07	4939.18	SCULPTURE BASE
131	8706.80	4954.36	SCULPTURE BASE
132	8716.56	4946.28	SCULPTURE BASE
201	8702.23	4935.47	BACK OF CURB
202	8698.06	4951.65	BACK OF CURB
203	8700.34	4954.92	BACK OF CURB
204	8717.87	4954.90	BACK OF CURB
205	8717.92	4993.90	BACK OF CURB
207	8699.91	4991.92	BACK OF CURB
208	8721.94	4998.90	STEPS
209	8717.99	5062.90	BACK OF CURB
210	8697.99	5062.92	BACK OF CURB
211	8697.99	5065.92	BACK OF CURB
212	8672.99	5065.95	BACK OF CURB
213	8672.99	5062.95	BACK OF CURB
214	8652.99	5062.97	BACK OF CURB
215	8652.92	4998.97	BACK OF CURB
217	8666.40	4975.46	BACK OF CURB
218	8667.89	4973.95	BACK OF CURB
219	8672.90	4978.45	BACK OF CURB
220	8668.39	4973.95	BACK OF CURB
223	8620.42	4994.01	BACK OF CURB
224	8620.39	4974.01	BACK OF CURB
225	8600.39	4974.03	BACK OF CURB
226	8600.31	4895.03	BACK OF CURB
227	8620.77	4894.05	BACK OF CURB

Point Table			
Point #	Northing	Easting	Description
228	8618.81	4895.01	BACK OF CURB
229	8625.53	4880.74	BACK OF CURB
230	8621.99	4882.50	BACK OF CURB
231	8629.25	4871.80	RAMP
232	8625.55	4868.83	RAMP
233	8629.40	4875.70	BACK OF CURB
234	8625.90	4877.41	RAMP
235	8619.82	4875.76	RAMP
237	8608.43	4864.51	RAMP
238	8602.54	4871.66	RAMP
239	8607.41	4858.51	SIDEWALK
240	8597.42	4858.54	SIDEWALK
241	8602.44	4864.53	SIDEWALK
245	8600.88	4957.53	RAMP
246	8600.88	4962.53	RAMP
247	8615.10	4994.03	SIDEWALK
248	8606.78	4999.02	SIDEWALK
249	8601.82	4999.03	SIDEWALK
250	8609.42	5039.35	SIDEWALK
251	8747.17	4993.87	SIDEWALK
252	8657.75	4923.73	BACK OF CURB
253	8653.38	4940.28	BACK OF CURB
254	8649.57	4941.72	BACK OF CURB
255	8646.86	4937.83	BACK OF CURB
256	8646.84	4922.61	BACK OF CURB
257	8671.15	4911.44	BACK OF CURB
258	8673.42	4998.95	RAMP
259	8697.42	4998.92	RAMP
260	8665.92	4993.46	BACK OF CURB
261	8726.06	4998.88	STEPS
262	8726.04	4993.88	STEPS
301	8693.05	4933.40	FLOW LINE
302	8687.94	4952.74	FLOW LINE
303	8683.54	4977.63	FLOW LINE
304	8683.63	5065.31	FLOW LINE
305	8631.27	4891.60	FLOW LINE
306	8631.45	4961.37	FLOW LINE
307	8665.52	4961.33	FLOW LINE
308	8684.21	4931.23	RIDGE LINE
309	8679.11	4950.57	RIDGE LINE
310	8673.40	4978.45	RIDGE LINE
311	8615.08	4979.01	SIDEWALK
312	8600.41	4979.03	SIDEWALK
313	8545.93	5017.54	HIGH POINT
314	8545.45	4843.11	FLOW LINE
315	8546.09	5060.54	FLOW LINE
401	8659.72	4912.14	WATER BFP
402	8600.78	4892.93	WATER SERVICE
403	8586.25	4847.49	SEWER CLEANOUTS
404	8554.46	4850.69	TRANSFORMER
405	8619.47	4868.13	FIRE BFP
406	8601.42	4884.98	FIRE STUB
407	8614.11	4873.16	FIRE LINE
408	8611.23	4872.83	FIRE LINE
409	8603.57	4879.43	FIRE LINE



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SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
REF CASE: OV12-02-06
OV12-02-06A AND (079)
SCALE: 1"=20'
SHEET 7 OF 7

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FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2