

GENERAL NOTES

- THE GROSS AREA OF THIS DEVELOPMENT IS 10.16 ACRES, NET BUILDING AREA IS ~~38,150~~ SQUARE FEET. **33,045 SF**
- THE CONDITIONAL ZONING IS C-N PER ORDINANCE NO. (O)97-12, OV9-96-7.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 15, T-12-S, R-13-E, G&SRBM, PIMA COUNTY, ARIZONA, AS SHOWN ON THE FINAL PLAT OF RANCHO FELIZ, LOTS 442-647, AS RECORDED IN BOOK 31 OF MAPS AND PLATS AT PAGE 92, BEING N 89°51'50" W.
- THE BASIS OF ELEVATION IS A 2" BCSM STAMPED "PE5955" AT THE SOUTH QUARTER CORNER OF SECTION 11, T-12-S, R-13-E, G&SRBM, PIMA COUNTY, ARIZONA, SAID ELEVATION BEING 2516.01' AS SHOWN ON THE CANADA HILLS ESTATES LOTS 1-41 (BOOK 44, PAGE 40), IMPROVEMENT PLANS (OV 12-91-07).
- DEVELOPER WILL COVENANT TO HOLD TOWN OF ORO VALLEY, ITS SUCCESSORS, AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
- DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
- THE DESIGN VEHICLE FOR THIS PROJECT IS SU-30. THE DESIGN SPEED IS 15 MPH.
- APPROVED IMPROVEMENT PLANS AND APPROVED ASSURANCES WILL BE REQUIRED PRIOR TO ISSUANCE OF GRADING PERMITS.
- WATER SUPPLY: THE WATER DISTRICT FOR THIS DEVELOPMENT IS ORO VALLEY WATER UTILITY. THE PROJECT WILL BE SERVED BY AN 8" MAIN IN LAMBERT LANE WHICH HAS AN ASSURED 100YR WATER SUPPLY.
- SEWAGE DISPOSAL: THE SEWAGE FROM THIS DEVELOPMENT WILL FLOW INTO THE SEWAGE SYSTEM OPERATED BY PIMA COUNTY WASTEWATER MANAGEMENT DISTRICT. THE PROJECT WILL BE CONNECTED TO THE EXISTING 15" MAIN IN LA CANADA DRIVE AND AN 8" IN RANCHO FELIZ.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS. THE SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- THE ESTIMATED FIXTURE UNIT COUNT FOR THIS PROJECT IS 300.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- IF DRAINAGEWAYS ARE TO BE CONSTRUCTED, THEY WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THIS PROJECT.
- OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE TOWN OF ORO VALLEY STANDARDS.
- THE REQUIRED ART-WORK WILL BE IN THE FORM OF LANDSCAPE SCREEN WALL EMBELLISHMENT. THE EMBELLISHMENT WILL CONSIST OF CERAMIC TILE, MOSAIC-WORK, AND/OR RELIEF IN THE SCREEN WALL.
- A PROPERTY ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY AND LIABILITY OF PRIVATE DRAINAGEWAYS, DRAINAGE EASEMENTS AND COMMON AREAS.
- THE ACCESS ONTO LAMBERT LANE WILL BE LIMITED TO A DECELERATION AND A RIGHT TURN IN ONLY UNTIL THE PROPOSED IMPROVEMENTS TO LAMBERT LAMBERT LANE HAVE BEEN COMPLETED BY THE TOWN OF ORO VALLEY.
- A BUILDING HEIGHT VARIANCE HAS BEEN GRANTED BY THE TOWN OF ORO VALLEY BOARD OF ADJUSTMENT. THIS VARIANCE ALLOWS THE 18' MAXIMUM BUILDING HEIGHT WHICH WAS APPROVED DURING THE REZONING TO BE INCREASED TO 25' FROM NATURAL GROUND, AS GENERALLY PERMITTED IN C-N ZONING.
- DEVELOPMENT PLANS WILL BE SUBMITTED FOR COMMERCIAL LOTS OR PADS PRIOR TO ISSUANCE OF ANY PERMITS BY TOWN OF ENGINEER AND/OR BUILDING OFFICIAL.
- THE PROPERTY OWNER, HIS SUCCESSORS OR ASSIGNS AGREE TO:
 - KEEP ALL REQUIRED LANDSCAPED AREAS MAINTAINED IN A WEED FREE, TRASH FREE CONDITION.
 - REPLACE ANY DEAD PLANT MATERIALS WITHIN 90 DAYS.
 - MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER.
- THE FIRE FLOW FOR THIS PROJECT IS 1500 GPM.
- OFFSITE IMPROVEMENTS ON LAMBERT LANE AND LA CANADA DR SHALL HAVE THE REVIEW AND APPROVAL BY TOWN ENGINEER.

REZONING REQUEST SPECIAL CONDITIONS

- THE WESTERN PORTION OF THE SITE WILL BE RESTRICTED TO BUSINESS AND PROFESSIONAL OFFICE USES.
- DEVELOPER WILL COVENANT TO REMOVE ONLY THAT VEGETATION THAT IS NECESSARY FOR BUILDING PADS, ACCESSORY USES, ROADS AND DRIVEWAYS, AND TO SALVAGE ALL HEALTHY PALO VERDE, MESQUITE, IRONWOOD, SAGUAROS AND BARREL CACTI FOR ON-SITE LANDSCAPING PURPOSES.

CAÑADA CROSSROADS DEVELOPMENT PLAN

2202232

AVERAGE CROSS SLOPE CALCULATION

PRE-DEVELOPED:

$$ACS = \frac{1 \times L \times 0.0023}{A} = \frac{5 \times 15.027 \times 0.0023}{10.16} = 17.01\%$$

DEVELOPED:

$$ACS = \frac{1 \times L \times 0.0023}{A} = \frac{5 \times 3.372 \times 0.0023}{10.16} = 3.82\%$$

PARKING CALCULATIONS

1. PARKING REQUIRED	EMPLOYEE PARKING	VISITOR/USER	TOTAL
PAD 1 RETAIL 5,200 SF	1/2 EMPLOYEES 3 SPACES	1/200 SF 26 SPACES	29 SPACES
PAD 2 CONVENIENCE USE (DRIVE-THRU RESTAURANT) RETAIL 5,950 SF	1/2 EMPLOYEES 3 SPACES	1/200 SF 30 SPACES	33 SPACES
SHOPS 3 RETAIL 9,000 SF	1/2 EMPLOYEES 5 SPACES	1/200 SF 45 SPACES	50 SPACES
SHOPS 4 RETAIL 18,000 SF	1/2 EMPLOYEES 10 SPACES	1/200 SF 90 SPACES	100 SPACES
TOTAL REQUIRED			194-212 SPACES
TOTAL PROVIDED			233-252 SPACES
SURPLUS PARKING			39-40 SPACES

BREAKDOWN OF PARKING TYPES:

STANDARD 9' x 20'	220-242	(96%) 94.4%
HANDICAPPED (SIZE VARIES)	13-10	(4%) 5.6%

TOTAL 233-252

2. BICYCLE PARKING:	BICYCLE SPACES REQUIRED	= 20-1 CLASS I, 9 CLASS II
1 PER 20 REQ'D PRKG SPACES	BICYCLE SPACES PROVIDED	= 20-1 CLASS I, 12 CLASS II
REQD & 10% SHALL BE CLASS I	BICYCLE SPACES CLASS I	= 10
TOWN CODE 27.7.F.2	BICYCLE SPACES CLASS II	= 10

3. LOADING:	LOADING SPACES REQUIRED	= 4-3
	LOADING SPACES PROVIDED	= 4-3

APPROVALS:

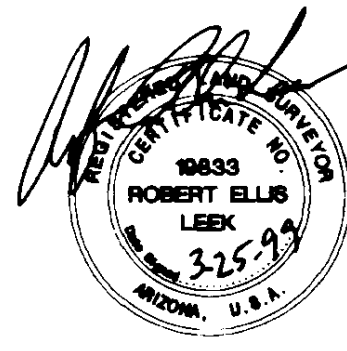
PLANNING & ZONING ADMINISTRATOR	DATE
TOWN ENGINEER	DATE
ORO VALLEY WATER UTILITY DIRECTOR	DATE

CERTIFICATE OF SURVEY

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS CONDUCTED UNDER MY DIRECTION.



FOR 1 ONLY



REGISTRATION NUMBER: R.L.S. 19833

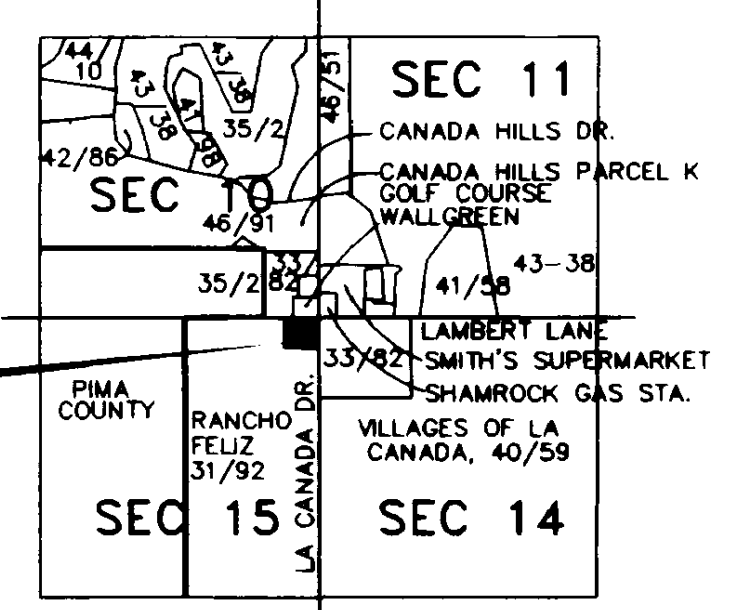
TOWN OF ORO VALLEY
MAP-217
Admin. Address:
10357 N. La Canada Dr.
OV12-98-12

PAD #2
OWNER/DEVELOPER
ONETEN REI GUADALUPE LLC
ATTN: NICO FRICCHIONE
140 RIO SALADO PKWY STE 1104
TEMPE, AZ 85281
PH (570) 947-7372
EMAIL nico@onetenrei.com

OWNER/DEVELOPER

PEREGRINE INVESTMENTS, L.L.C.
2344 E. SPEEDWAY BOULEVARD
TUCSON, ARIZONA 85718
(520) 327-6625

SUBJECT
PROPERTY



LOCATION PLAN

SECTIONS 10, 11, 14, AND 15, T-12-S, R-13-E, G&SRBM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
SCALE: 3" = 1 MILE

LEGEND

	SIGHT VISIBILITY TRIANGLE
	DIRECTION OF FLOW
	EXISTING TELEPHONE LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING SEWER LINE
	NEW SEWER AND CLEAN OUT
	EXISTING WATER LINE
	NEW WATER MAIN & FIRE HYDRANT
	EXISTING SPOT ELEVATION
	SPOT ELEVATION (FINISHED PAVEMENT GRADE)
	FINISHED FLOOR ELEVATION
	FINISHED GRADE ELEVATION
	GRADE BREAK
	HANDICAP PARKING
	PROPOSED STOP SIGN
	WHEELCHAIR RAMP
	BICYCLE STALL IDENTIFICATION
	PEDESTRIAN ROUTE
	12'x35' STRIPED LOADING ZONE LOCATION
	10'x10' TRASH BIN LOCATION
	DRAINAGE CATCH BASIN, CPP OUTLET PIPE AND JUNCTION BOX

SITE DATA TABULATIONS:

LAND AREA:	442,570 SF (10.16 ACRES)
BUILDING AREA:	38,150 SF 33,045 SF
COVERAGE:	8.6% 7.5%
CONDITIONAL ZONING:	C-N
BLDG. DATA:	
PAD 1	5,200 SF
PAD 2	5,950 SF 1,698 SF
SHOPS 3	9,000 SF 18,735 SF
SHOPS 4	18,000 SF 17,412 SF
TOTAL	38,150 SF 33,045 SF

BICYCLE STALL LEGEND

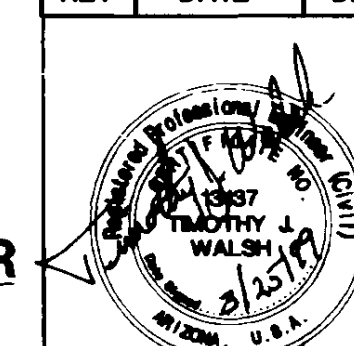
- 2 CLASS I BICYCLE STALLS - 2 CLASS II BICYCLE STALLS
- 2 EACH CLASS I AND CLASS II - 6 CLASS II BICYCLE STALLS
- 4 CLASS I AND 8 CLASS II - 1 CLASS I BICYCLE LOCKER

LEGEND

	PEDESTRIAN CROSSING (ENHANCED PAVING) AND/OR SIDEWALK
	NEW ONSITE PAVEMENT
	NEW PAVEMENT WIDENING OF LA CANADA DR. & LAMBERT LN.
	EXISTING PAVEMENT
	NEW MEDIAN EXTENSION
	PROTECTED NATURAL AREA
	NEW GROUTED RIP-RAP

Kathryn E. Cuvelier
Town Clerk, Town of
Oro Valley, AZ, do hereby certify that the development
plan for Canada Crossroads was
approved by the Oro Valley Mayor and Council on the
7 day of April 1999.
Dated this 17 day of June 1999
Kathryn E. Cuvelier
Oro Valley Town Clerk

REV	DATE	DESCRIPTION
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DEVELOPMENT PLAN
FOR
CAÑADA CROSSROADS
A PORTION OF SECTION 15, T12S, R13E,
G&SRBM, TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

OPW & ASSOCIATES, INC.

6983 East Grant Road
Tucson, Arizona 85715
Phone (520) 298-8544

Design by	WHE
Checked by	TJW
Drawn by	WVR
Scale	Vert. NTS
Date	FEBRUARY 1999
Sheet	1 of 34
Job Number	93072-104-01

2202232
CASE# OV12-98-12
OV9-96-7

150' R/W REC. ROAD NO. 1042,
BOOK 8, PG 57 OF ROAD MAPS

W. LAMBERT LANE
(PUBLIC)

WALGREENS
OV12-96-7

10400-N.

NORTH
SCALE: 1" = 40'
CONT. INTVL: = 1'

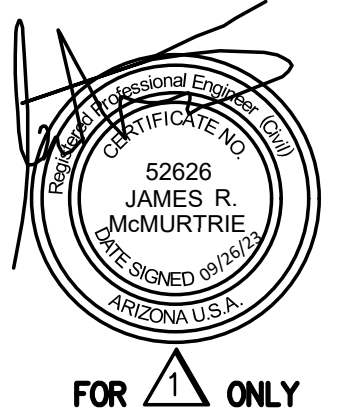
EL CONQUISTADOR
COUNTRY CLUB, BLOCK 3
BK 33 PG 82

- NOTES:**
- EXISTING CONDITIONS SHOWN ON LA CANADA BOULEVARD AND LAMBERT LANE INCLUDE THE RECENTLY COMPLETED ROAD IMPROVEMENTS TO LA CANADA BOULEVARD. PROJECT NO. ORV-O(4)P.
 - ENHANCED PAVING TO BE PROVIDED AT PROJECT ENTRYWAYS AND PEDESTRIAN CROSSINGS AS APPROVED BY TOWN OF ORO VALLEY.

SEWER TABLE

#	CLEANOUT		SEWER LINES		
	RIM	INV	#	LENGTH	SLOPE
1	38.5	30.0	S1	100'	2.7%
2	38.5	31.0	S2	100'	1.0%
3	38.5	32.0	S3	90'	1.1%
4	38.5	33.0	S4	95'	1.1%
5	40.0	34.0	S5	100'	1.0%
6	41.5	35.5	S6	100'	1.5%
7	43.0	37.0	S7	55'	2.7%

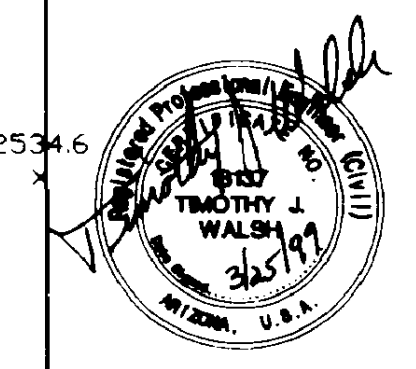
SEE SHEET 4 FOR PAD #2 DEVELOPMENT
LAYOUT (CASE# 2202232)



FOR ONLY

2202232
CASE# OV12-98-12
OV9-96-7

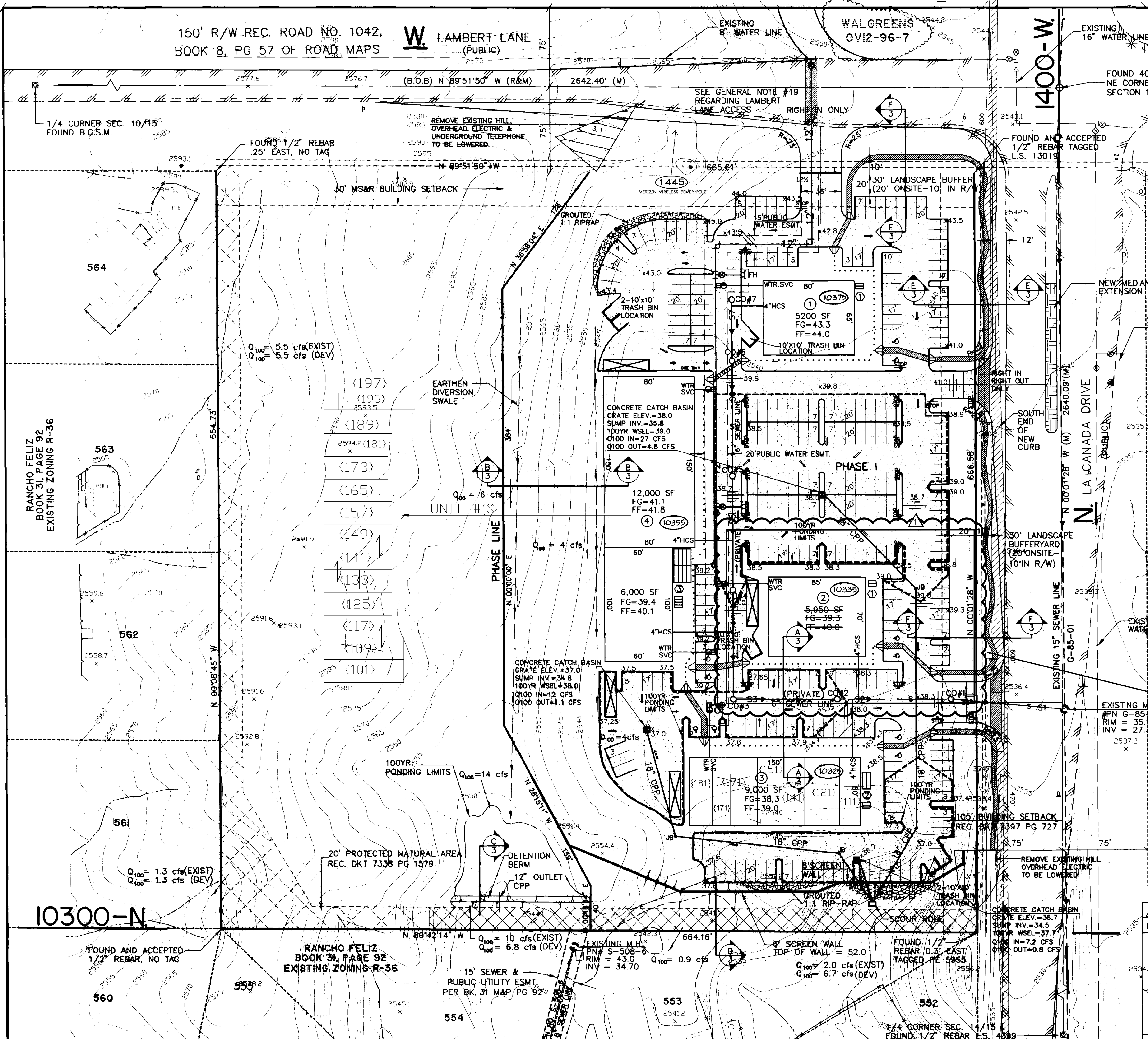
REV	DATE	DESCRIPTION
09/26/23	PAD #2 DEVELOPMENT/LAYOUT	

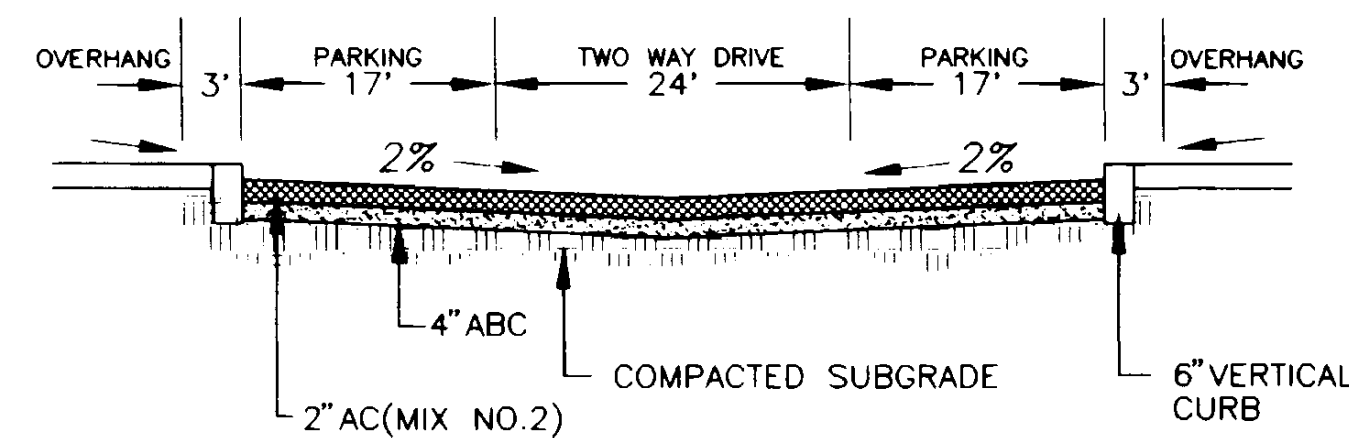


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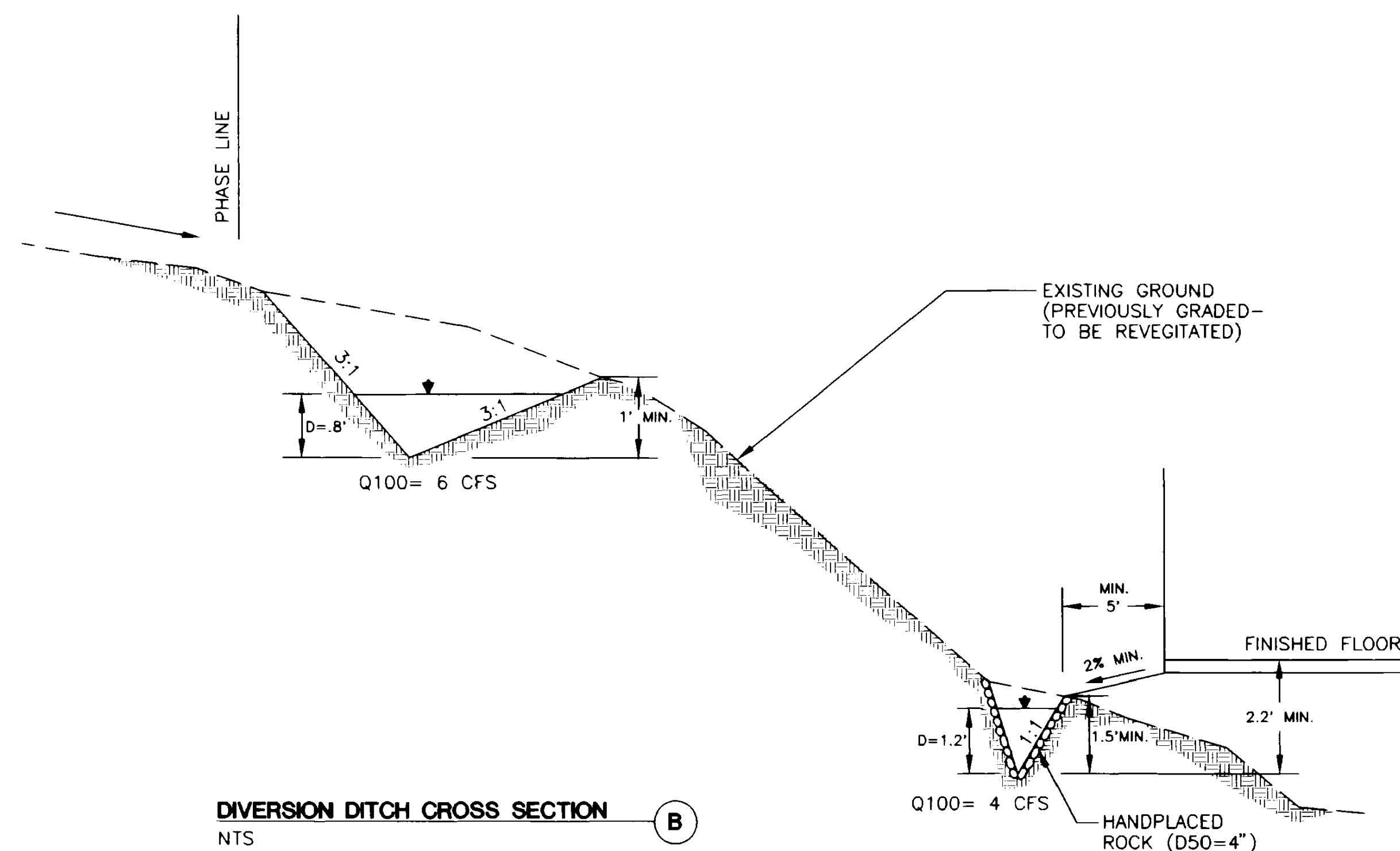
OPW & ASSOCIATES, INC.

5385 East Grant Road
Tucson, Arizona 85715
Phone (520) 298-8644

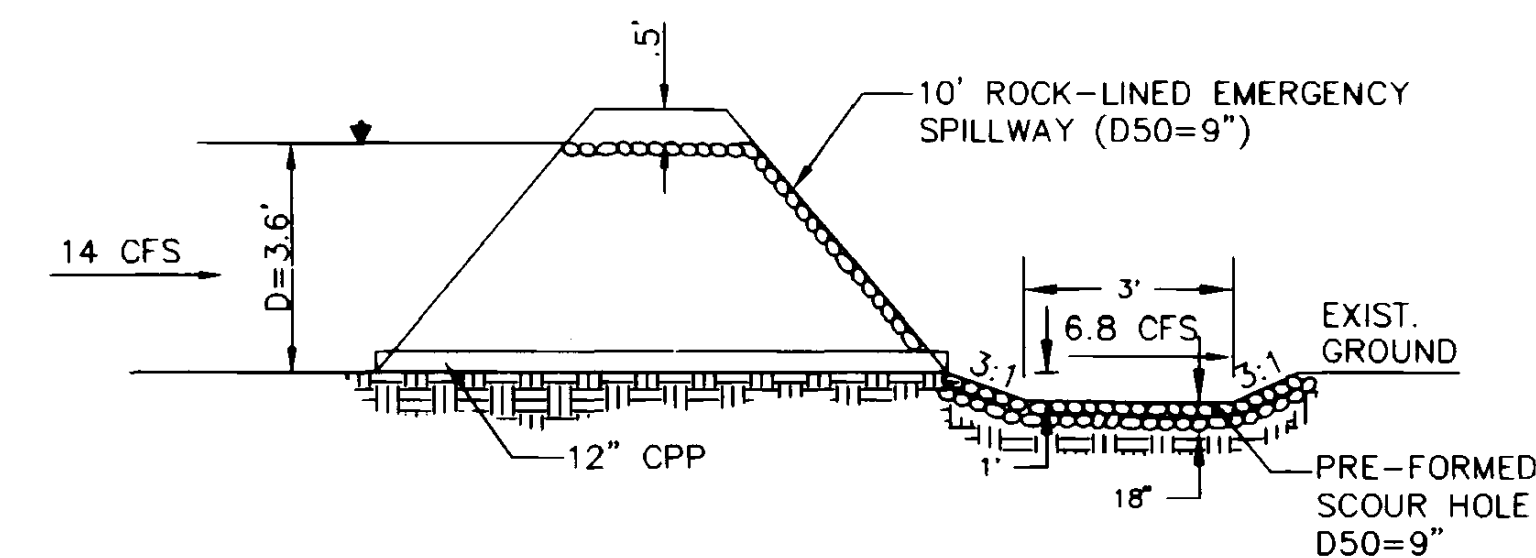




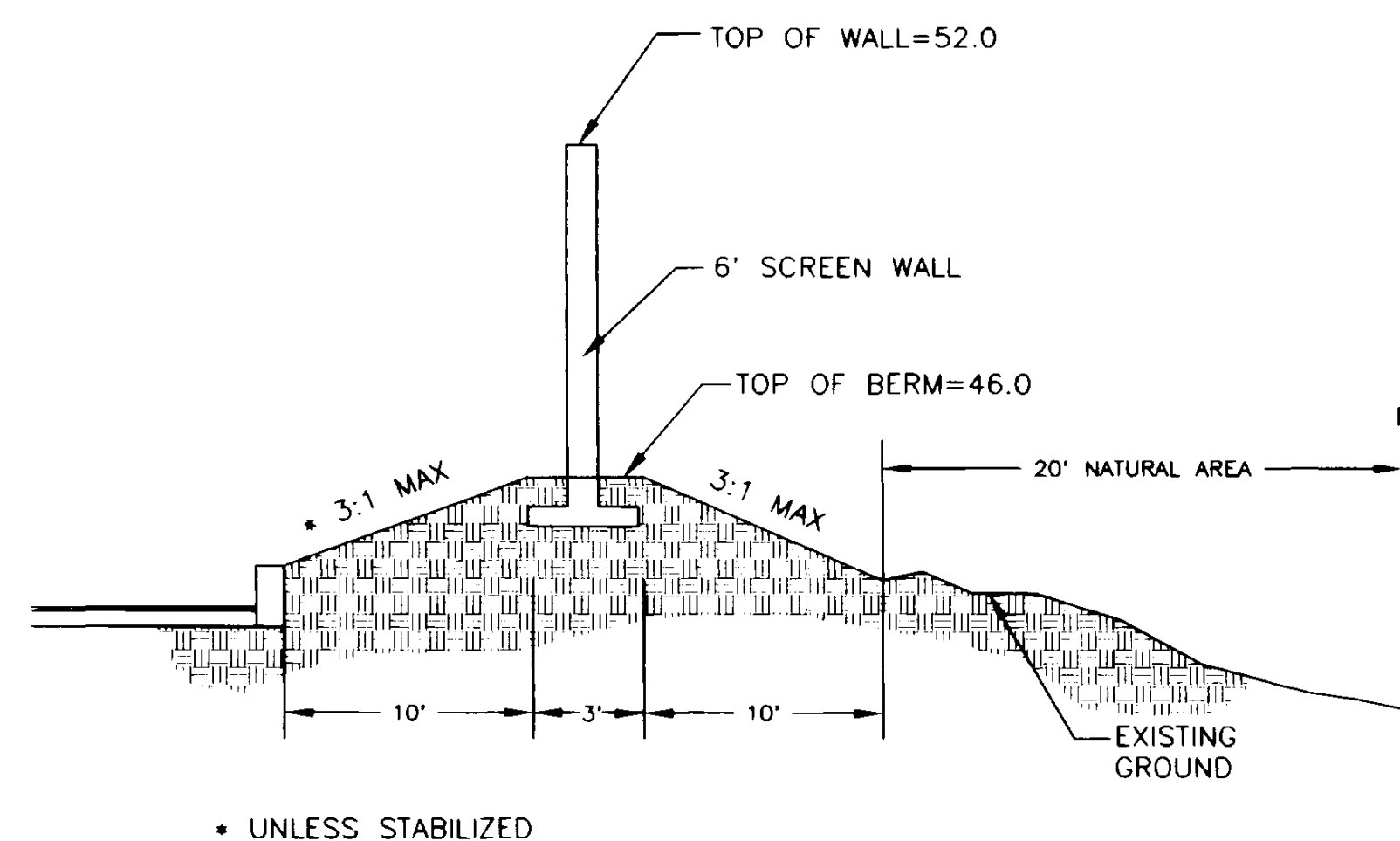
TYPICAL PARKING LOT CROSS SECTION
NTS



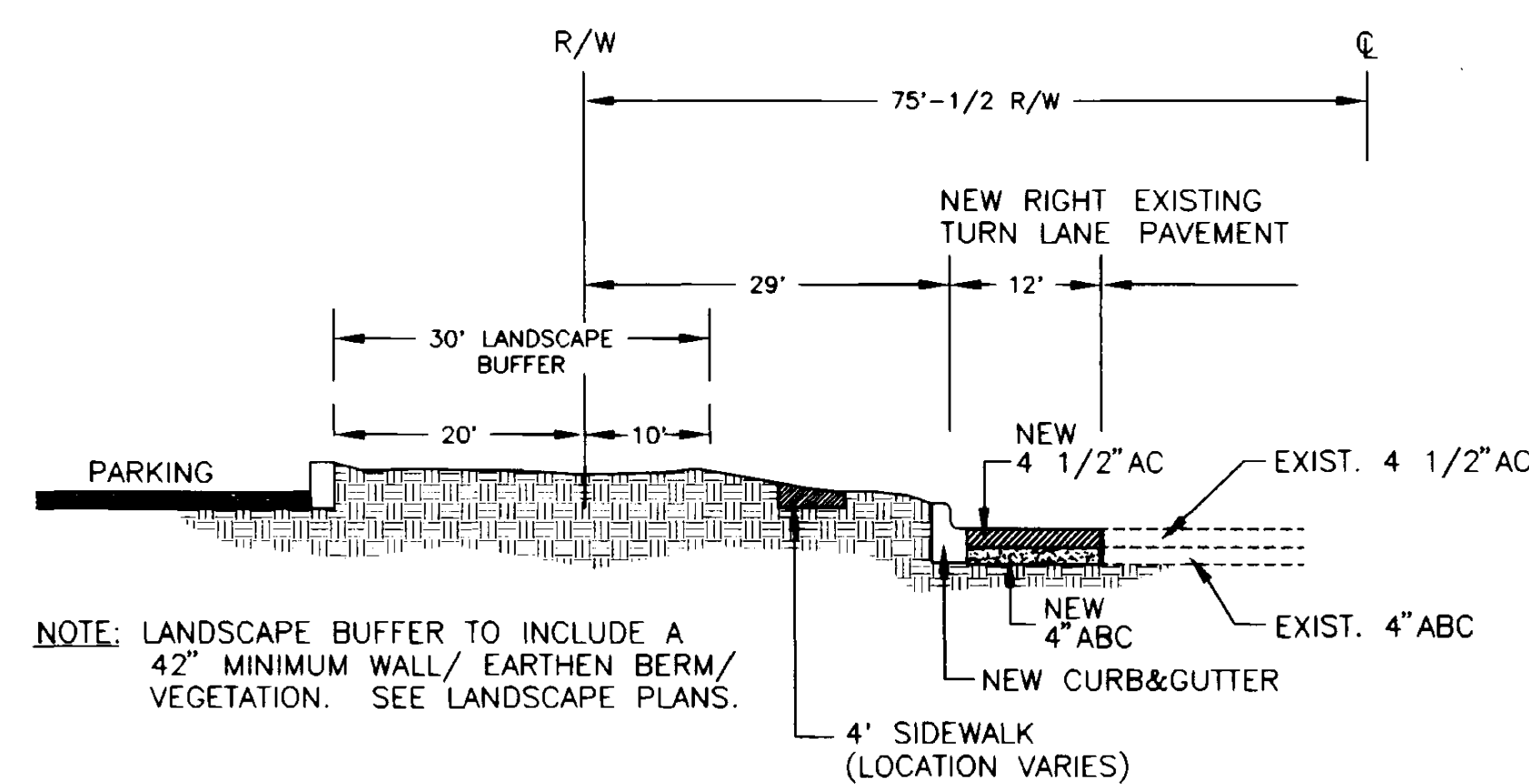
DIVERSION DITCH CROSS SECTION
NTS



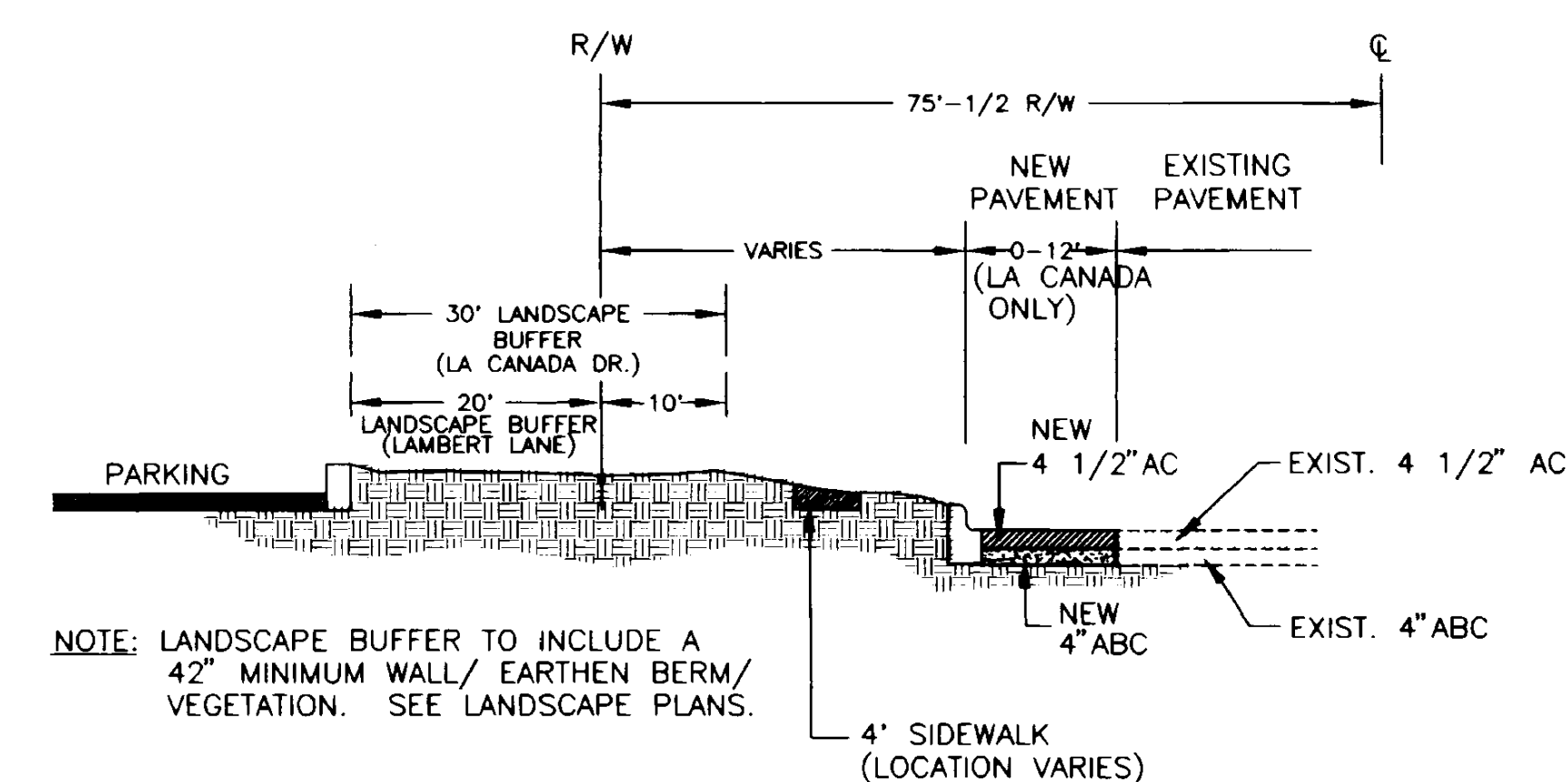
DETENTION BERM DETAIL
NTS



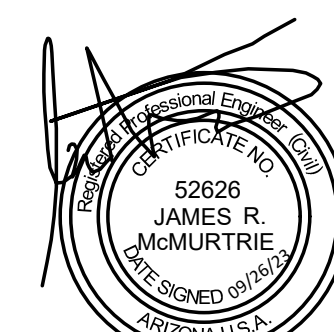
SCREEN WALL CROSS SECTION
NTS



TYPICAL LA CANADA DRIVE CROSS-SECTION
NTS

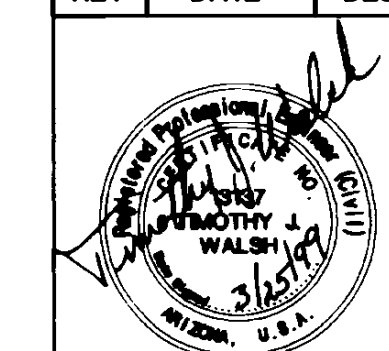


TYPICAL LAMBERT LANE/ LA CANADA DRIVE CROSS-SECTION
NTS



FOR 1 ONLY

REV	DATE	DESCRIPTION
1	09/26/23	PAD #2 DEVELOPMENT/LAYOUT

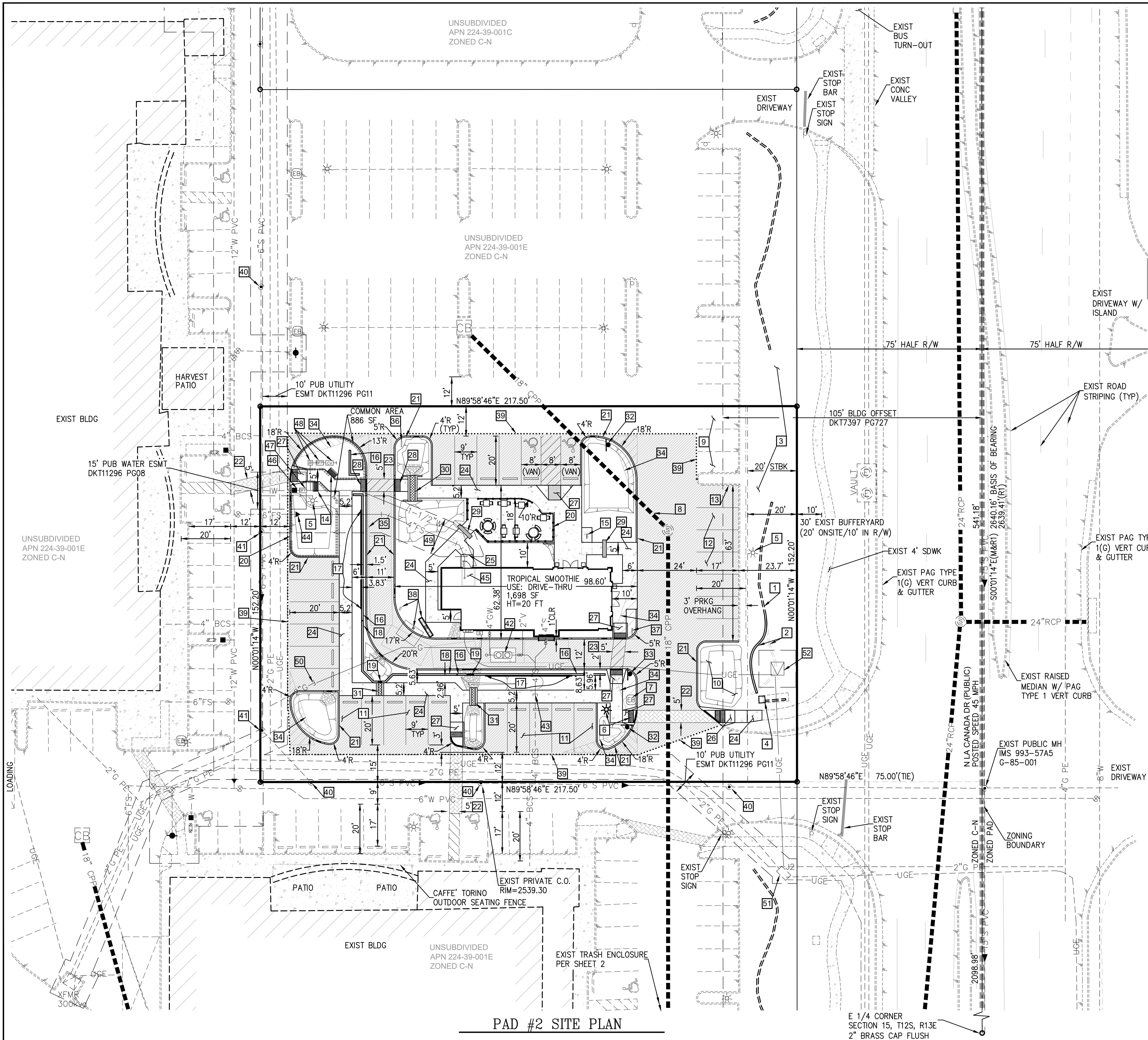


DEVELOPMENT PLAN
FOR
CAÑADA CROSSROADS
A PORTION OF THE SECTION 15, T12S,
R13E, G&SRBM, TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

OPW & ASSOCIATES, INC.

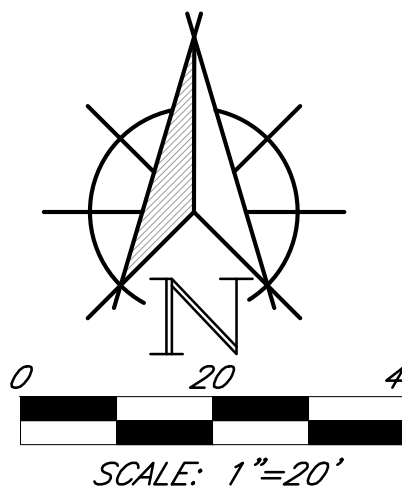
6383 East Grant Road
Tucson, Arizona 85715
Phone (520) 298-8544

Design by	WHE
Checked by	TJW
Drawn by	WVR
Scale	VERT. NTS
Date	FEBRUARY 1999
Sheet	3 of 34
Job Number	93072-104-01



SITE PLAN KEYNOTES

- EXIST SCREEN WALL TO REMAIN
- RELOCATE PORTION EXIST SCREEN WALL TO ACCOMMODATE NEW ELEC. XFMR
- EXIST BERM & VEGETATIVE SCREEN TO REMAIN
- EXIST CANADA CROSSROADS MONUMENT SIGN (MASONRY COLUMN W/ ATTACHED LIGHTED BOX) TO REMAIN
- EXIST LIGHT POLE TO REMAIN
- EXIST LIGHT POLE. RELOCATE ±10.4' NORTHWEST TO LOCATION SHOWN.
- EXIST ELEC. PULL BOX TO REMAIN
- EXIST 18" STORM DRAIN TO REMAIN
- EXIST PARKING TO REMAIN
- REMOVE 2 EXIST PARKING SPACES.
- RECONFIGURE 14 EXIST PARKING SPACES TO 10 SPACES W/ ISLANDS AS SHOWN
- RE-GRADE, REPLACE PAVING & RE-STRIPE 7 EXIST PARKING SPACES
- EXIST LANDSCAPE ISLAND TO REMAIN
- COMMON AREA SEATING BENCH
- CLASS II BIKE RACK LOCATION, 1 RACK (2 BIKES).
- 3.5' HIGH OPAQUE SCREEN WALL W/ TRELLIS ABOVE WHERE INDICATED
- TRELLIS EXTENSION ABOVE SCREEN WALL FOR EXTRA SCREENING. TRELLIS TO EXTEND 3' ABOVE WALL. 40' LONG AT WEST WALL. 35' LONG AT DRIVE-THRU WINDOW. LOCATIONS AS SHOWN.
- 4.5' HIGH OPAQUE SCREEN WALL AROUND CURVED PORTION OF DRIVE-THRU
- OMIT 2 CMUs (8"H X 2.67"W) FOR DRAINAGE OPENING AT BOTTOM OF WALL
- 3' BARRIER FENCE AROUND OUTDOOR SEATING AREA
- VERT CURB PER PAG SD 209. AT EXIST BLDG PAD PERIMETER, EXTRUDED CURB SHALL BE REMOVED & REPLACED W/ VERT CURB
- HERRINGBONE BRICK PATTERN-STAMPED CLAY-RED CONC. CROSSWALK. MATCH EXISTING
- STRIPED CROSSWALK. 4" WHITE STRIPES
- SDWK PER PAG SD 200. SDWKs, WHERE ADJ. VERT. CURB, MAY BE POURED MONOLITHICALLY W/ THE CURB PROVIDED ALL SDWK STANDARDS PER PAG SD 200 ARE FOLLOWED.
- 6" STEP-UP ONTO LANDING
- RECONSTRUCT DAMAGED SDWK RAMP.
- SDWK RAMP.
- 2' TRUNCATED DOME DETECTABLE WARNING STRIP PER ICC/ANSI A117.1 EXTENDING FULL WIDTH OF SDWK
- TYPE 1 SDWK SCUPPER PER PAG SD 204. EXTEND 1' BEYOND EDGE OF SIDEWALK.
- TYPE 2 SDWK SCUPPER PER PAG SD 205. OPEN WIDTH 'A'=2'. OPEN HEIGHT 'H'=0.5'.
- TYPE 2 SDWK SCUPPER PER PAG SD 205. OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. WHERE ABUTTING WALL, OMIT 1 CMU AT BOTTOM OF WALL FOR DRAINAGE OPENING AT SCUPPER INVERT ELEV.
- RELOCATE & REPLACE EXIST STOP SIGN
- NEW STOP SIGN
- 10'x30' PAAL-TO-PAAL SVT
- 9'x18' DRIVE-THRU STAKING SPACE. TYPICAL OF 8 SPACES
- DRIVE-THRU ENTRY SIGN BY OTHERS
- DRIVE-THRU EXIT-ONLY SIGN BY OTHERS
- DRIVE-THRU SPEAKER, MENU & RELATED EQUIPMENT
- SAWCUT, TACK & JOIN TO EXIST ASPHALT PMVT
- EXIST PRIVATE SEWER CLEANOUT (VISIBLE) - 6" PVC SEWER
- EXIST PRIVATE SEWER CLEANOUT (NOT VISIBLE) - 6" PVC SEWER
- GREASE INTERCEPTOR
- LOCATE & CONNECT TO EXIST 4" PRIVATE BUILDING SEWER STUB-OUT.
- EXIST 6" FIRE SERVICE STUB-OUT. LOCATE/CONNECT W/ 4" REDUCER. ROUTE 4" DIP FIRE SERVICE, RESTRAINED FULL LENGTH. SEPARATE WATER IMPROVEMENT PLANS REQUIRED. GOLDR RANCH FIRE TO CONDUCT INSPECTIONS. OVWU TO CONDUCT INSPECTIONS.
- FIRE RISER ROOM W/ EXTERIOR DOOR. RISER TO ACCOMMODATE USC CERTIFIED DOUBLE-CHECK BACKFLOW PREVENTER PER OVWU STANDARDS. GOLDR RANCH FIRE TO CONDUCT INSPECTIONS. OVWU TO CONDUCT INSPECTIONS.
- EXIST 2" WATER SERVICE W/ EXIST METER BOX. COORDINATE INSTALLATION OF 1" METER & PRIVATE SHUT-OFF VALVE W/ OVWU. THE HIGH PUBLIC WATER SYSTEM PRESSURE REQUIRES THE INSTALLATION OF A PRESSURE REGULATOR ON THE BUILDING PLUMBING. THE INSTALLATION OF A PRESSURE REGULATOR MAY CREATE A CLOSED SYSTEM. CONSULT LOCAL PLUMBING CODES FOR PRESSURE RELIEF AND THERMAL EXPANSION REQUIREMENTS.
- INSTALL 1" RPZ BACKFLOW PREVENTER PER OVWU STANDARDS. PROVIDE INSULATED COVER W/ METAL CAGE & LOCK
- INSTALL PRIVATE 5/8" IRRIGATION SUB-METER & BACKFLOW PREVENTER. PROVIDE INSULATED COVER W/ METAL CAGE & LOCK. INSTALL IRRIGATION CONTROL VALVE PER IRRIGATION PLANS.
- PROPOSED 15' PUBLIC WATERLINE EASEMENT TO BY SEPARATE INSTRUMENT TO BE GRANTED FOLLOWING WATERLINE CONSTRUCTION.
- LOCATE GAS STUB-OUT FOR CONNECTION. COORDINATE W/ SWG. ROUTE GAS TO BLDG PER PLUMBING CODE REQMTs
- EXIST TEP 'J2'. COORDINATE CONNECTION OF NEW PRIMARY W/ TEP
- COORDINATE INSTALL OF NEW TRANSFORMER W/ TEP



ORO VALLEY SHOPPING
CENTER / APARTMENTS
LOT 1 BK59, PG27 M&P
ZONED PAD



**Dynamic
Civil Designs LLC**
4690 N MELPOMENE WAY TUCSON ARIZONA 85749
PH: (520) 461-8016 EMAIL: james.mcm@dyna.com

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
PRE-APP 2102451
CUP 2202252

DEVELOPMENT PLAN
CANADA CROSSROADS
A PORTION OF SECTION 15, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO:		2202232	
JOB NO. D21017	SCALE HORIZ: 1"=20'	DATE: SEPTEMBER, 2023	SHEET 4 OF 4
CONTOUR INTERVAL=1'			

ALL DIMENSIONS ARE TO CURB CONTROL LINE OR TO FACE OF WALL



1	JRM	11/13/23	FINAL APPROV KIOSK LOCATION, DELETE D/T CROSSWALK PER M&C CUP. APPROV. CONDITIONS 2202252
NO.	BY	DATE	DESCRIPTION

APPROVED BY: DATE: