

AS-BUILT CERTIFICATION: (PAVING AND GRADING)
I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____ EXPIRES _____

AS-BUILT CERTIFICATION: (SEWER)
I HEREBY CERTIFY THAT THE AS-BUILT ANNOTATIONS PROVIDED ON THESE DRAWINGS WERE BASED ON AN AS-BUILT SURVEY CONDUCTED UNDER MY SUPERVISION AND ACCURATELY DEPICTS EXISTING FIELD CONDITIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____ EXPIRES _____

ENGINEER'S STANDARD DETAILS DISCLAIMER:
COMPLYING WITH THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION'S SUBSTANTIVE POLICY STATEMENT REGARDING SEALING OF STANDARD DETAILS, THE STANDARD DETAILS USED IN THE DESIGN OF THIS PROJECT HAVE BEEN FORMALLY ADOPTED BY THE AGENCIES THAT PREPARED THEM. IN VIEW OF THEIR LONG HISTORY OF USE, APPLICABILITY, AND/OR SOUNDNESS, THE ENGINEER ACCEPTS THEIR USE FOR THIS PROJECT AND FINDS NO NEED FOR ALTERATION OF THE DETAILS UNLESS NOTED/CLARIFIED OTHERWISE IN THESE PLANS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PROJECT IS THE WEST LINE OF THE SW 1/4 OF SECTION 32, TOWNSHIP 11 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA. SAID BEARING BEING N00°00'39"W AS SHOWN HEREON.

BASIS OF ELEVATION

THE BASIS OF ELEVATION: ELEVATION FOR THIS PROJECT IS BASED ON NGVD 1929 BEING THE TOP OF A BRASS DISK IN CONCRETE, HIGHWAY RIGHT-OF-WAY MARKER STATION 769+90.44, NORTH SIDE OF TANGERINE ROAD, 99 FEET NORTH OF PAVEMENT CENTERLINE, 430 FEET EAST OF BRIDGE OVER BIG WASH. ELEVATION = 2687.29 (NGVD 29)

PIMA ASSOCIATIONS OF GOVERNMENTS

STANDARD DETAILS

- 200 - CONCRETE SIDEWALK
- 203 - NEW CONCRETE SIDEWALK CONNECT TO EXISTING CONCRETE SIDEWALK
- 204 - SIDEWALK SCUPPER - TYPE 1
- 207 - CONCRETE CURB ACCESS RAMP
- 209 - CONCRETE VERTICAL
- 211 - NEW CONCRETE CURB CONNECT TO EXISTING CONCRETE CURB
- 212 - CONCRETE CURB TERMINAL SECTION
- 213 - CONCRETE HEADER CURB

PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT

STANDARD DETAILS

- RWRD 104 - TYPICAL TRENCH FOR GRAVITY SEWER LINES
- RWRD 401 - 6" BCS CONNECTION TO SEWER LINE

APPROVAL

(FOR F.S.P. ELEMENTS)

BY: _____ DATE _____
PLANNING AND ZONING ADMINISTRATOR

BY: _____ DATE _____
TOWN ENGINEER

BY: _____ DATE _____
ORO VALLEY WATER UTILITY DIRECTOR

ACCEPTED:

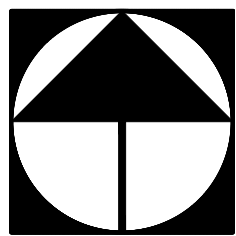
(FOR IMPROVEMENT PLAN ELEMENTS)

TOWN OF ORO VALLEY - TOWN ENGINEER _____ DATE _____

ENGINEER'S EARTHWORK ESTIMATE

CUT: 551 C.Y.
FILL: 1,253 C.Y.
NET: 702 C.Y. IMPORT

THIS IS AN ESTIMATE ONLY FOR PERMITTING. CONTRACTOR IS TO CALCULATE HIS/HER OWN QUANTITIES BASED ON THE SOILS REPORT PROVIDED, INCLUSIVE OF ANY OVER-EXCAVATION THAT MAY BE REQUIRED.



PROJECT OVERVIEW

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- SHEET 7..... UTILITY PLAN SHEET
- SHEETS 8-10... DETAIL SHEETS
- SHEET 11..... HORIZONTAL CONTROL SHEET

COVER SHEET

FINAL SITE PLAN AND PRIVATE SEWER, GRADING AND PAVING IMPROVEMENT PLANS G22

Sheet Title

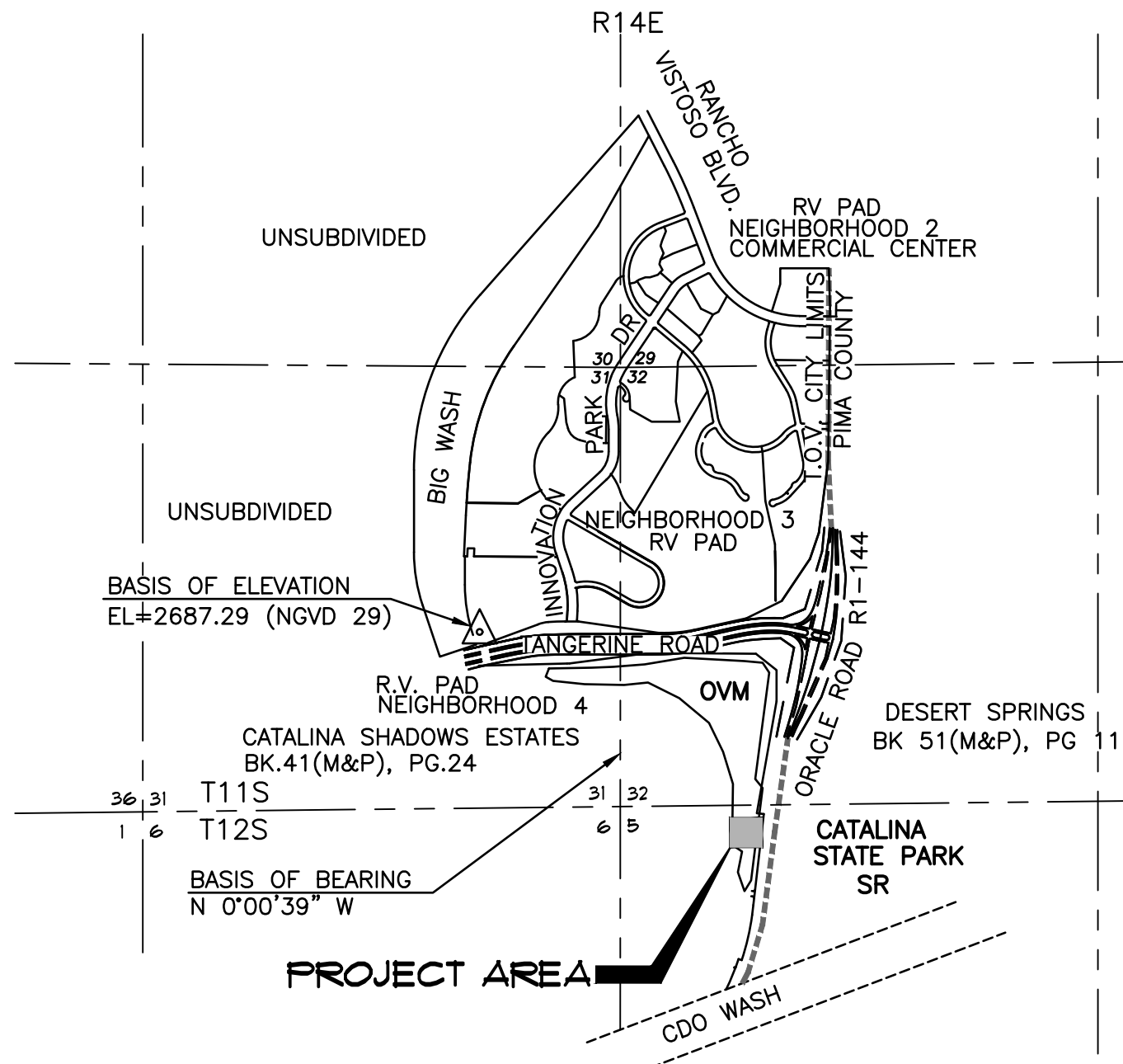
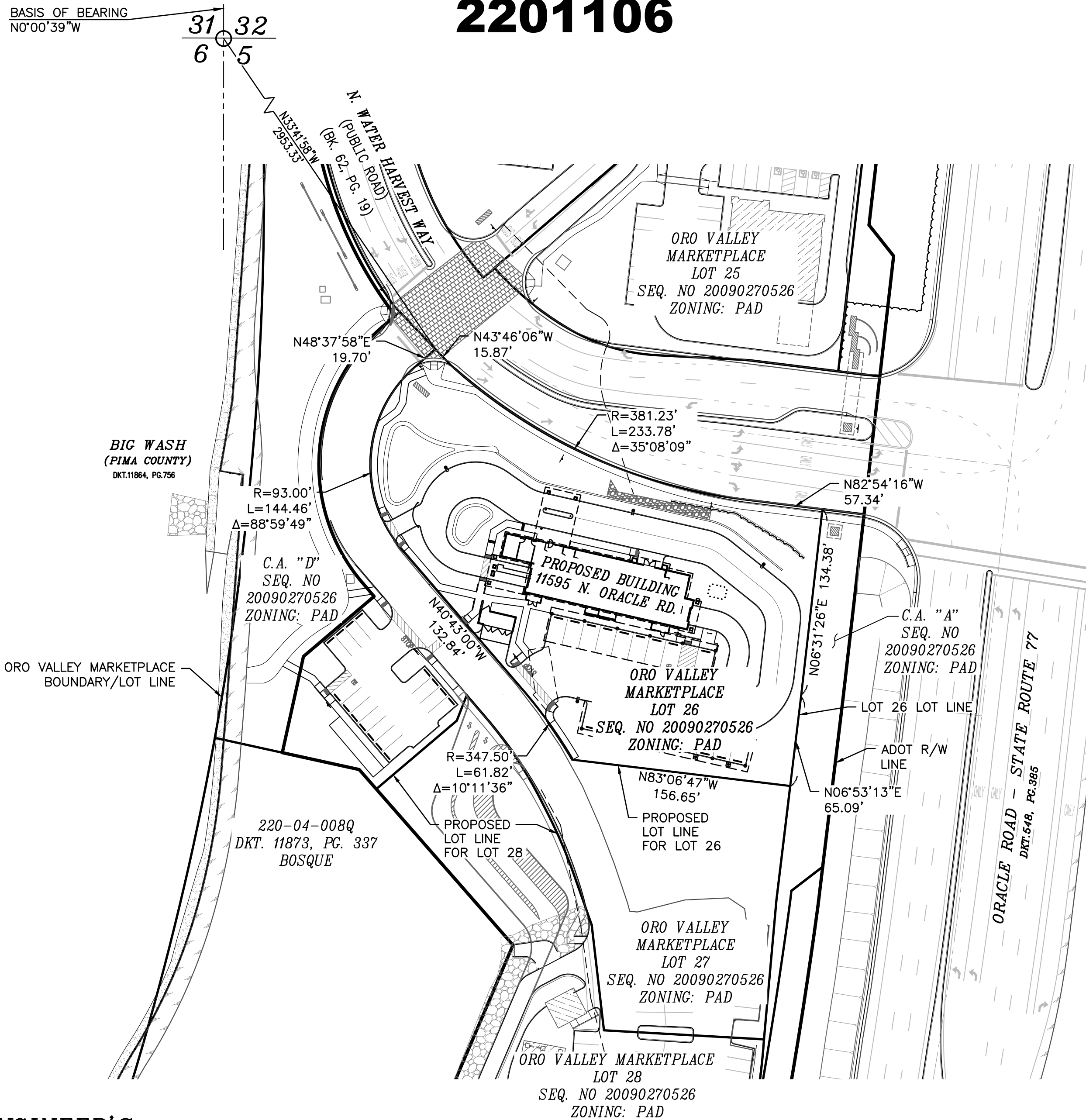
No.	Date	Item

Scale	AS SHOWN
Job No.	185050-PB-01/0600
Date	JUNE 2023
Designed By	JAW
Checked By	DWL

Sheet **1**

of **11**

FINAL SITE PLAN AND PRIVATE SEWER, GRADING AND PAVING IMPROVEMENT PLANS FOR SURF THRU CAR WASH 2201106



LOCATION MAP

A PORTION OF SECTION 5
T12S, R14E, G & S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

LEGEND

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| EXIST. MAJOR CONTOUR | EXIST. MINOR CONTOUR | PROJECT BOUNDARY | EXISTING LOT LINE | EXIST. PAVEMENT | PROPOSED VERTICAL CURB | EXISTING VERTICAL CURB | EXIST. PUBLIC SEWER LINE & MANHOLE | EXIST. PUBLIC WATERLINE & VALVE | EXISTING EASEMENT LINE | LOT SETBACKS (TYP.) | SECTION LINE | EXISTING RIGHT-OF-WAY | PROPOSED SPOT ELEVATION | DIRECTION OF FLOW | SECTION OR 1/4 SECTION CORNER | FINISHED FLOOR ELEVATION | FINISHED PAD ELEVATION | GRADE BREAK (GB/HP/LP) | POST BARRICADE | PROPOSED SIDEWALK | EXISTING SIDEWALK | CENTERLINE MONUMENT | SHEET INDICATOR/
SHEET MATCHLINE | GRADING LIMITS | ASPHALT PAVEMENT | PAVEMENT SAWCUT | PARKING STALLS | TOP OF SLOPE | BOTTOM OF SLOPE | SIGHT VISIBILITY TRIANGLE (SVT) | 100 YR FLOOD PLAIN | EROSION HAZARD SETBACK | WATERSHED DELINEATION | PROPOSED RIPRAP | PROPOSED DG PATH | PROPOSED CONCRETE SIDEWALK | PARKING COUNT | PROPOSED PRIVATE SEWER LINE & MANHOLE | PROPOSED PUBLIC WATERLINE & VALVE | PROPOSED SIGN | FIRE HYDRANT | WATER METER | IRRIGATION METER | EX. STORM DRAIN SYSTEM | EXIST. CULVERT | PROPOSED CULVERT |
|----------------------|----------------------|------------------|-------------------|-----------------|------------------------|------------------------|------------------------------------|---------------------------------|------------------------|---------------------|--------------|-----------------------|-------------------------|-------------------|-------------------------------|--------------------------|------------------------|------------------------|----------------|-------------------|-------------------|---------------------|-------------------------------------|----------------|------------------|-----------------|----------------|--------------|-----------------|---------------------------------|--------------------|------------------------|-----------------------|-----------------|------------------|----------------------------|---------------|---------------------------------------|-----------------------------------|---------------|--------------|-------------|------------------|------------------------|----------------|------------------|

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**SURF THRU CAR WASH
LOT 26 OF ORO VALLEY MARKETPLACE-MASTER DEVELOPMENT PLAN/PRELIMINARY PLAT
BOOK 64 M&P PAGE 42, ORO VALLEY, ARIZONA**

Project

GENERAL NOTES

- GROSS AREA OF THIS DEVELOPMENT = 1.34 ACRES.
- GROSS FLOOR AREA = 5,490 SQ. FT.
- LOT COVERAGE = GROSS AREA/IMPERVIOUS= 14.18%
- GROSS AREA OF ALL PROPOSED IMPERVIOUS SURFACES IS 38,715 S.F. (0.89 AC). (BUILDING, DRIVEWAYS, ASPHALT, CURB AND SIDEWALK)
- NO NEW STREETS ARE PROPOSED.
- ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES

- MAXIMUM ALLOWED BUILDING HEIGHT = 36'.
- PROPOSED BUILDING HEIGHT = 32'-10".
- TOTAL OPEN SPACE REQUIRED = 0%, TOTAL OPEN SPACE PROVIDED = 0%.
- REQUIRED BUILDING SETBACKS: FRONT = 15', SIDE = 0', REAR = 10'.
- EXISTING ZONING IS RANCHO VISTOSO P.A.D., C-2.
- ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
- ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
- CAR WASH SUBJECT TO ALL REQUIREMENTS ASSOCIATED WITH APPROVED CONDITIONAL USE PERMIT (2201105)
- ROOFTOP MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM ALL ADJACENT PROPERTIES AND SURROUNDING ROADWAYS.

ENGINEERING GENERAL NOTES

- THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 25 MPH.
- ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE THE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- BASIS OF ELEVATION: ELEVATIONS ARE BASED ON NGVD 1929 BEING THE TOP OF A BRASS DISK IN CONCRETE, HIGHWAY RIGHT-OF-WAY MARKER STATION 769+90.44, NORTH SIDE OF TANGERINE ROAD, 99 FEET NORTH OF PAVEMENT CENTERLINE, 430 FEET EAST OF BRIDGE OVER BIG WASH. ELEVATION = 2687.29 (NGVD 29)
- BASIS OF BEARING: BEARING FOR THIS PROJECT IS THE WEST LINE OF THE SW 1/4 OF SECTION 32, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA. SAID BEARING BEING N00°00'39"W AS SHOWN HEREON. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
- ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.

DRAINAGE GENERAL NOTES

- DEVELOPER WILL COVENANT TO HOLD THE TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
- DRAINAGE WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
- DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO TOWN STANDARDS AND PAID FOR BY THE DEVELOPER. ALL DRAINAGE STRUCTURES MUST BE DESIGNED TO CONVEY A Q100 FLOW.
- ALL DRAINAGE FACILITIES WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FROM THE BUILDING OFFICIAL FOR ALL AFFECTED BUILDINGS.
- THE DEVELOPER WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY AND LIABILITY OF PRIVATE DRAINAGE WAYS AND STRUCTURES, DRAINAGE EASEMENTS AND COMMON AREAS.
- ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
- DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
- DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
- DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
- PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

ORO VALLEY WATER GENERAL NOTES

- THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
- THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
- A LINE EXTENSION AGREEMENT FOR THIS PROJECT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE.
- ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
- ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM.
- WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
- ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.

WASTEWATER GENERAL NOTES

- PROJECT IS IN CONFORMANCE WITH SECTION J, WASTEWATER, OF THE PIMA COUNTY DEVELOPMENT PLAN REQUIREMENTS AS REFERENCED IN 18.71.030.A.
- ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- THIS PROJECT WILL HAVE THE MINIMUM NUMBER OF PLUMBING FIXTURES REQUIRED AND IS TO BE DEFINED AT THE TIME OF PERMITTING FOR BUILDING OCCUPANCY.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- THE ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- CONSTRUCTION AUTHORIZATION FROM THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE CONSTRUCTION AUTHORIZATION.

GENERAL UTILITY NOTES

- SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

- FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1,500 GPM FOR 2 HOURS FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
- APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
- APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED ALL GROUP A, B, E, F, H, I, M, R, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION. APPROVED AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED THROUGHOUT ALL ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES USED AS MODEL HOMES WITH SALES OR CONSTRUCTION OFFICES, AND ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WHICH EXCEED 3,600 SQUARE FEET IN FIRE FLOW CALCULATION AREA HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
- TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
- THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

PERMITTING DIVISION – BUILDING CODES

THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- INTERNATIONAL CODES WITH LOCAL AMENDMENTS
- NATIONAL ELECTRIC CODE
- ADA STANDARDS FOR ACCESSIBLE DESIGN
- TOWN OF ORO VALLEY POOL CODE
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED
- ADA ACCESSIBILITY GUIDELINES

PARKING, LOADING & BICYCLE STORAGE CALCULATIONS

PAD/LOT NUMBER	PROPOSED USE	SQUARE FOOTAGE	EMPLOYEES	PARKING RATIO	TOTAL PARKING		HANDICAP PARKING		LOADING ZONE RATIO	LOADING ZONES		BICYCLE PARKING			
					REQD.	PROV.	REQD.	PROV.		REQD.	PROV.	REQD.	PROV.	REQD.	PROV.
26	AUTOMOBILE CAR WASH	5,490 S.F.	4	0.75/EMPLOYEE	3	34*	1	2	-	0	0	1	1	1	1

* NUMBER INCLUDES VACUUM STALL SPACES

GENERAL PAVING AND GRADING NOTES

1.

ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PIMA ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PAG SSPI), LATEST EDITION, EXCEPT AS MODIFIED HEREBY.
2.

ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PAG SSPI, EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
3.

EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PAG SSPI, SECTION 203–5.
4.

EARTHWORK, EXCEPT AS MODIFIED BY THE SOILS REPORT ON RECORD, SHALL CONFORM TO PAG SSPI, SECTION 203.
5.

AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI, SECTION 303.
6.

ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 406, ASPHALTIC CONCRETE MIXTURE NO. 2 SPECIFICATIONS.
7.

ALL CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
8.

A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
9.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS OF CONSTRUCTION.
10.

CONTRACTOR SHALL CALL "BLUE STAKE" (811 OR 1–800–782–5348) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION A MINIMUM OF TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION.
11.

CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
12.

CONTRACTOR SHALL INSTALL STREET SIGNS IN ACCORDANCE WITH THE TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS–SIGNAGE POLICY.
13.

PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
14.

UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28–650.
15.

IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
16.

ALL STATIONING SHOWN ON PLAN AND PROFILE ARE ALONG CONSTRUCTION/ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
17.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER AND IS A DEFINITE PART OF THIS PROJECT.
18.

ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:

A.

WALL(S), RETAINING OR OTHER TYPE(S).

B.

ANY REINFORCED CONCRETE STRUCTURE(S).

C.

ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION / DETENTION STRUCTURE.
19.

THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
20.

THE CONTRACTOR SHALL GIVE FORTY–EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEER. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
21.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH A.D.E.Q. STORM WATER DISCHARGE PERMIT IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
22.

BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN +0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE ENGINEER.
23.

A REPORT OF SOILS INVESTIGATIONS, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY SPEEDIE AND ASSOCAITES DATED JUNE 6, 2022, PROJECT NO. 220906ST. ALL EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS MADE THERETO.
24.

THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, IS TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
25.

GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
26.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY–FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- GENERAL PAVING AND GRADING NOTES (CONTINUED)
27.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS–OF–WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCRDACHING OR AFFECTING, DIRECTLY OR INDIRECTLY, ON THESE ADJACENT PROPERTIES AND RIGHTS–OF–WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.

28.

THE PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT AS–BUILT RECORD DRAWINGS AND CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS–BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE INSPECTION AND CODE COMPLIANCE DIVISION AND THE RELEASE OF ASSURANCES EXCEPT MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED, THE ABOVE PERTAINS TO EACH PHASE.

29.

THE TOWN OF ORO VALLEY WILL, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS AND FINAL PLAT, PERFORM A FIELD REVIEW OF THE DEVELOPMENT. FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW

30.

ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.

31.

DESIGN SPEED FOR PRVATE STREETS IS 25 MPH. DESIGN VEHICLE FOR PRIVATE STREETS IS AN SU–30.

32.

THE CONTRACTOR SHALL COORDINATE WITH GOLDER RANCH FIRE DEPT. TO ENSURE THAT INTERIM ACCESS IS MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

33.

CUT OR FILL SLOPES 3:1 (HORIZONTAL:VERTICAL) OR LESS STEEP SHALL BE REVEGETATED. CUT OR FILL SLOPES 2:1 OR LESS STEEP (BUT STEEPER THAN 3:1) SHALL BE ROCK RIP–RAPPED WITH FILTER FABRIC INSTALLED BENEATH THE ROCK. CUT OR FILL SLOPES STEEPER THAN 2:1 SHALL HAVE ROCK–FACE CONCRETE SLOPE PAVING OR RETAINING WALLS AS APPROPRIATE. NO SLOPE SHALL EXCEED 1:1. SEE DETAIL 8 ON SHEET 8.

34.

NO IMPROVEMENTS BETWEEN THIRTY (30) AND SEVENTY–TWO (72) INCHES IN HEIGHT RELATIVE TO THE ADJACENT PAAL/ROADWAY WHICH MIGHT INTERFERE WITH THE PURPOSE AND INTENT OF THE SIGHT DISTANCE TRIANGLE SHALL BE PERMITTED, PLACED OR MAINTAINED WITHIN 15 (FIFTEEN) FEET OF A PAAL–TO–PAAL INTERSECTION.

35.

EXISTING IRRIGATION LINES THAT ARE DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED WITHIN 3 CALENDAR DAYS. IRRIGATION LINES SHALL BE RECONNECTED SO THAT THE EXISTING PLANT MATERIAL RECEIVES IRRIGATION WATER, CONTRACTOR SHALL REMOVE AND REPLACE IN KIND, ANY PLANT MATERIAL THAT DIES AS A RESULT OF DAMAGED IRRIGATION OR CONSTRUCTION ACTIVITY.

36.

CONTRACTOR TO PROVIDE TO THE ENGINEER OF RECORD ONE MYLAR PLAN SET OF AS–BUILT DRAWINGS. THE DRAWINGS PROVIDED SHALL BE SEALED BY A P.E. OR R.L.S. IN STATE OF AZ CERTIFYING THAT THE PROJECT HAS BEEN CONSTRUCTED PER "LINE AND GRADE" AS INDICATED ON THE APPROVED PLAN.

37.

TOTAL AREA OF ALL NEW IMPERVIOUS SURFACES IS 0.89 ACRES (38,715 S.F.) FOR THIS PROJECT.

38.

BASIS OF BEARING IS THE WEST LINE OF THE SOUTHWEST QUARTER SECTION 32, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA, BEARING = N 00°00'28" W

39.

BASIS OF ELEVATION FOR THIS PROJECT IS BASED ON NGVD 1929 BEING THE TOP OF A BRASS DISK IN CONCRETE, HIGHWAY RIGHT–OF–WAY MARKER STATION 769+90.44, NORTH SIDE OF TANGERINE ROAD, 99 FEET NORTH OF PAVEMENT CENTERLINE, 430 FEET EAST OF BRIDGE OVER BIG WASH. ELEVATION = 2687.29 (NGVD 29) ELEVATION = 2687.29 FEET NGVD29 DATUM.

40.

ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27, SECTION 27.9 OF THE ORO VALLEY ZONING CODE REVISED, JULY 2007.

41.

DEVELOPMENT & IMPROVEMENT PLANS MUST BE APPROVED PRIOR TO THE SUBMITTAL OF ANY PERMIT APPLICATIONS TO THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

42.

ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

43.

SHOULD EXISTING EASEMENTS BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF PERMITS.

44.

THE 2018 INTERNATIONAL CODES ARE APPLICABLE TO THIS PROJECT.

45.

SITE BENCHMARKS:

BENCHMARK NO. 1 IS: AN ADOT RIGHT–OF–WAY BRASS DISK, STA. 795+27.35. SAID BENCHMARK #1 HAS AN ELEVATION OF 2676.60 NGVD 29 DATUM.

BENCHMARK NO. 2 IS: AN ADOT RIGHT–OF–WAY BRASS DISK, STA. 800+60.12. SAID BENCHMARK #2 HAS AN ELEVATION OF 2690.97 NGVD 29 DATUM.

PRIVATE SEWER NOTES

1.

ALL DESIGN STANDARDS, MATERIALS AND WORKMANSHIP FOR PUBLIC SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCWRD) ENGINEERING DESIGN STANDARDS (EDS 2016) AND THE STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION 2016 (SSDC 2016). SAID DOCUMENTS ARE AVAILABLE THROUGH THE PCWRD WEBSITE (www.pima.gov/wastewaterrreclmation)

2.

SEWER CONSTRUCTION SHALL NOT COMMENCE UNTIL: (A) THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) OR ITS DELEGATED AUTHORITY HAS ISSUED A CONSTRUCTION AUTHORIZATION FOR THIS PROJECT; (B) THE CONTRACTOR HAS OBTAINED A PCWRD PUBLIC SEWER CONSTRUCTION PERMIT (CONTACT THE PCWRD PERMITS SECTION AT (520) 724–6649 FOR PERMIT APPLICATION REQUIREMENTS); (C) THE CONTRACTOR'S FLOW MANAGEMENT PLAN HAS BEEN SUBMITTED THIRTY (30) CALENDAR DAYS PRIOR TO THE PRE–CONSTRUCTION MEETING AND APPROVED BY PCWRD FIELD ENGINEERING; AND (D) A PRE–CONSTRUCTION MEETING WITH THE ASSIGNED PIMA COUNTY PROJECT FIELD INSPECTOR IS SCHEDULED AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO COMMENCING WITH SEWER CONSTRUCTION.

3.

IMMEDIATELY REPORT ANY OF THE FOLLOWING TO THE PCWRD OPERATIONS CONTROL CENTER (OCC) AT (520) 724–6500: ANY RELEASE OF SEWAGE, ANY DAMAGE TO THE PUBLIC SANITARY SEWER SYSTEM, OR THE DROPPING OF DEBRIS INTO A PUBLIC SANITARY SEWER MANHOLE. A PCWRD REPRESENTATIVE WILL BE DISPATCHED TO THE SITE. THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO CONTAIN A SANITARY SEWAGE OVERFLOW (SSO). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO REPAIR THE SYSTEM, MITIGATE THE RELEASE OF SEWAGE, DISINFECT THE RELEASE AREAS, AND ANY REGULATORY PENALTIES LEVIED ON PCWRD FOR SEWAGE ENTERING A NATURAL DRAINAGE WAY OR STORM WATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL REPAIR ALL DAMAGE AS DIRECTED AND APPROVED BY THE PCWRD FIELD REPRESENTATIVE.

4.

STORM WATER AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY INSTALLED TO PROTECT PCWRD MANHOLES AT THE BEGINNING OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTANTLY MAINTAIN STORM WATER AND SEDIMENT CONTROL MEASURES THAT PROTECT PCWRD FACILITIES UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ALLOW STORM WATER, SEDIMENT, OR POTENTIAL POLLUTANTS FROM CONSTRUCTION SITE TO ENTER A PCWRD MANHOLE. THE CONTRACTOR SHALL ENSURE THAT THEIR FLOW MANAGEMENT OPERATION INCLUDE CONTROLS TO PREVENT ANY INTRODUCTION OF STORM WATER, SEDIMENT, OR POLLUTANTS INTO THE PUBLIC SANITARY SEWER SYSTEM. FAILURE TO CONFORM TO THESE REQUIREMENTS SHALL RESULT IN CANCELLATION OF THE SEWER CONSTRUCTION PERMIT.

5.

SPECIAL CARE SHALL BE TAKEN TO ENSURE DESIGN SLOPES ARE MAINTAINED. SEWERS CONSTRUCTED AT INSUFFICIENT SLOPES WILL NOT BE ACCEPTED BY PCWRD FIELD ENGINEERING AND/OR ADEQ. CORRECTIVE ACTION, INCLUDING RE–CONSTRUCTION OF THE SEWER(S), WILL BE AT THE SOLE EXPENSE OF THE PROJECT OWNER/CONTRACTOR.

6.

THE CONTRACTOR SHALL ADJUST OR RECONSTRUCT ALL SANITARY SEWER MANHOLES TO FINISHED GRADE. ALL FRAMES AND COVER ADJUSTMENTS SHALL BE IN ACCORDANCE WITH PCWRD SSDC 2016, DETAIL NOS. RWRD 211, 212, 304 OR 305 (AS APPLICABLE). THE CONTRACTOR SHALL PROTECT THE BENCH AND FLOW CHANNELS WITH A COVER PER PCWRD SSDC 2016, DETAIL NO. RWRD 306. PRIOR TO COMMENCING ANY WORK TO THE MANHOLE AND REMOVE THE COVER AFTER ALL WORK IS COMPLETED. THE CONTRACTOR SHALL ENSURE THAT FRAMES AND COVERS ARE CLEAN AND FREE FROM ANY AND ALL ATTACHED MATERIALS (ASPHALT, CONCRETE, ETC.) AND THAT ALL VENT HOLES ARE OPEN AND CLEAR OF OBSTRUCTIONS, AS APPROVED BY THE PCWRD FIELD ENGINEER. EXISTING FRAMES AND/OR COVERS THAT ARE DAMAGED OR CANNOT BE COMPLETELY CLEANED SHALL BE REPLACED WITH A NEW FRAME AND COVER IN ACCORDANCE WITH PCWRD SSDC 2016, DETAIL NO. RWRD 213 – 218. COSTS ASSOCIATED WITH EXISTING FRAMES AND COVERS THAT ARE LOST OR DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

ABBREVIATIONS

AC	ASPHALTIC CONCRETE (MIX NO.2)	L	LENGTH
ANG PT	ANGLE POINT	LF	LINEAR FEET
BCSM	BRASS CAP SURVEY MONUMENT	LP	LOW POINT
BVC	BEGIN VERTICAL CURVE	LT	LEFT
BW	BOTTOM OF WALL	MAX	MAXIMUM
C.A.	COMMON AREA	MH	MANHOLE
CFS	CUBIC FEET PER SECOND	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	P.A.D.	PLANNED AREA DEVELOPMENT
COMM	COMMUNICATION(S)	PAG	PIMA ASSOCIATION OF GOVERNMENTS
CONC	CONCRETE	PC	POINT OF CURVATURE
CP	CONCENTRATION POINT	PG	PAGE
CTRL	CONTROL	PI	POINT OF INTERSECTION
D	DEFLECTION	PROP	PROPOSED
DG	DECOMPOSED GRANITE	PT	POINT OF TANGENCY
DKT	DOCKET	R	RADIUS
DTL	DETAIL	R/W	RIGHT OF WAY
EG	EXISTING GRADE	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC/ELECTRICAL	REINF	REINFORCED
ELEV	ELEVATION	RT	RIGHT
EOP	EDGE OF PAVEMENT	S	SLOPE
ESMT	EASEMENT	SF	SQUARE FEET
EVC	END VERTICAL CURVE	SHT	SHEET
EXIST	EXISTING	SRP	SPIRAL RIBBED PIPE
FD	FOUND	STA	STATION
FFE	FINISHED FLOOR ELEVATION	SVT	SIGHT VISIBILITY TRIANGLE
FG	FINAL GRADE	THK	THICK/THICKNESS
FL	FLOW LINE	TW	TOP OF WALL
FPE	FINISHED PAD ELEVATION	TYP	TYPICAL
GB	GRADE BREAK	W	WIDTH
HP	HIGH POINT	WSEL	WATER SURFACE ELEVATION
HT or H	HEIGHT	WWF	WELDED WIRE FABRIC
INV	INVERT		

REF: OV1204–30
OV1204–30A
2102619
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Contact Arizona 811 at least two full working days before you begin excavation

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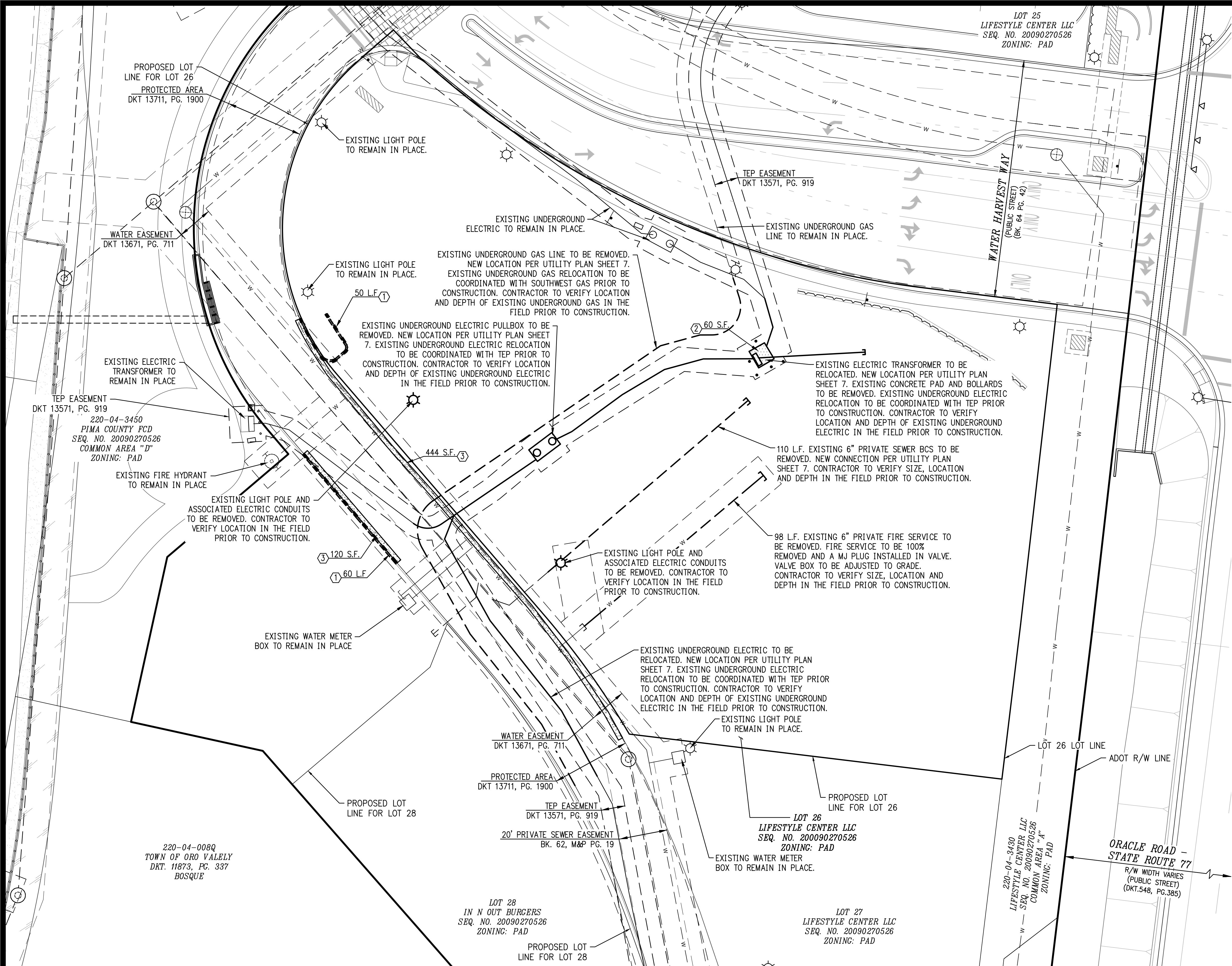
SURF THRU CAR WASH
LOT 26 OF ORO VALLEY MARKETPLACE–MASTER DEVELOPMENT PLAN/PRELIMINARY PLAT
BOOK 64 M&P PAGE 42, ORO VALLEY, ARIZONA

IMPROVEMENT PLAN NOTES
FINAL SITE PLAN AND
PRIVATE SEWER, GRADING AND PAVING IMPROVEMENT PLANS
G22

No.	Date	Item	Scale	N/A
			Job No. 185050–PB–01/0600	
			Date JUNE 2023	
			Designed By JAW	
			Checked By DWL	
Revisions				

Sheet **3**
of **11**

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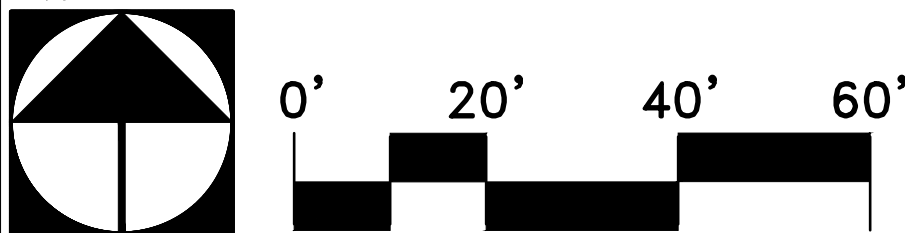
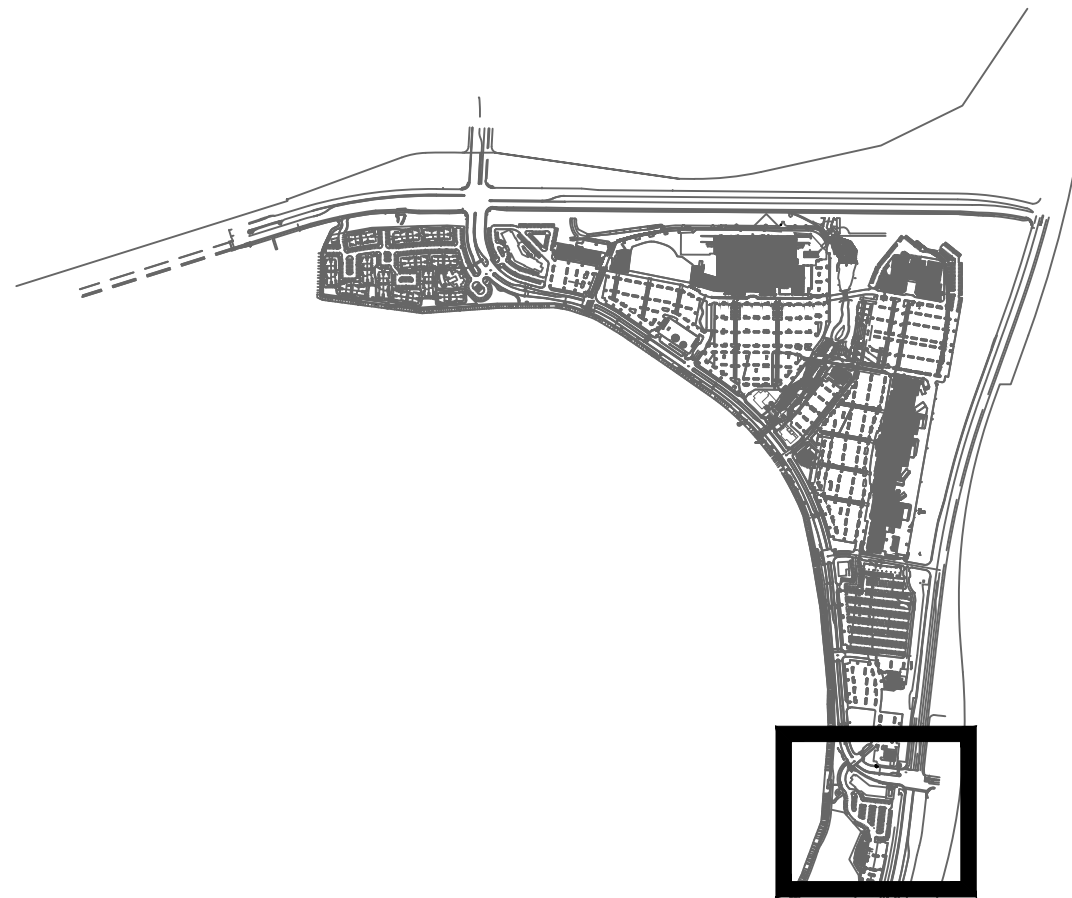


GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE ORDINANCES, REGULATIONS AND APPLICABLE CODES OF THE TOWN OF ORO VALLEY AND WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS (WHICH ARE TO REMAIN IN PLACE) RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT THOSE EXISTING IMPROVEMENTS ARE SHOWN ON THIS PLAN.
3. IF ANY UNKNOWN SUB-SURFACE STRUCTURE IS ENCOUNTERED DURING DEMOLITION, IT SHOULD BE BROUGHT TO THE ATTENTION OF THE SUPERVISING CIVIL ENGINEER AND THE PROJECT MANAGER PRIOR TO PROCEEDING WITH THE WORK.
4. DUST SHALL BE CONTROLLED BY WATERING.
5. PRIOR TO COMMENCING ANY DEMOLITION WORK, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT WATER METER FROM THE TOWN OF ORO VALLEY WATER DEPARTMENT AND THE METER SHALL BE USED AT ALL TIMES WHEN WATER IS BEING OBTAINED FROM A CITY OF TUCSON FIRE HYDRANT.
6. THE LOCATION AND PROTECTION OF ALL UTILITIES AND SURVEY MONUMENTS OF EVERY NATURE, WHETHER OR NOT THEY ARE SHOWN ON THESE DRAWINGS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BEAR THE TOTAL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES AND SURVEY MONUMENTS THAT HAVE BEEN DAMAGED OR DESTROYED DURING DEMOLITION.
7. ALL ONSITE IMPROVEMENTS WHICH ARE TO BE REMOVED OFFSITE SHALL BE PROPERLY HANDLED AND DISPOSED OF IN COMPLIANCE WITH EXISTING TOWN, COUNTY, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
8. CONTRACTOR SHALL CONTACT THE UNDERGROUND SERVICE ALERT, 811 OR 602-263-1100, 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION, FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES OF RECORD NOT SHOWN ON THIS DRAWING.
9. ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED IN THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION LATEST EDITION AND THE TOWN OF ORO VALLEY.
10. EXISTING CITY STREETS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE DEMOLITION OPERATIONS. THE STREET RIGHT OF WAY SHALL BE CLEANED UP DAILY, AS NECESSARY, TO MAINTAIN SAFE PEDESTRIAN AND VEHICULAR PASSAGE AT ALL TIMES.
11. ANY MODIFICATIONS OF OR CHANGES IN APPROVED DEMOLITION PLANS MUST BE APPROVED BY THE SUPERVISING ENGINEER AND OWNER.
12. A COPY OF THE DEMOLITION PERMIT AND APPROVED DEMOLITION PLAN MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
13. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY THE SUPERVISING ENGINEER, OWNER OR GOVERNING AUTHORITIES RETURN ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO START OF WORK.
14. CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT AND UTILITY DISCONNECTION PERMITS FROM THE CITY OF TUCSON AND UTILITY COMPANIES AS REQUIRED PRIOR TO COMMENCING ANY DEMOLITION WORK.
15. TO PROTECT THE PUBLIC, THE SITE SHALL BE SECURED WITH FENCING OR OTHER MEANS TO PREVENT PUBLIC ACCESS ONTO THE SITE DURING THE DEMOLITION PROCESS.
16. AN INSPECTION BY PDSD AFTER THE DEMOLITION TO BE COMPLETED THAT WILL VERIFY THE PROPERTY HAS BEEN STABILIZED IN A MANNER THAT WILL PROVIDED PROTECTION FROM SAFETY AND ENVIRONMENTAL HAZARDS, INCLUDING BUT NOT LIMITED TO STABILIZATION OF THE SOIL TO PREVENT EROSION OR DUST. THE INSPECTOR MUST BE PROVIDED DOCUMENTATION THAT THE DISCONNECTION AND CAPPING OF ALL UTILITIES HAS BEEN PROVIDED FOR THE DEMOLITION.

KEY NOTES

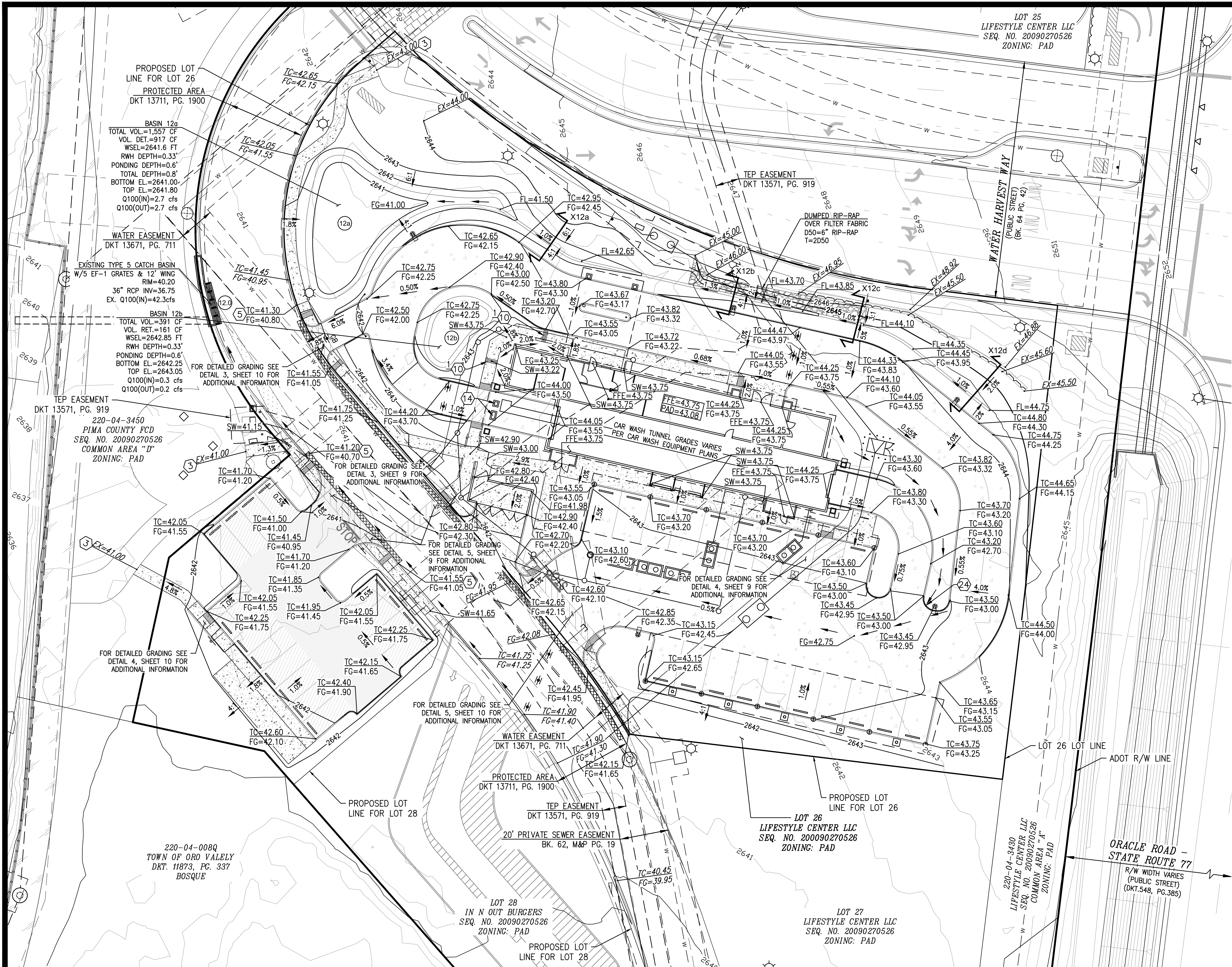
- ① CURB TO BE REMOVED
② HARDSCAPE TO BE REMOVED
③ PAVEMENT TO BE REMOVED



No.	Date	Item

Scale	1"=20'
Job No.	185050-PB-01/0600
Date	JUNE 2023
Designed By	JAW
Checked By	DWL





CONSTRUCTION KEY NOTES

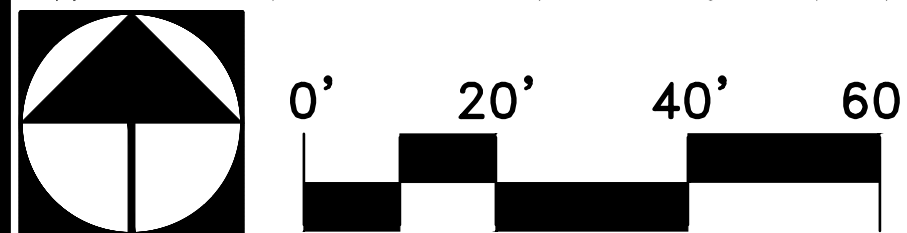
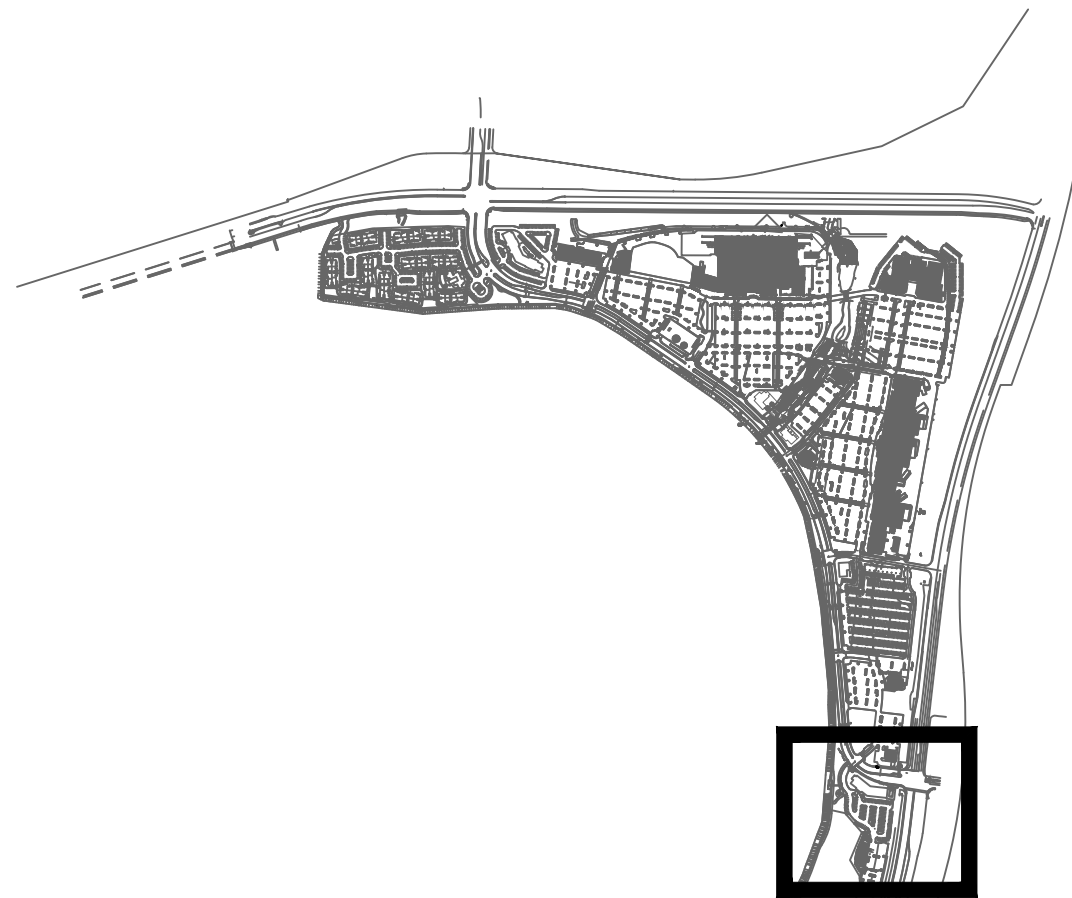
(ALL NOTES MAY NOT APPLY TO THIS SHEET)

- 1) CONSTRUCT 3" A.C. PAVEMENT OVER 8" A.B.C. IN DRIVE ISLES AND ENTRY'S AND 2.5" A.C. PAVEMENT OVER 6" A.B.C. IN PARKING SPACES OR 6" THICKNESS RIGID PCC PAVEMENT AT OR EXCEEDING MINIMUM RECOMMENDED BY GEOTECHNICAL ENGINEERING REPORT, SPEEDIE AND ASSOCIATES PROJECT #220906S, DATED JUNE 6, 2022.
- 2) CONSTRUCT CONCRETE SIDEWALK PER PAG STD. DTL. NO. 200. (WIDTH PER PLAN)
- 3) CONCRETE SIDEWALK: NEW TO EXISTING CONNECTION PER PAG STD. DTL. NO. 203.
- 4) CONSTRUCT 6" CONCRETE VERTICAL CURB PER PAG STD. DTL. NO. 209.
- 5) CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211
- 6) 2' WIDE SAWCUT. TRIM, TACK AND JOIN TO EXISTING PAVEMENT.
- 7) SIGHT VISIBILITY TRIANGLE PER DTL. 3, SHT. 8.
- 8) CONSTRUCT CURB ACCESS RAMP PAG STD. DTL. 207.
- 9) CONSTRUCT BICYCLE PARKING PER DTL. 4, SHT. 8.
- 10) CONSTRUCT TYPE 1 SIDEWALK SCUPPER PER PAG STD. DTL. NO. 204. (NUMBER OF TUBES PER PLAN)
- 11) CONCRETE CURB TERMINAL SECTION PER PAG STD. DTL. NO. 212.
- 12) TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- 13) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER PER DTL. 1, SHT. 9.
- 14) TRENCH DRAIN PER CAR WASH EQUIPMENT PLANS
- 15) EXISTING LIGHT POLE TO REMAIN IN PLACE
- 16) NEW LIGHT POLE PER ARCHITECTURAL PLANS.
- 17) PEDESTRIAN CROSS WALK PER DTL. 2, SHT. 8.
- 18) STOP BAR PER DTL. 1, SHT. 10.
- 19) EXIT GATE PER ARCHITECTURAL PLANS.
- 20) POINT OF SALE MEDIAN ISLAND PER ARCHITECTURAL PLANS.
- 21) STOP SIGN PER DTL. 2, SHT. 10.
- 22) HANDRAIL PER 2009 ICC A 117.1 SECTIONS 405 AND 505.
- 23) TRUNCATED DOMES
- 24) CONSTRUCT ACCESSIBLE PARKING LAYOUT PER PER DTL. 6, SHT. 10.

- HEAVY DUTY ASPHALT PAVEMENT (3"A.C./8"A.B.C.)
- LIGHT DUTY ASPHALT PAVEMENT (2.5"A.C./6"A.B.C.)
- RIGID PCC PAVEMENT (6")

NOTES:

1. MAXIMUM SIDEWALK CROSS SLOPE IS 2%, MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAIL. LONGITUDINAL SLOPE GREATER THAN 5% REQUIRES HANDRAIL. (EXCEPT CURB RAMPS) MAXIMUM SLOPE AT LANDINGS AND ACCESSIBLE PARKING IS 2% IN ALL DIRECTIONS.
2. ALL SLOPE STABILIZATION TO BE ACCORDANCE WITH DETAIL 8 ON SHEET 8.
3. SEE SHEET 10 FOR CONCENTRATION POINT INFORMATION.
4. SEE SHEET 10 (TABLE OF HYDRAULIC STRUCTURES) FOR SCUPPER INFORMATION.
5. SEE DETAIL 1, SHEET 10 FOR CHANNEL CROSS SECTION INFORMATION.



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SURF THRU CAR WASH
LOT 26 OF ORO VALLEY MARKETPLACE-MASTER DEVELOPMENT PLAN/PRELIMINARY PLAT
BOOK 64 M&P PAGE 42, ORO VALLEY, ARIZONA

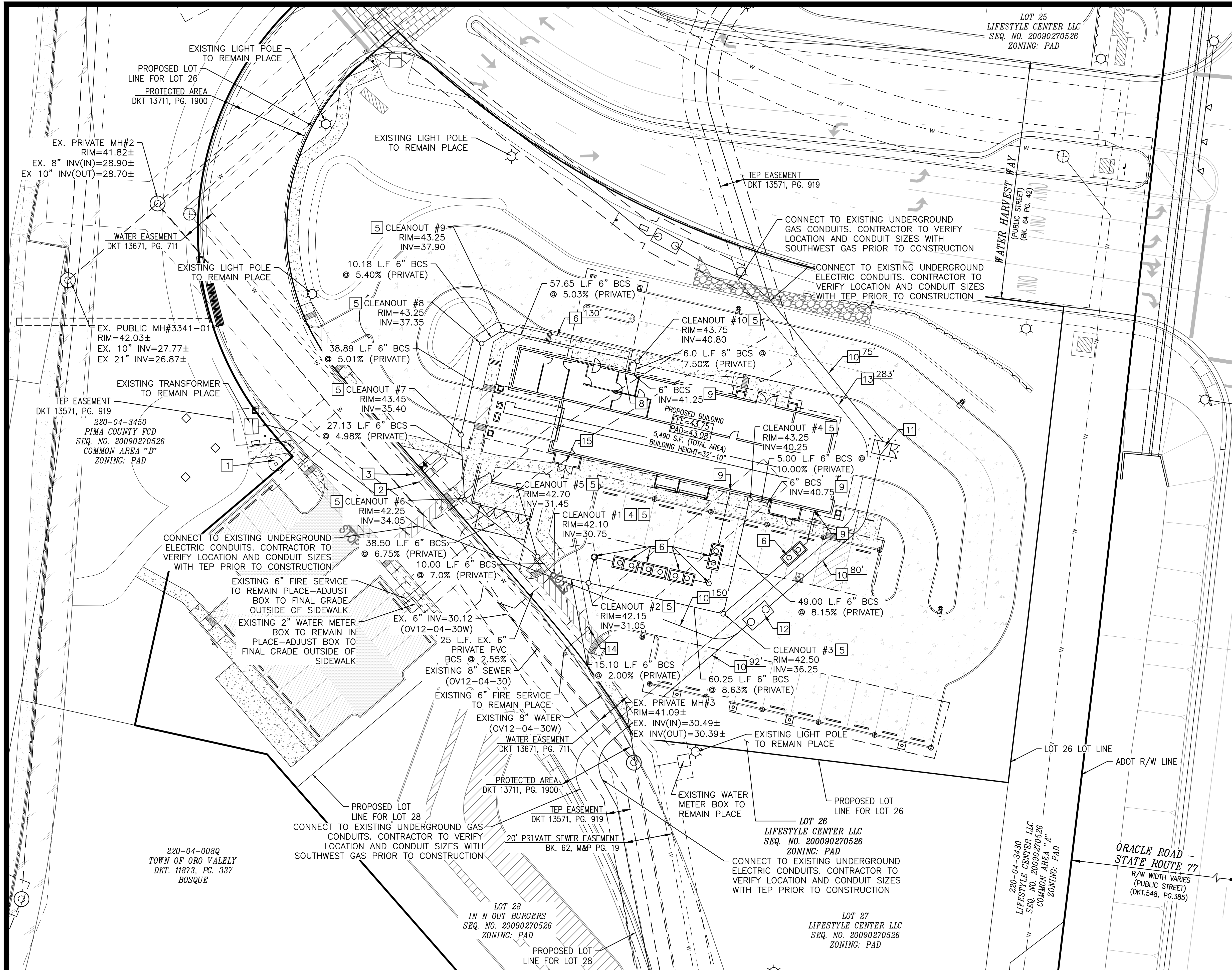
GRADING PLAN SHEET
FINAL SITE PLAN AND
PRIVATE SEWER, GRADING AND PAVING IMPROVEMENT PLANS
G22

No.	Date	Item

Scale 1"=20'
Job No. 185050-PB-01/0600
Date JUNE 2023
Designed By JAW
Checked By DWL

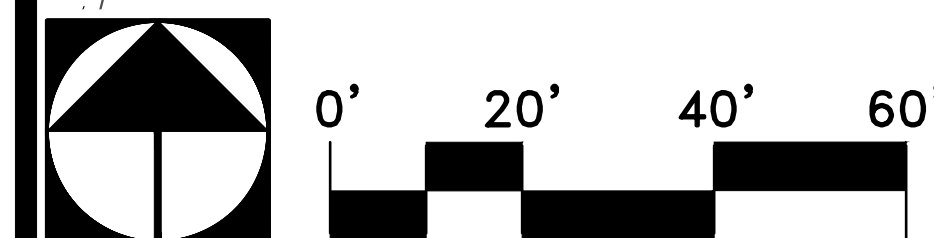
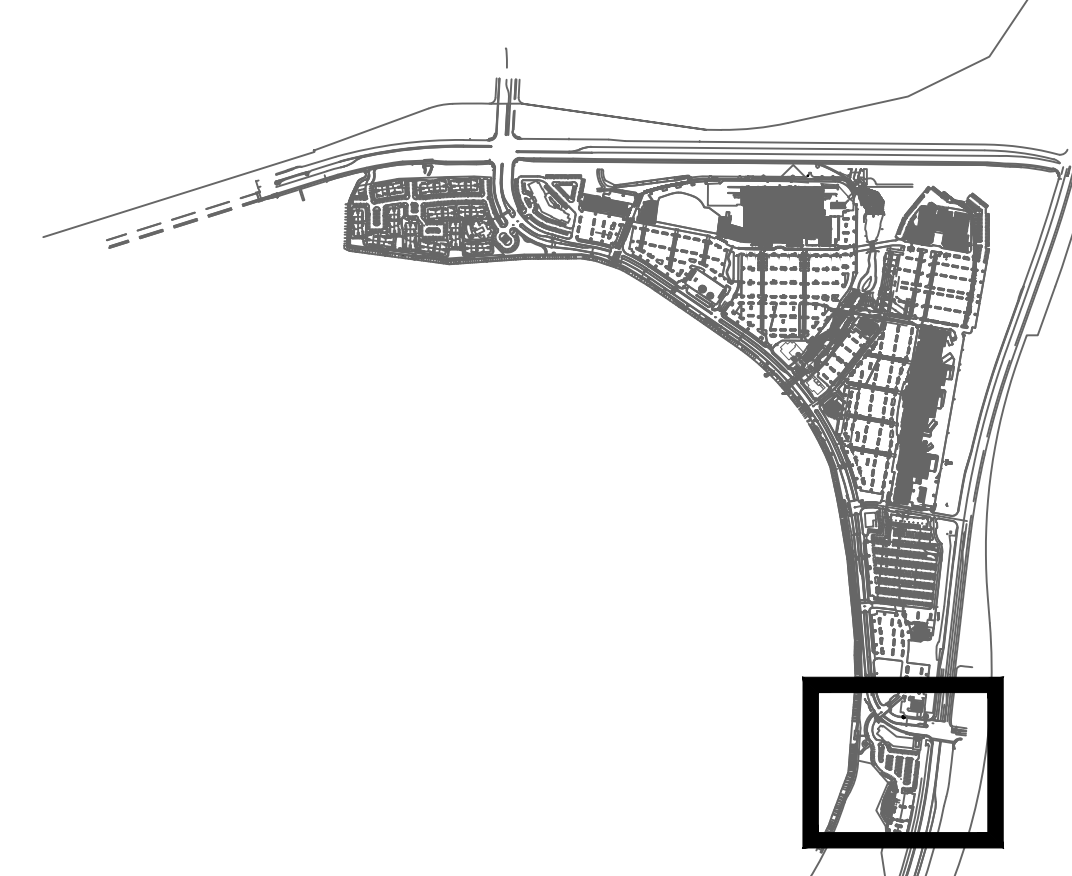
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ARIZONA 811
Call 811 or click Arizona811.com

Professional Engineer
No. 36234
DAVID W. LITTLE
State of Arizona
Sheet **6**
of **11**



CONSTRUCTION KEY NOTES

- 1 EXISTING FIRE HYDRANT LOCATION
- 2 2" DOMESTIC WATER SERVICE CONNECTION BY SEPARATE PLAN
- 3 1" IRRIGATION WATER SERVICE CONNECTION BY SEPARATE PLAN
- 4 CONNECT TO EXISTING PRIVATE BCS. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH PRIOR TO CONSTRUCTION.
- 5 SEWER CLEANOUT PER DETAIL 2, SHEET 9. (RIM AND INVERTS PER PLAN)
- 6 RECLAIMED WATER SYSTEM PER CAR WASH EQUIPMENT PLANS
- 7 2" PRIVATE DOMESTIC WATER (LENGTH PER PLAN)
- 8 FOR INTERNAL CONTINUATION OF WATER LINE, SEE PLUMBING PLANS
- 9 FOR INTERNAL CONTINUATION OF SEWER LINE, SEE PLUMBING PLANS
- 10 PROPOSED UNDERGROUND ELECTRIC CONDUITS. CONTRACTOR TO VERIFY LOCATION, CONDUIT SIZE AND QUANTITY AND DEPTH WITH TEP PRIOR TO CONSTRUCTION. (LENGTH PER PLAN)
- 11 PROPOSED TRANSFORMER LOCATION. CONTRACTOR TO VERIFY LOCATION WITH TEP PRIOR TO CONSTRUCTION.
- 12 PROPOSED PULLBOX LOCATION. CONTRACTOR TO VERIFY LOCATION WITH TEP PRIOR TO CONSTRUCTION.
- 13 PROPOSED UNDERGROUND GAS CONDUITS. CONTRACTOR TO VERIFY LOCATION, CONDUIT SIZE AND QUANTITY AND DEPTH WITH SOUTHWEST GAS PRIOR TO CONSTRUCTION. (LENGTH PER PLAN)
- 14 6" FIRE SERVICE CONNECTION BY SEPARATE PLAN
- 15 FIRE RISER ROOM



The WLB Group Inc.

Engineering, Planning, Surveying
Landscape Architecture, Urban Design
Offices located in Tucson, Phoenix,
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4444 East Broadway, Tucson, AZ 85711
(520) 881-7480

SURF THRU CAR WASH
LOT 26 OF ORO VALLEY MARKETPLACE-MASTER DEVELOPMENT PLAN/PRELIMINARY PLAT
BOOK 64 M&P PAGE 42, ORO VALLEY, ARIZONA

UTILITY PLAN SHEET
FINAL SITE PLAN AND
PRIVATE SEWER, GRADING AND PAVING IMPROVEMENT PLANS
G22

No.	Date	Item

REF: OV1204-30
OV1204-30A
2102619
2201105

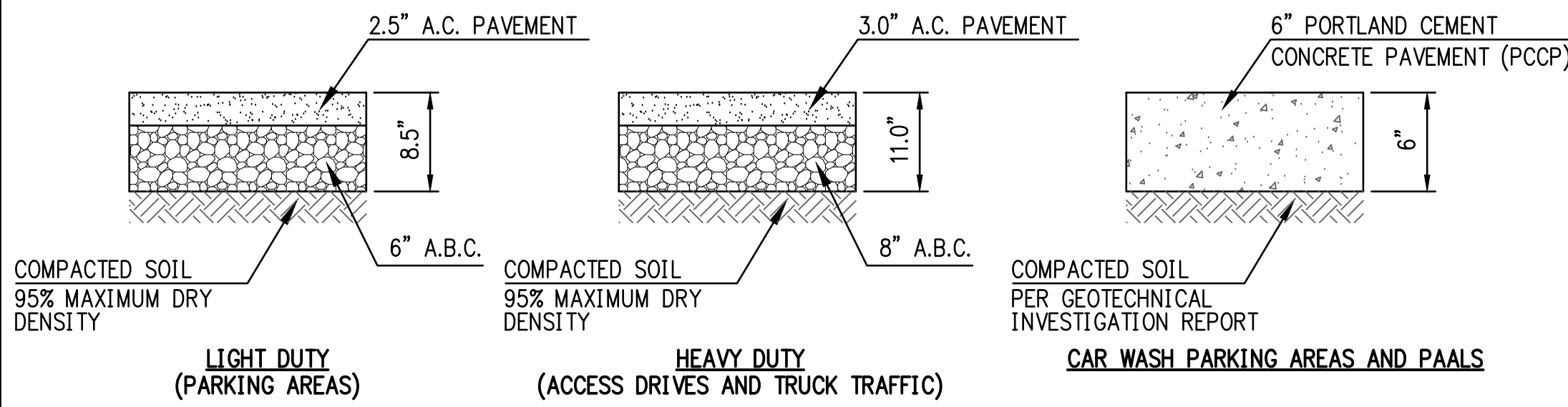


Scale 1"=20'
Job No. 185050-PB-01/0600
Date JUNE 2023
Designed By JAW
Checked By DWL

Sheet 7
of 11

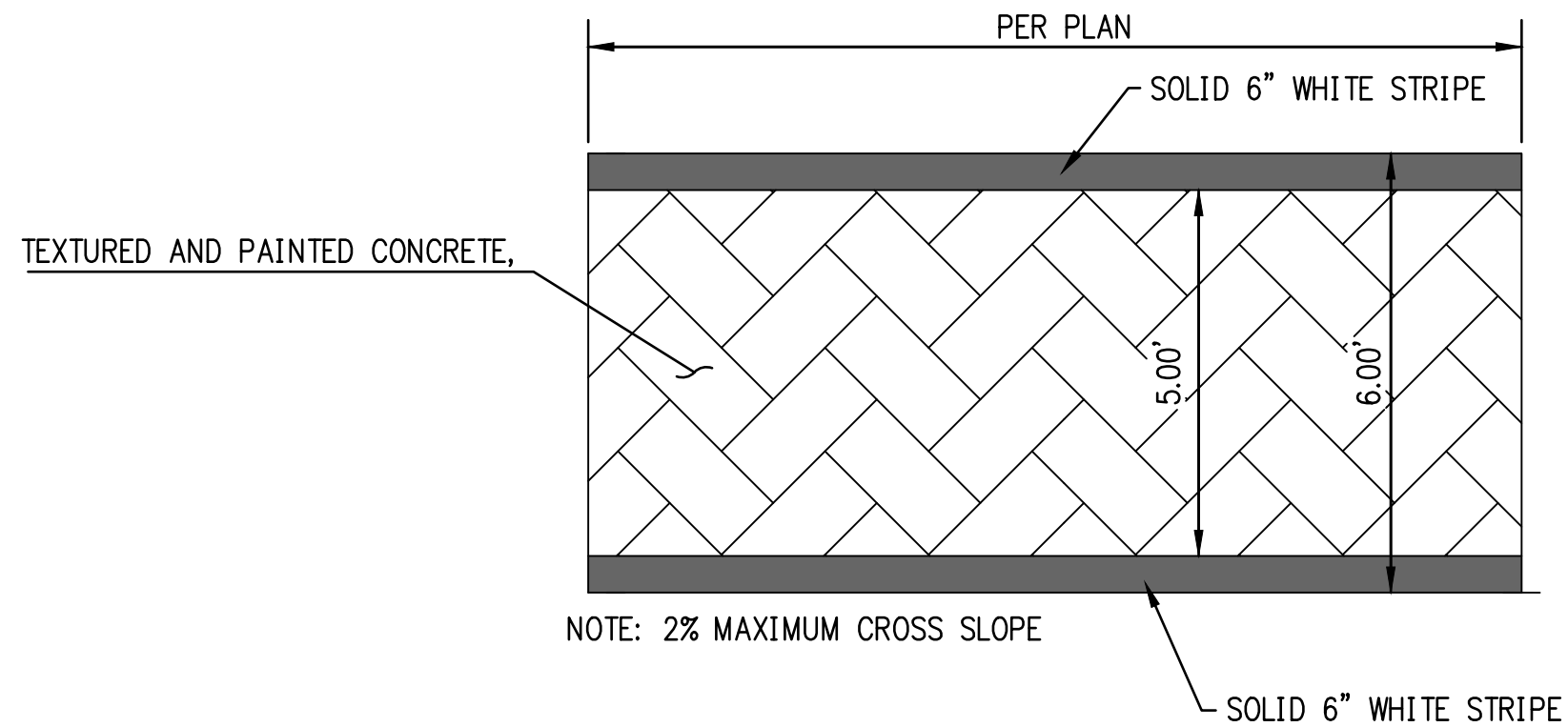
CLASS II PARKING

CLASS I PARKING
(FOR REFERENCE ONLY)



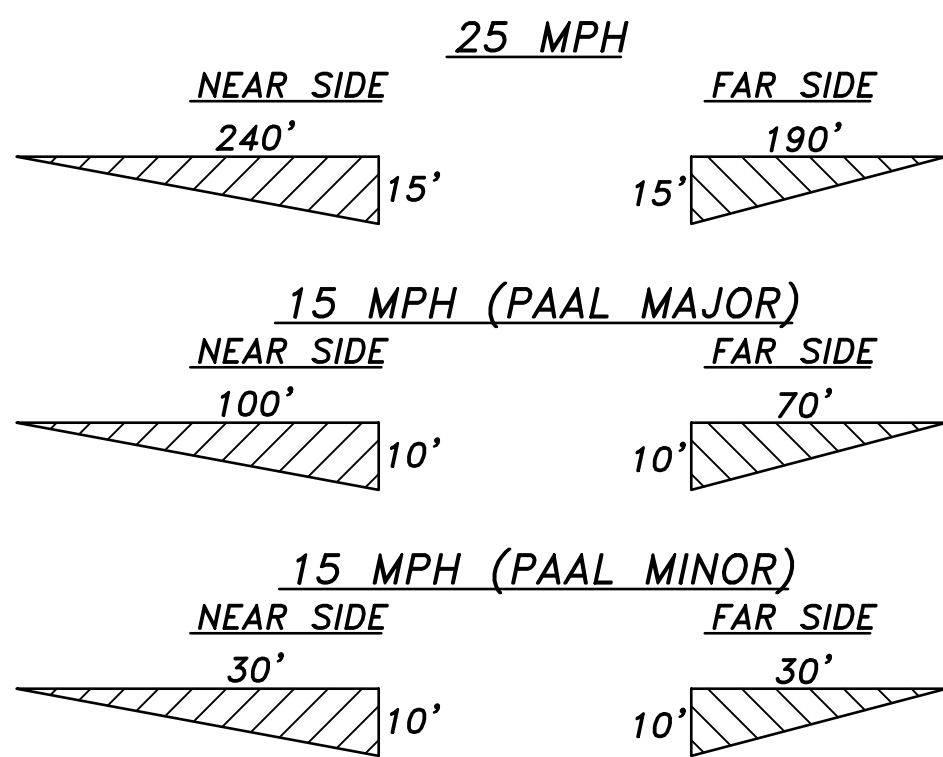
1 PAVEMENT STRUCTURE

COMPACTION PER STANDARD PROCTOR TEST (ASTM D698) NTS



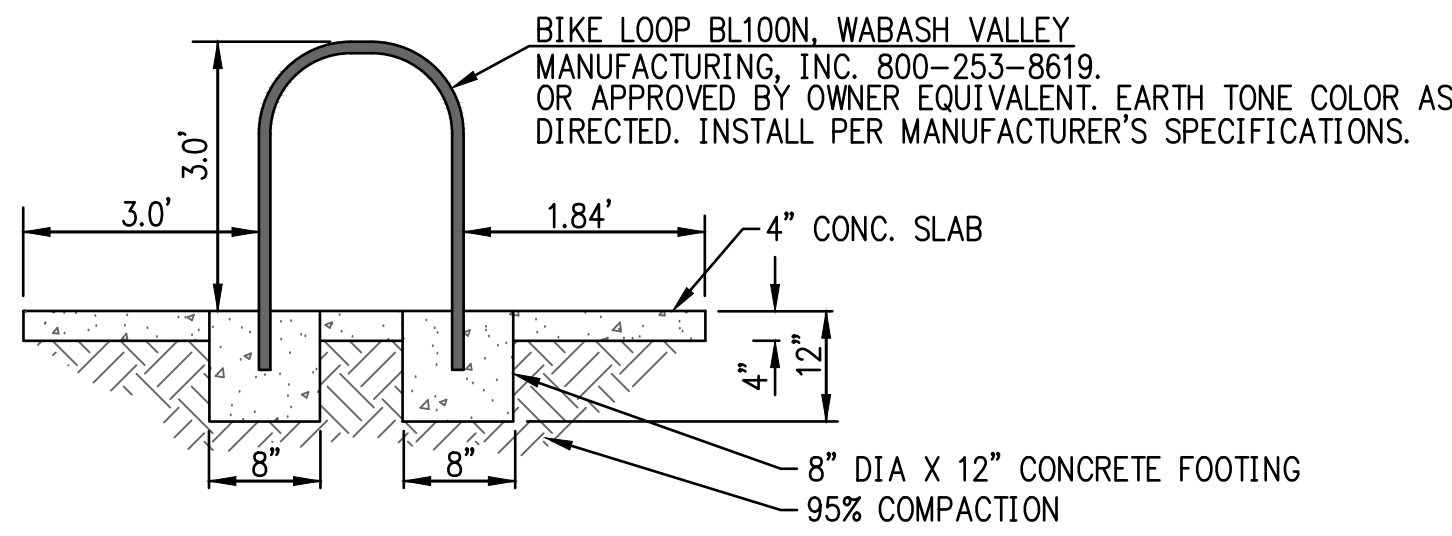
2 PEDESTRIAN CROSS WALK PAINT DETAIL

USE HIGH VISIBILITY WHITE PAINT NTS

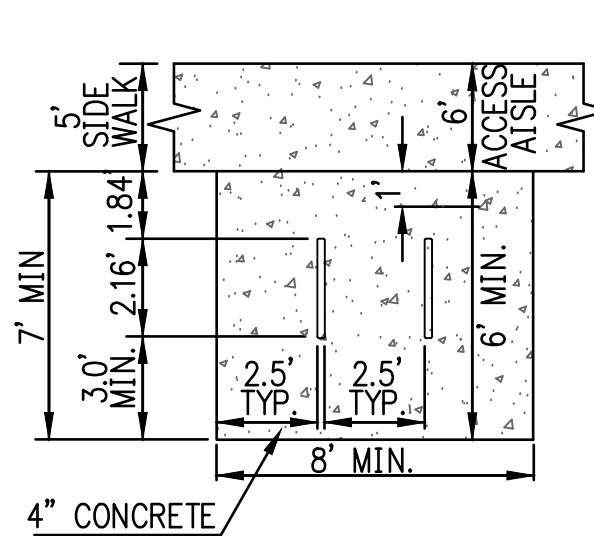


3 TYPICAL SIGHT VISIBILITY TRIANGLE DETAIL

NTS



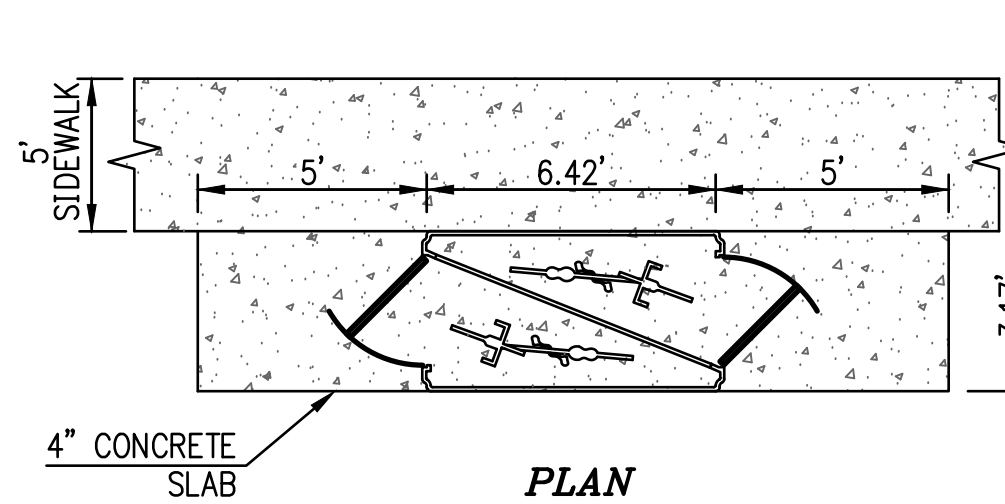
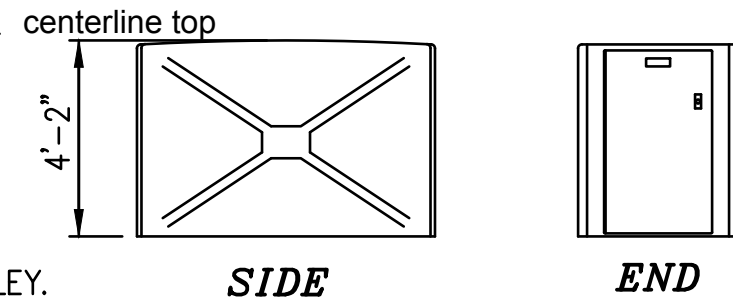
PROFILE



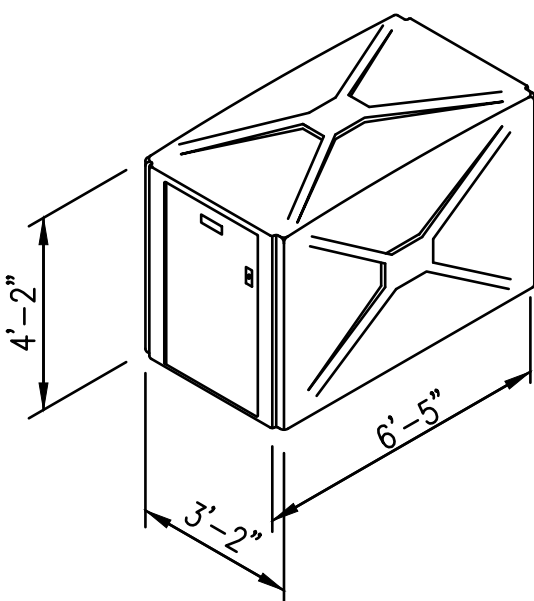
PLAN VIEW

THE COVERED, SECURED BICYCLE PARKING FACILITY PROTECTS AGAINST DIRECT SUNLIGHT AND THEFT OF THE ENTIRE BICYCLE AND OF ITS COMPONENTS AND ACCESSORIES BY THE USE OF:

1. BICYCLE LOCKERS
2. CHECK-IN FACILITIES
3. MONITORED PARKING
4. RESTRICTED ACCESS PARKING
5. OTHER SECURED PARKING AS APPROVED BY THE TOWN OF ORO VALLEY.



PLAN



4 BICYCLE PARKING

NTS

1'-0" x 1'-6" x .080 ALUMINUM HANDICAPPED PARKING SIGN.
SIGN TO READ: "TOWN CODE SEC. 11-4-3.A" W/IDENTIFICATION SYMBOL PER 2006 IBC CH.11, ICC/ANSI A117.1-2003, SEC. 502.7. BOLT TO STEEL TUBE W/ 3/8" CADMIUM PLATED BOLTS, NUTS & WASHERS

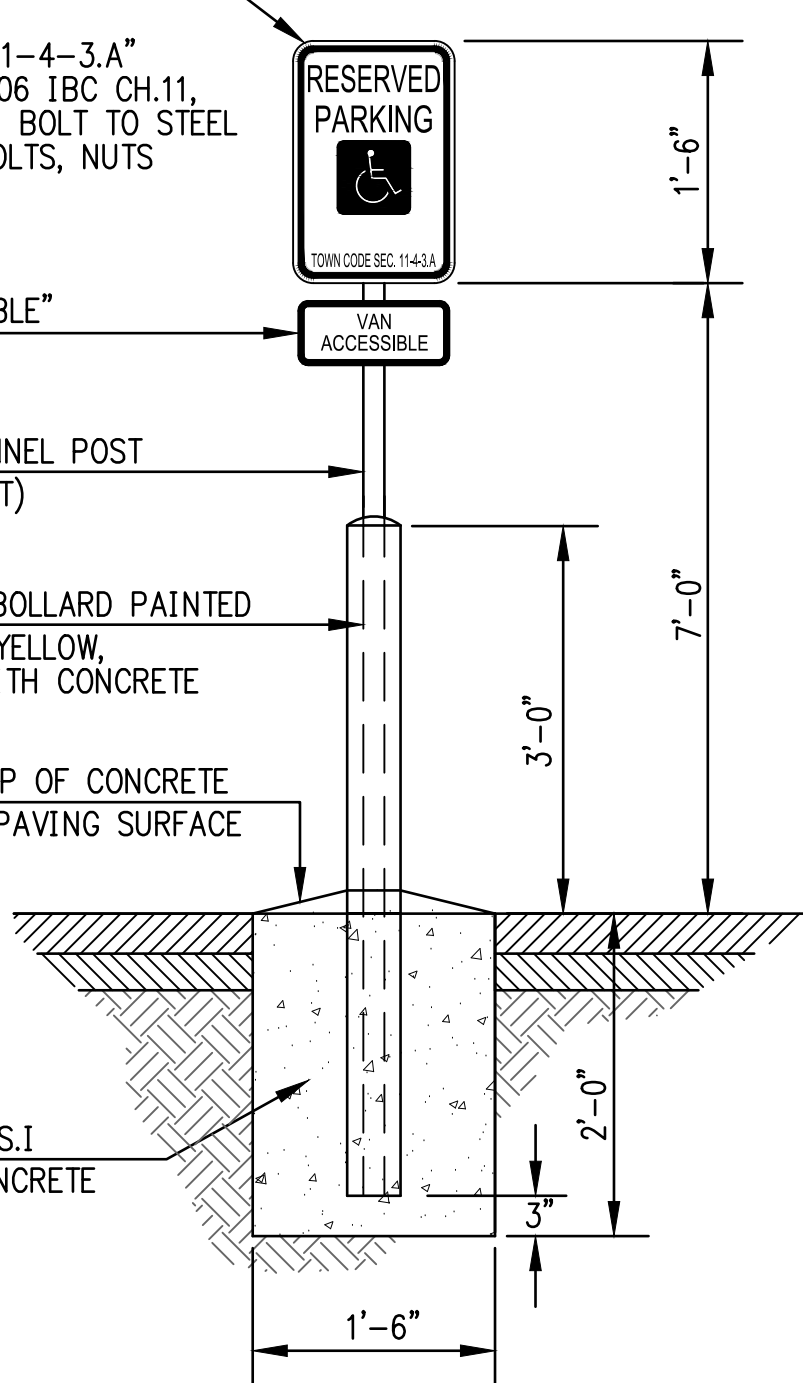
"VAN ACCESSIBLE"

"U"-CHANNEL POST (2-LBS/FT)

6" PIPE BOLLARD PAINTED TRAFFIC YELLOW, FILLED WITH CONCRETE

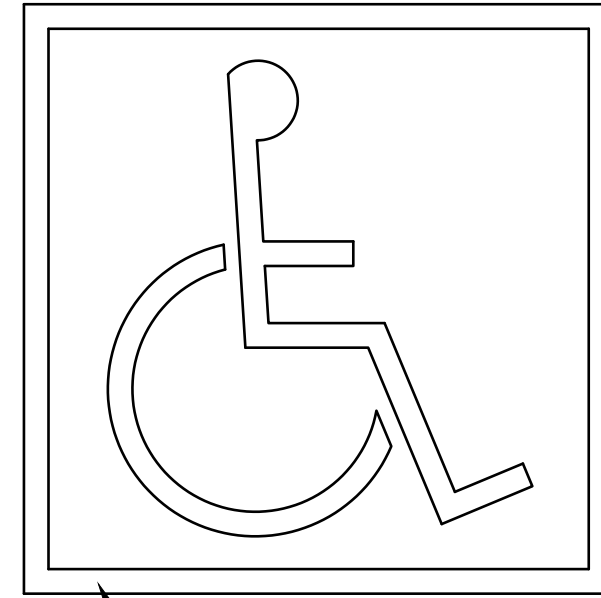
SLOPE TOP OF CONCRETE GROUND/PAVING SURFACE

3500 P.S.I P.C. CONCRETE



5 TYPICAL ACCESSIBLE PARKING SIGN

NTS

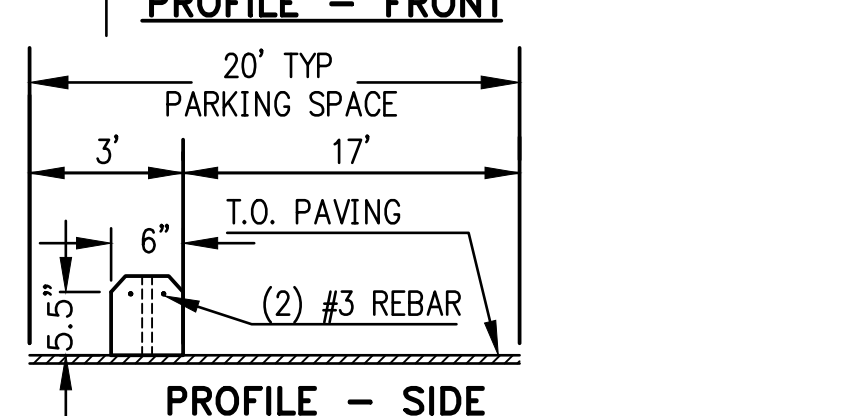
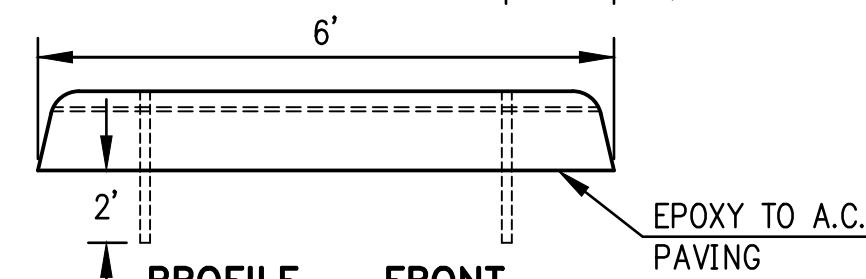
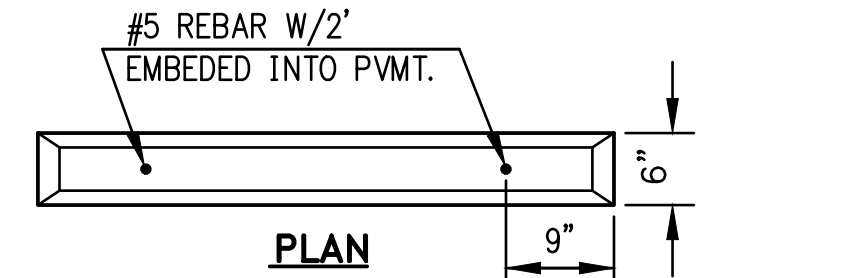


SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL

IN ADDITION TO PAINTED PARKING SYMBOL, PROVIDE A 70 SQ.IN. SIGN SHOWING H/C SYMBOL ONLY AT EACH HANDICAPPED PARKING STALL PER TITLE 24 AND A.D.A.

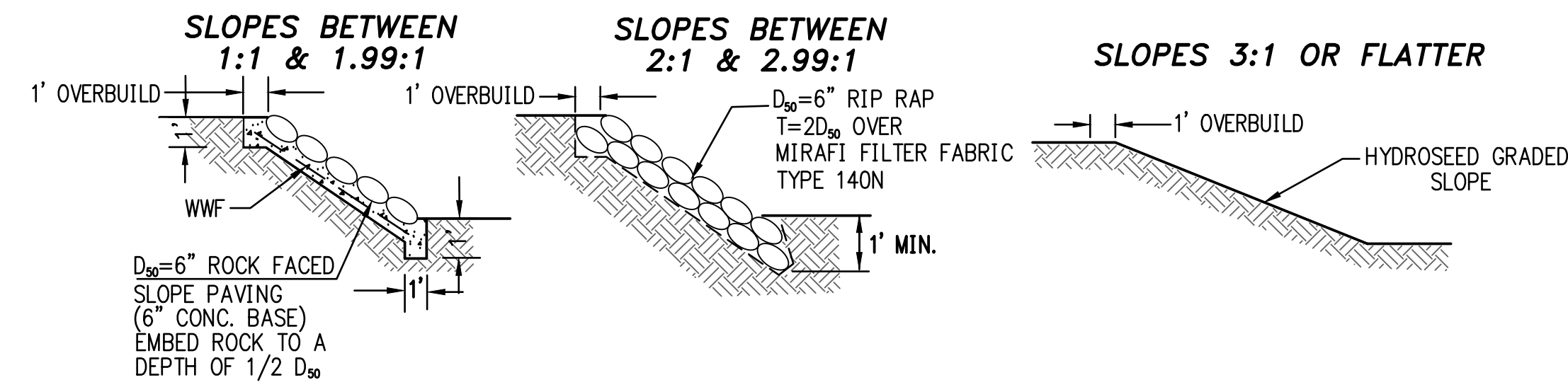
6 TYPICAL HANDICAP SYMBOL

NTS



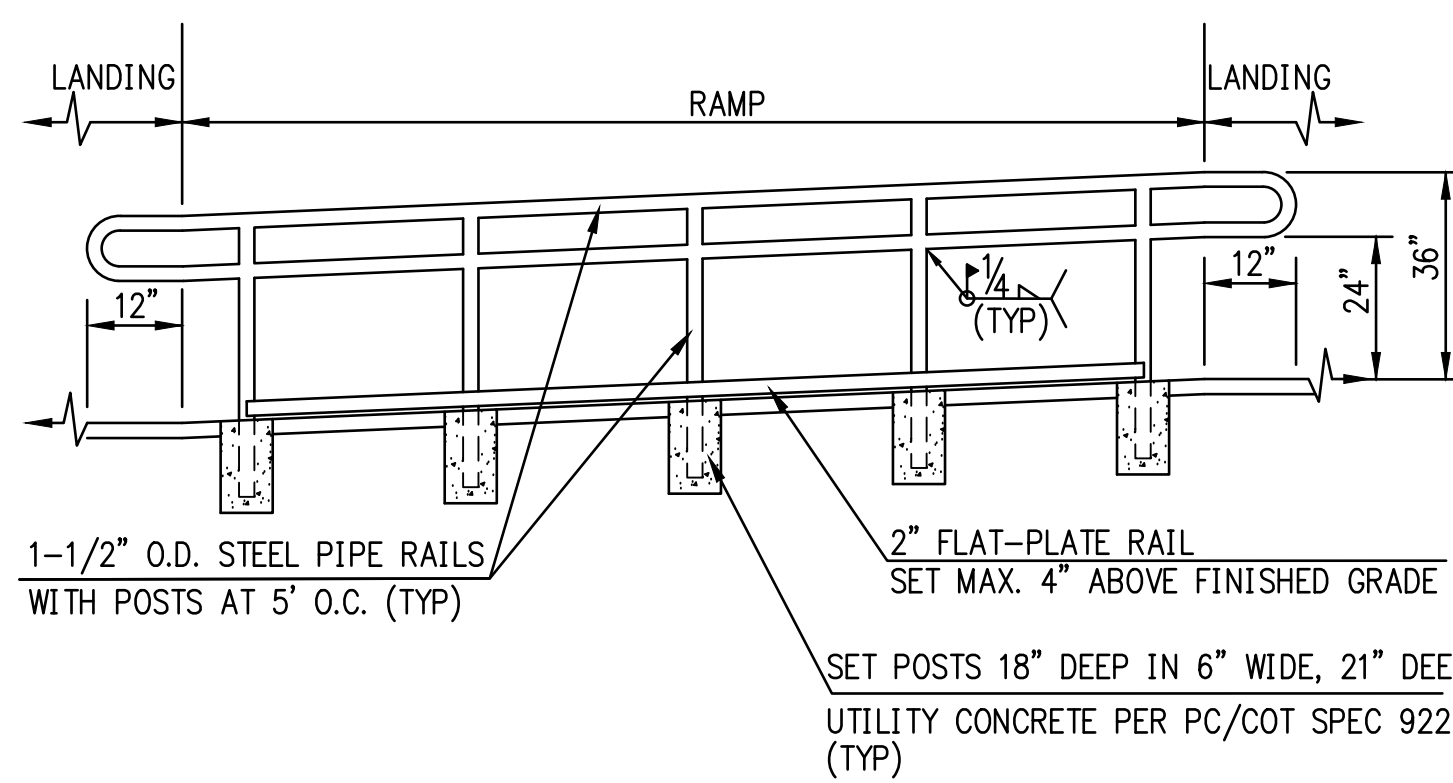
7 CONCRETE WHEEL STOP

NTS



8 SLOPE STABILIZATION DETAILS

NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN) NTS

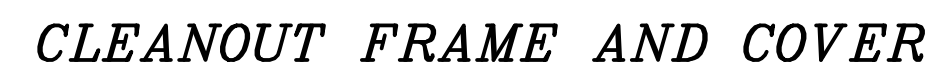


9 HANDRAIL

NTS

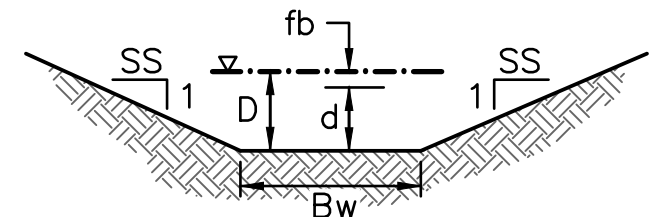
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OV1204-30A
2102619
2201105





NTS

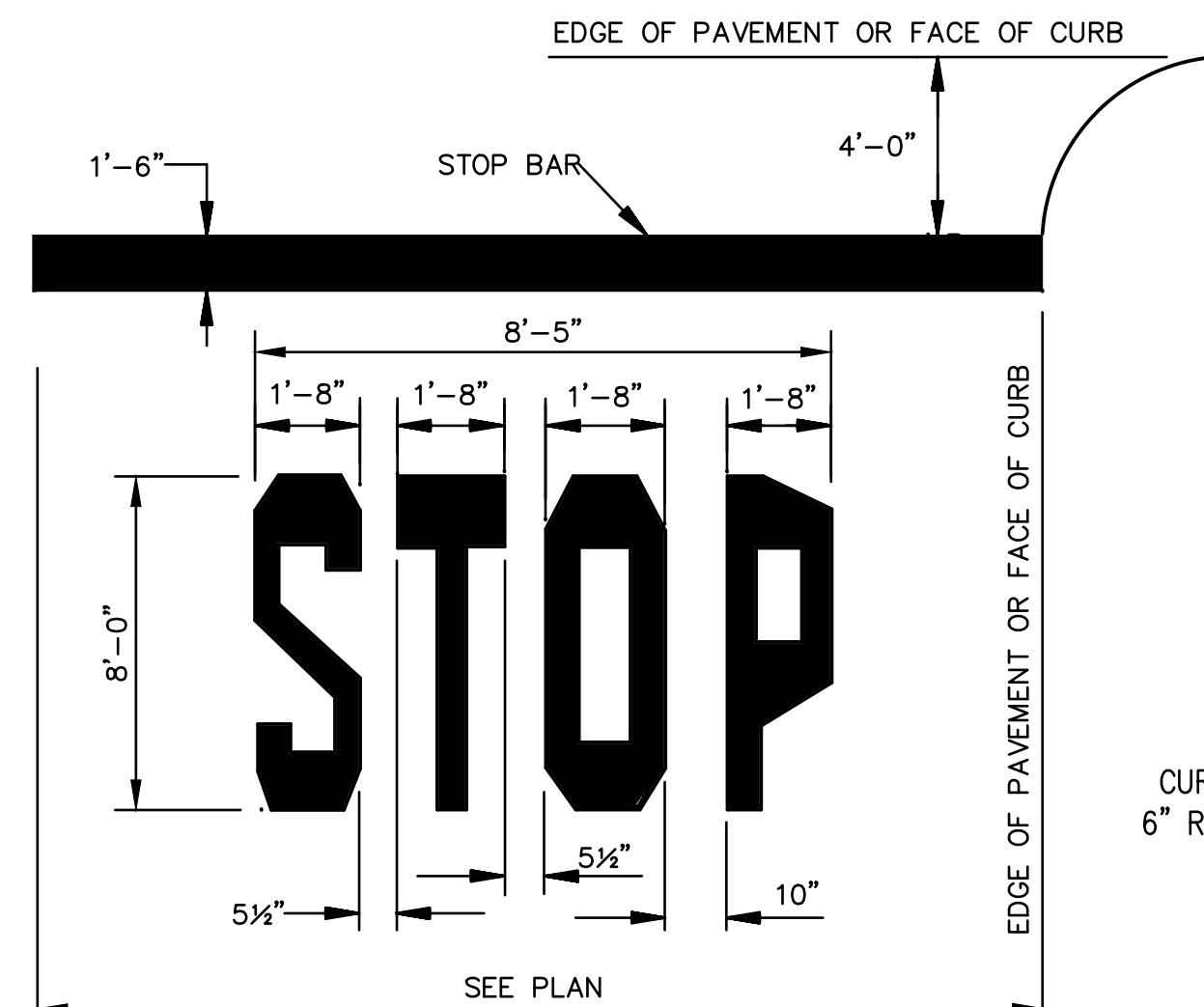




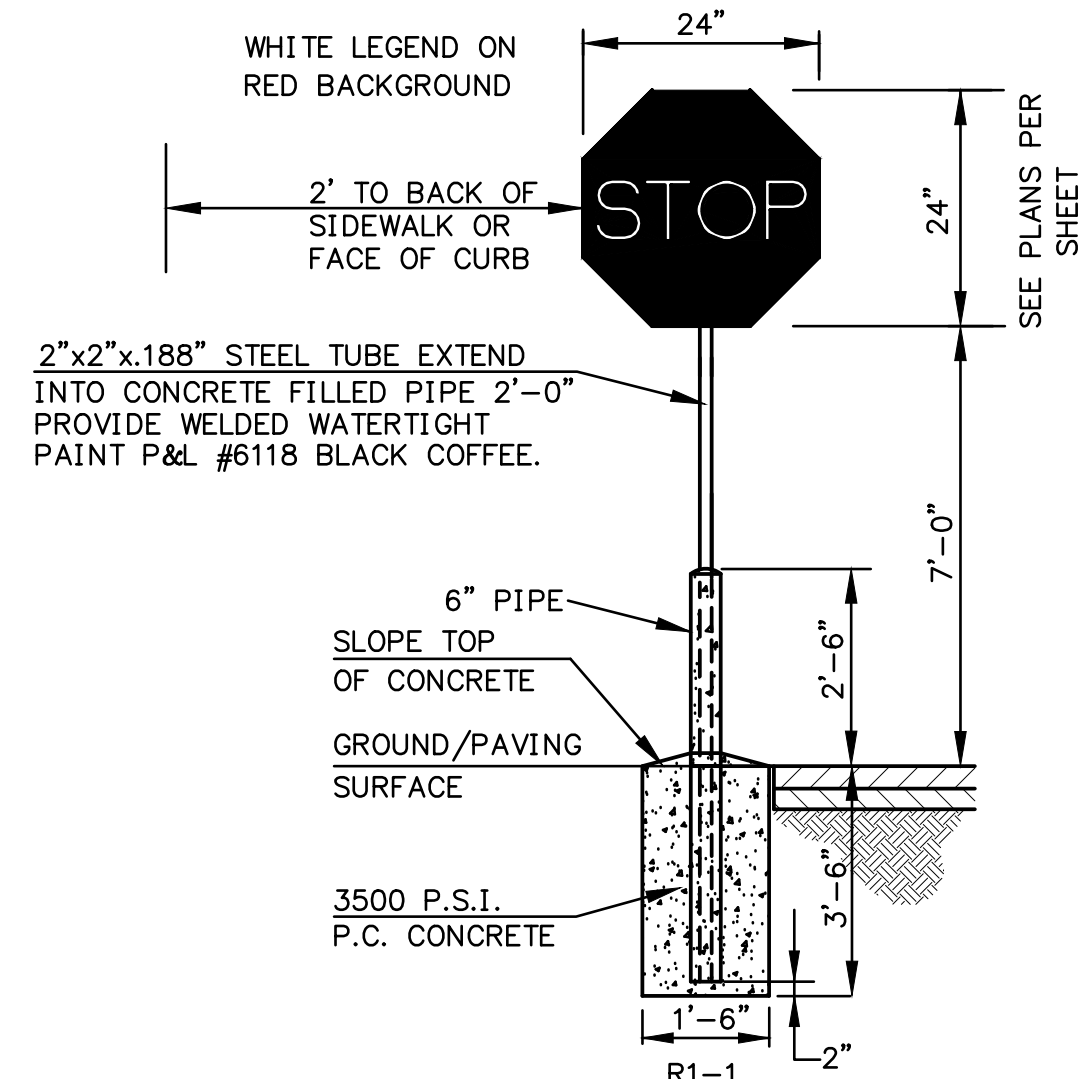
1 PROPOSED CONSTRUCTED CHANNEL DETAIL
N.T.S.

TABLE OF CONSTRUCTED CHANNELS									
X-SEC	Q ₁₀₀ (cfs)	V ₁₀₀ (fps)	fb	d	D	SLOPE(%)	Bw	SS	n
X12a	1.1	2.12	0.05'	0.24'	0.29'	1.00	1'	6 & 4	0.020
X12b	0.6	1.42	0.02'	0.24'	0.26'	1.30	1'	2 & 4	0.036
X12c	0.3	2.08	0.02'	0.11'	0.13'	2.20	1'	3 & 4	0.020
X12d	0.1	0.92	0.01'	0.05'	0.06'	1.60	1'	50 & 4	0.020

*PRO-RATED DISCHARGE
*SEE CALCULATION SHEETS IN HYDRO REPORT-APPENDIX B FOR MORE INFORMATION
*SIDE SLOPES STEEPER THAN 3:1 SHALL BE RIP-RAP IN ACCORDANCE TO SLOPE STABILIZATION DETAILS



1 STOP BAR
N.T.S.



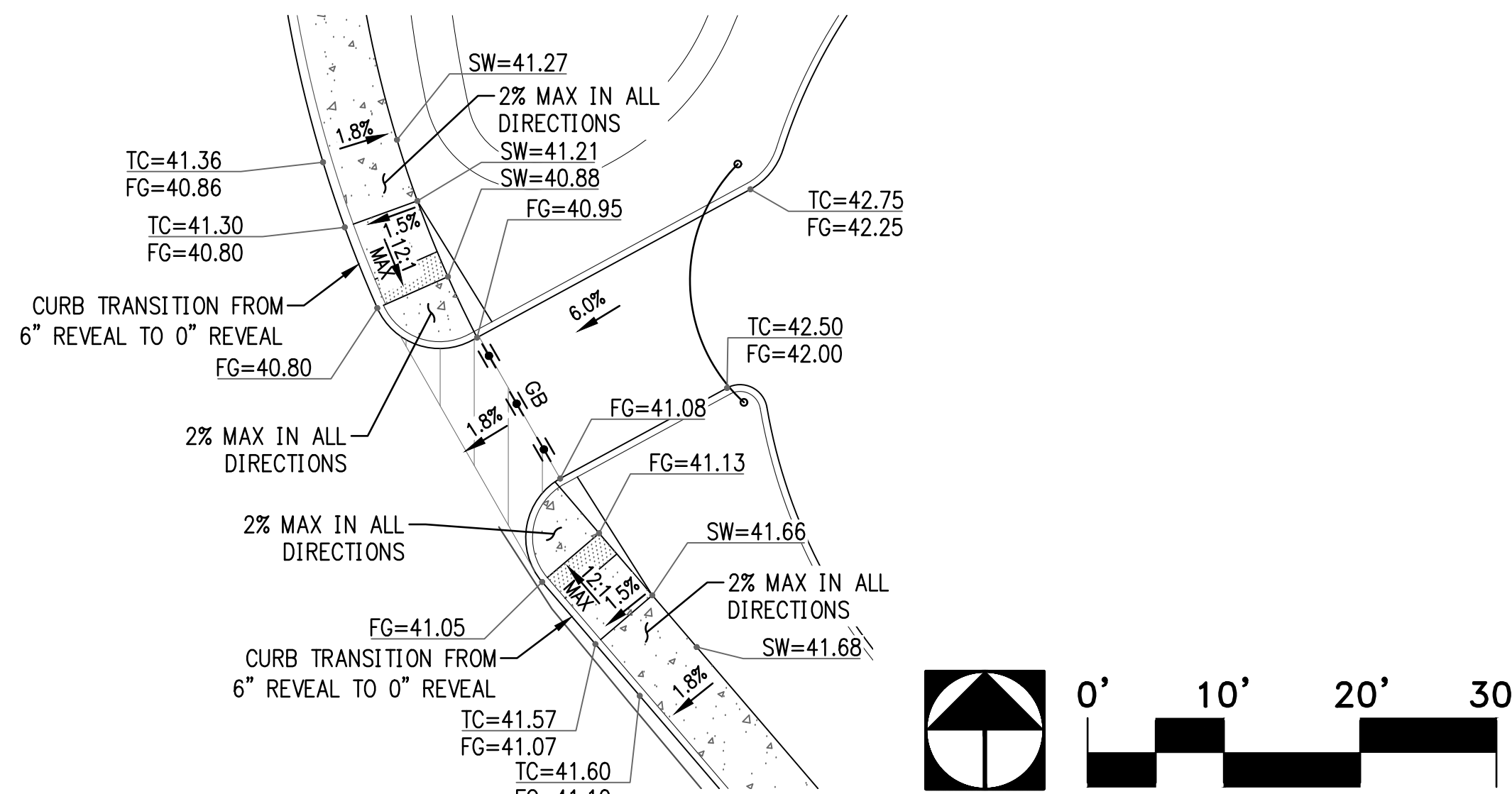
2 "STOP" SIGN
N.T.S.

TABLE OF PROPOSED BASINS AND OUTFLOW STRUCTURES								
BASIN	Q ₁₀₀ IN (cfs)	Q ₁₀₀ OUT (cfs)	TOTAL VOLUME (CF)	PONDING VOLUME (CF)	100-YR WSEL (FT)	PONDING DEPTH (FT)	TOP ELEVATION (FT)	BLEEDER PIPE (12" PVC)
12a	2.7	2.7	1,557	917	2641.60	0.6	2641.80	N/A
12b	0.3	0.2	391	161	2642.85	0.6	2643.05	N/A

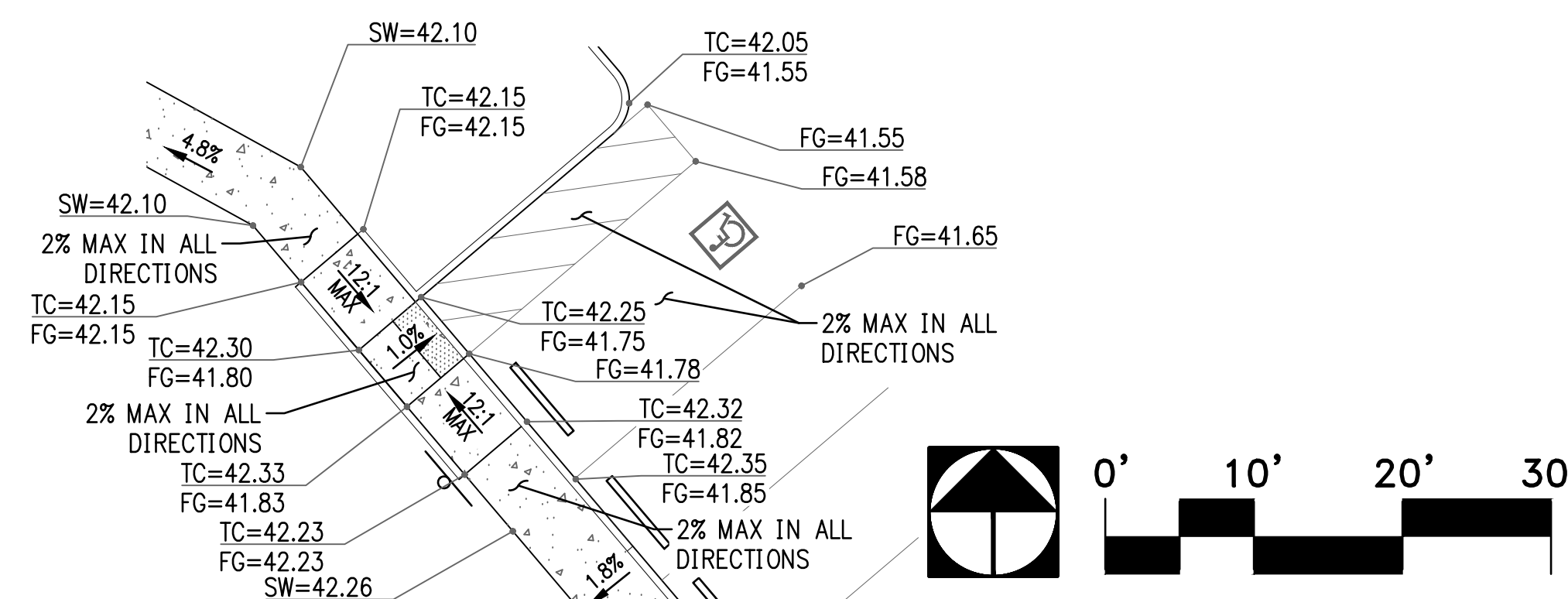
TABLE OF HYDRAULIC STRUCTURES		
CONC. POINT	Q ₁₀₀ (CFS)	STRUCTURE
12	42.3	EXISTING TYPE 5 CATCH BASIN W/5 EF-1 GRATES & 12' WING. 1-36"x77.13' SRP;S=0.50% (EXISTING)
13	24.1	EXISTING 16' WIDE (4 CELLS) TYPE 3 SIDEWALK SCUPPER W/6" REVEAL

TABLE OF POST-DEVELOPED DISCHARGES		
CONC. POINT	DRAINAGE AREA (AC)	100-YEAR (CFS)
12	4.87	42.3
13	2.20	21.4

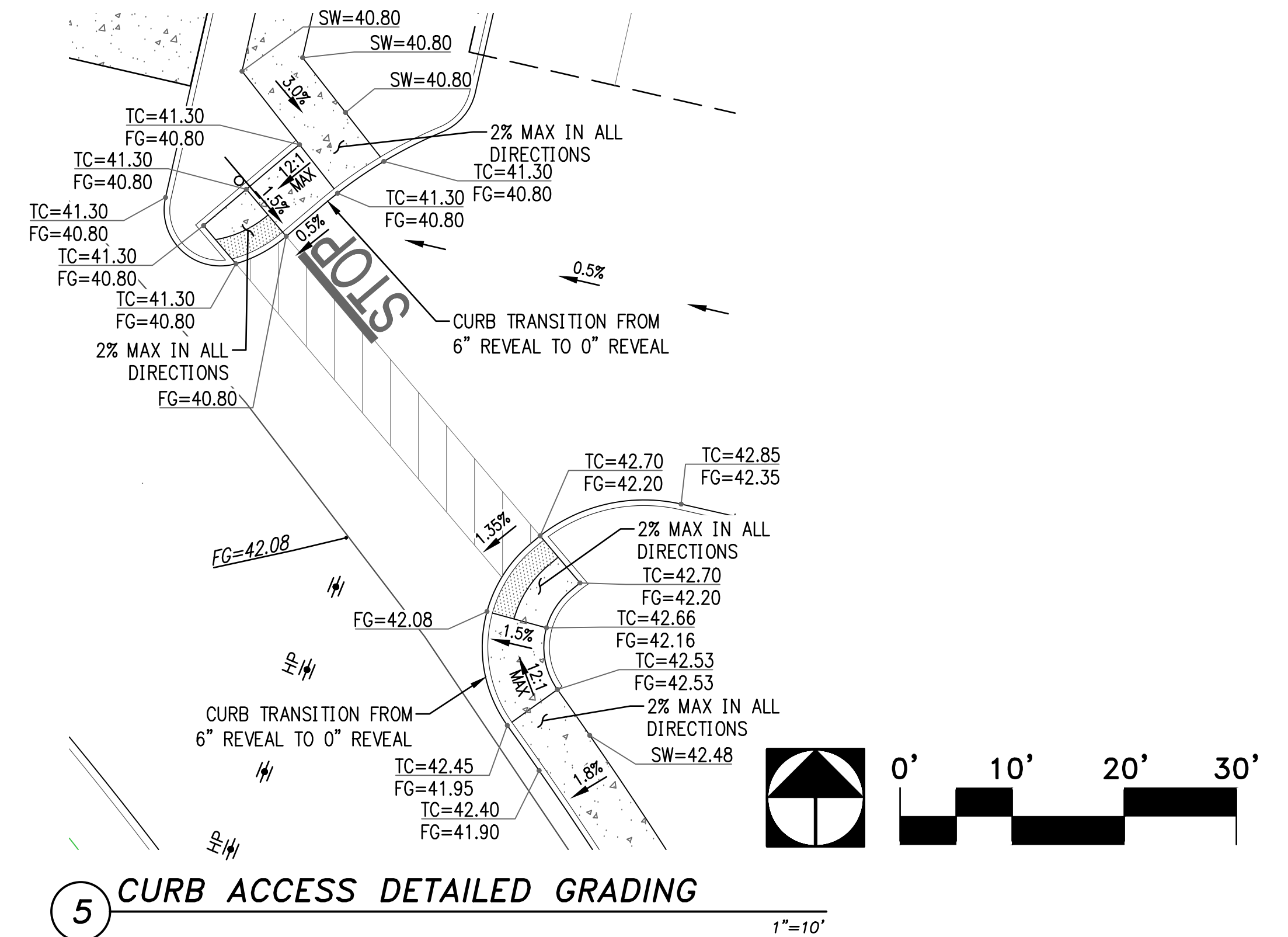
TABLE OF POST-DEVELOPED DISCHARGES		
CONC. POINT	DRAINAGE AREA (AC)	PRO-RATED 100-YEAR (CFS)
12a	0.31	2.7
12b	0.03	0.3



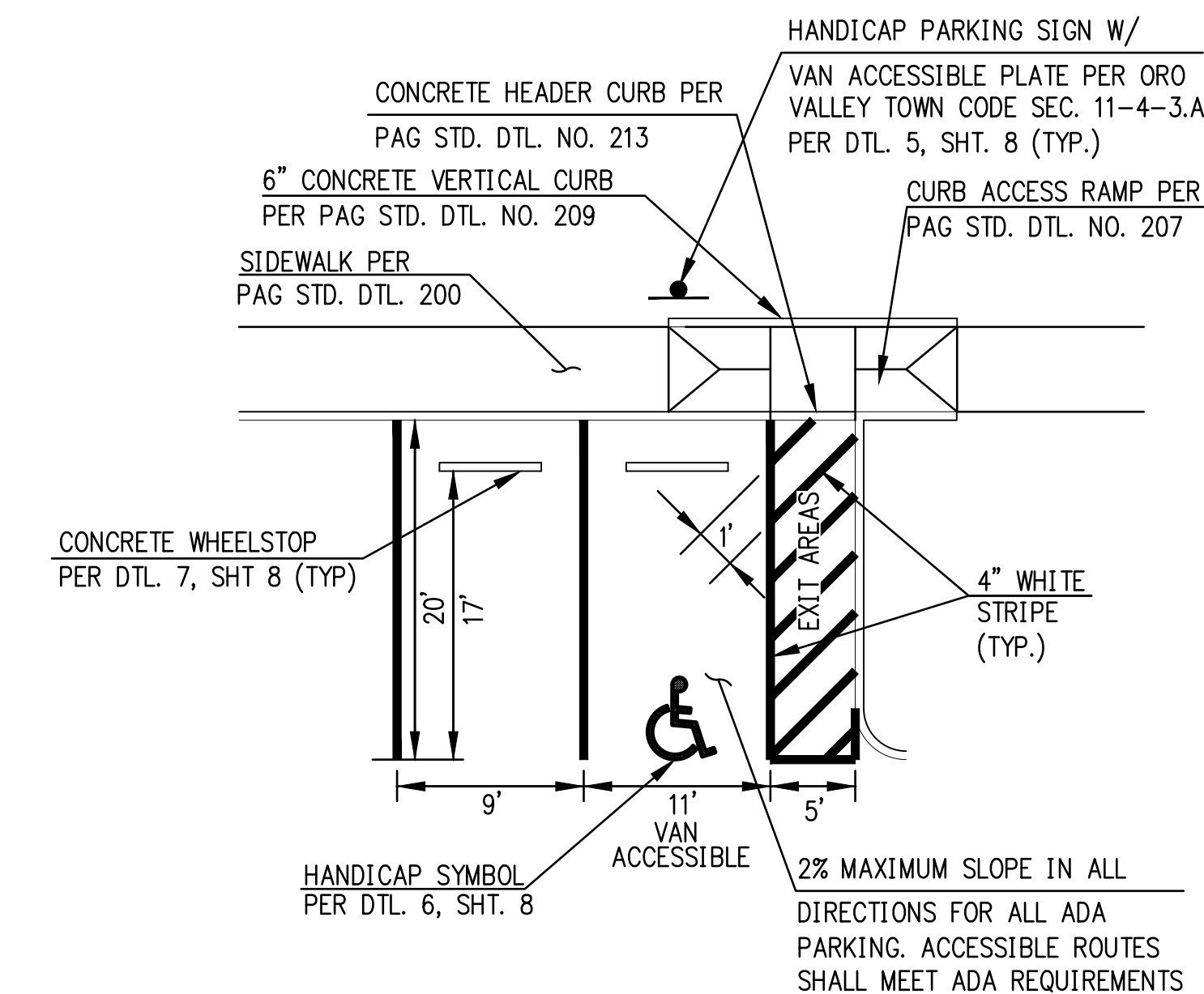
3 CURB ACCESS DETAILED GRADING
1"=10'



4 CURB ACCESS DETAILED GRADING
1"=10'



5 CURB ACCESS DETAILED GRADING
1"=10'



6 TYPICAL HANDICAP PARKING SPACE STRIPING
N.T.S.

