

GENERAL NOTES

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS **9.29 ACRES** (INCLUDING 2.53 AC OFFSITE WORK).
2. THE GROSS FLOOR AREA OF ALL STRUCTURES IS **157,828 SQUARE FEET**. THE FLOOR AREA OF APARTMENT STRUCTURES IS 154,834. THE FLOOR AREA OF THE CLUBHOUSE IS 2,458 SF. THE FLOOR AREA OF THE MAINTENANCE BUILDING IS 536 SF.
3. TOTAL MILES OF NEW PUBLIC STREETS IS **0.0** MILES.
4. TOTAL MILES OF NEW PRIVATE STREETS IS **0.0** MILES.
5. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
6. THE PROPOSED USE FOR THIS PROJECT IS **HIGH DENSITY MULTI-FAMILY RESIDENTIAL**.
7. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
8. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
9. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED.
10. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPED AREAS.
11. THE TOTAL OFFSITE DISTURBED AREA (INCLUDING PROJECT DRIVEWAYS) IS 2.53 AC (110,206 SF). OF THIS, APPROXIMATELY 1.96 AC (85,178 SF) IS FOR PARKING AND DRAINAGE FACILITIES WHILE THE REMAINING 0.57 AC (25,029 SF) IS FOR RE-ROUTING THE UN-NAMED WASH TO THE WEST OF THE PROJECT AND FOR THE PROJECT DRIVEWAYS AND MISCELLANEOUS RIGHT-OF-WAY WORK.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER RANCHO VISTOSO PAD DOCUMENT (SEC 1.3) IS **34'** (3-STORIES). THE PROPOSED BUILDING HEIGHT IS 30.83' MAX. (2-STORIES).
2. THE EXISTING ZONING FOR A.P.N. 219-19-1910 IS **RANCHO VISTOSO PAD 'HDR'**. THE EXISTING ZONING FOR A.P.N. 219-19-1840 **RV PAD 'OPEN SPACE'**. THE PROPOSED ZONING FOR A.P.N. 219-19-1840 IS **RV PAD 'RECREATION'**. SEE SHEET 2 FOR REZONING CONDITIONS.
3. THE TOTAL AREA OF OPEN SPACE REQUIRED PER RV PAD IS 30% OF THE GROSS AREA OF THE SITE. TOTAL AREA OF OPEN SPACE (INCLUDING LANDSCAPED COMMON AREAS) PROVIDED IS 30.4% (EXCLUDING OFF-SITE PARKING AREA).
4. THE TOTAL AMOUNT OF LANDSCAPED COMMON AREAS IS 123,846 SF.
5. REQUIRED LANDSCAPED BUFFER-YARDS PER RV PAD:
- | | | |
|--------|---|-----|
| STREET | = | 30' |
| SIDE | = | 20' |
| REAR | = | 20' |
6. BUILDING SETBACKS (PERIMETER):
- | | | |
|--------|---|-------------------------------------|
| STREET | - | 20' REQUIRED; 26.2' (MIN.) PROVIDED |
| SIDE | - | 5' REQUIRED; 38.2' (MIN.) PROVIDED |
| REAR | - | 5' REQUIRED; 5' (MIN.) PROVIDED |
7. THIS PROJECT IS NOT SUBJECT TO TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
8. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
9. THIS PROJECT HAS COMMON SPACES WITH AMENITIES AND LANDSCAPE THROUGHOUT THE SITE. THERE IS NO UNDISTURBED NATURAL OPEN SPACE.
10. A.P.N.'S 219-19-1910 AND 219-19-1840 CONTAIN RIPARIAN HABITAT WITHIN THE 100 YEAR FLOODPLAIN. THIS PROJECT COMPLIES WITH RELATED REGULATIONS.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF BEARINGS FOR THIS PROJECT IS ALONG THE CENTERLINE OF VISTOSO HIGHLANDS DRIVE AS SHOWN ON THIS PLAN AND THAT "RANCHO VISTOSO NEIGHBORHOOD 11 PARCEL H AND N, RANCHO VISTOSO NEIGHBORHOOD 13 PARCEL F" PLAT, RECORDED IN BOOK 51, PAGE 33 OF MAPS AND PLATS. THE BEARING OF SAID LINE IS **N 73°00'00" E**.
5. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION, "OPUS" CONTROL POINT "11513E_Q19", DESCRIPTION: "44 REBAR W/TAG 'PCDOT GPS'". THE ELEVATION OF SAID BENCHMARK IS **2968.02'**, NAVD 88 DATUM.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLAN DESCRIBED BY TWO HORIZONTAL LINES LOCATED BETWEEN THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.

PAG DETAILS USED

PAG DETAIL 107: REMOVABLE POST BARRICADE
PAG DETAIL 200: CONCRETE SIDEWALK
PAG DETAIL 204: SIDEWALK SCUPPER - TYPE 1
PAG DETAIL 205: SIDEWALK SCUPPER - TYPE 2
PAG DETAIL 209: CONCRETE CURB
PAG DETAIL 210: CONCRETE CURB TRANSITION
PAG DETAIL 211: CONCRETE CURB NEW TO EXISTING CONNECTION
PAG DETAIL 213: CONCRETE HEADER

DRAINAGE GENERAL NOTES

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
4. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
5. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
2. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
3. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
4. ALL WELLS WITHIN THE PROJECT BOUNDARIES MUST BE ABANDONED PER ADWR REGULATIONS.
5. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THE PLAT OR DEVELOPMENT PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE PUBLIC WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL PUBLIC WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE PUBLIC WATER IMPROVEMENT PLAN SUBMITTAL
7. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
4. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

GENERAL UTILITY GENERAL NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

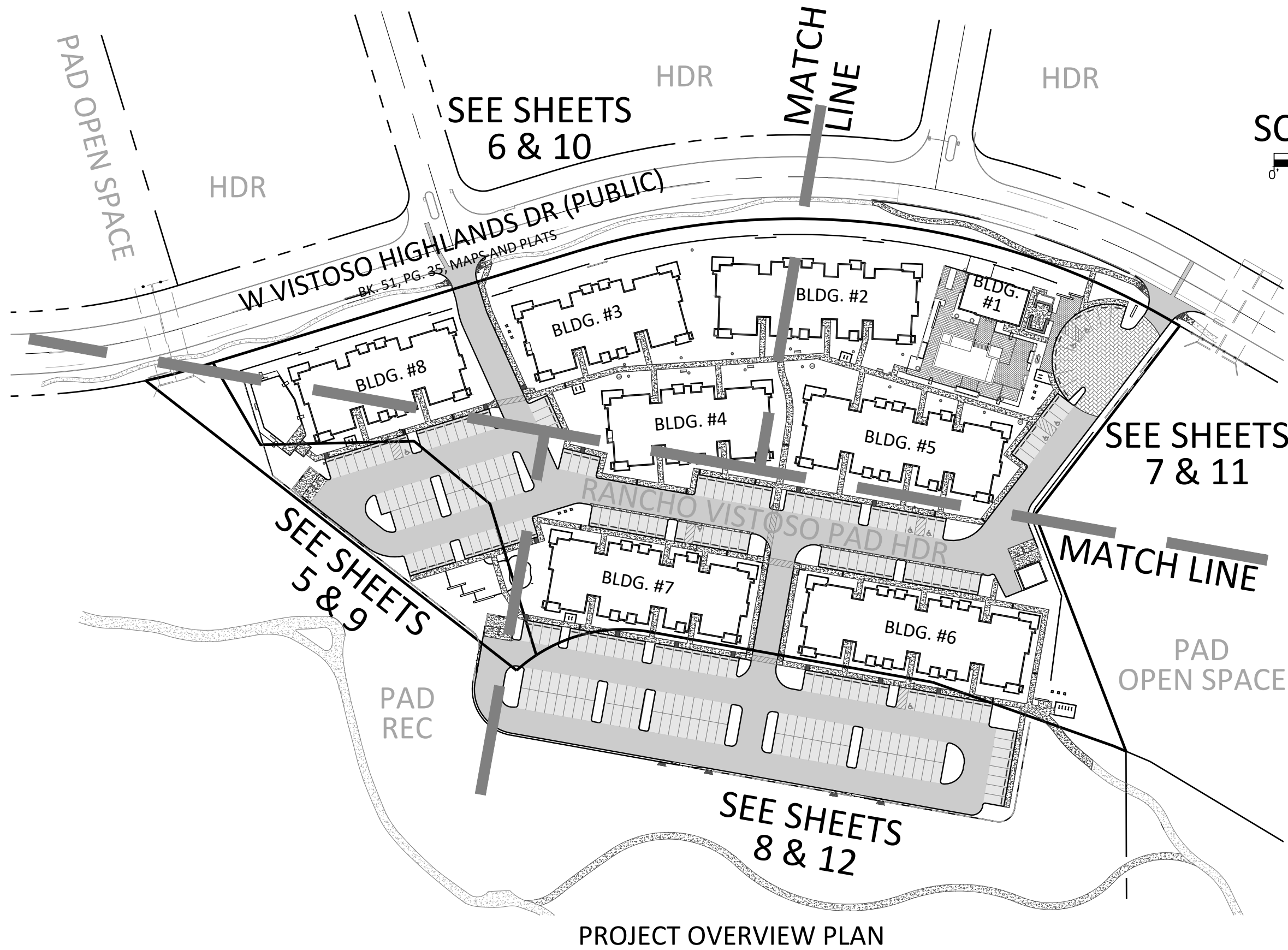
PARKS AND RECREATION GENERAL NOTES

1. ALL TRAIL EASEMENTS INDICATED ARE FOR USE BY THE GENERAL PUBLIC AS PERMANENT, NON-MOTORIZED TRAIL EASEMENTS.
2. ALL PUBLIC TRAILS AND SIGNAGE MUST BE CONSTRUCTED BY THE DEVELOPER TO PIMA REGIONAL TRAIL SYSTEM MASTER PLAN STANDARDS IN CONSULTATION WITH THE TOWN PARKS AND RECREATION DEPARTMENT.
3. TRAILS WITHIN VISTOSO TRAILS NATURE PRESERVE SHALL BE CONSTRUCTED OF A STABILIZED PERMEABLE SURFACE.
4. TRAIL AND SIGN LOCATIONS, AS INDICATED ON THIS PLAN, MUST BE FIELD VERIFIED BY TOWN STAFF PRIOR TO CONSTRUCTION AND ARE SUBJECT TO ADJUSTMENTS.
5. TRAILS MUST BE POSITIONED IN A MANNER TO AVOID VEGETATION AND MINIMIZE POTENTIAL FOR EROSION.
6. FOR RESIDENTIAL DEVELOPMENTS, CONSTRUCTION OF ALL RECREATIONAL AMENITIES AND PUBLIC OR PRIVATE TRAILS WITHIN THE PROJECT LIMITS MUST BE COMPLETED BY THE TIME 35% OF BUILDING PERMITS ARE ISSUED PER SECTION 26.5 OF THE ZONING CODE.
7. ALL PUBLIC TRAILS AREA OWNED AND MAINTAINED BY THE TOWN OF ORO VALLEY. PUBLIC TRAIL EASEMENTS WILL BE DEDICATED TO THE TOWN AS PART OF THE FINAL PLAT.

PARKING, LOADING, AND BICYCLE STORAGE CALCULATIONS

	PROPOSED USE	UNITS	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	RES - 1 BR	76	1.50	114				1	2	11	30
	RES - 2 BR	56	1.75	98							
	GUEST	132	0.25	33.0							
TOTALS:		132		245	255	7	9	1	2	11	30

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
CASE #2301236



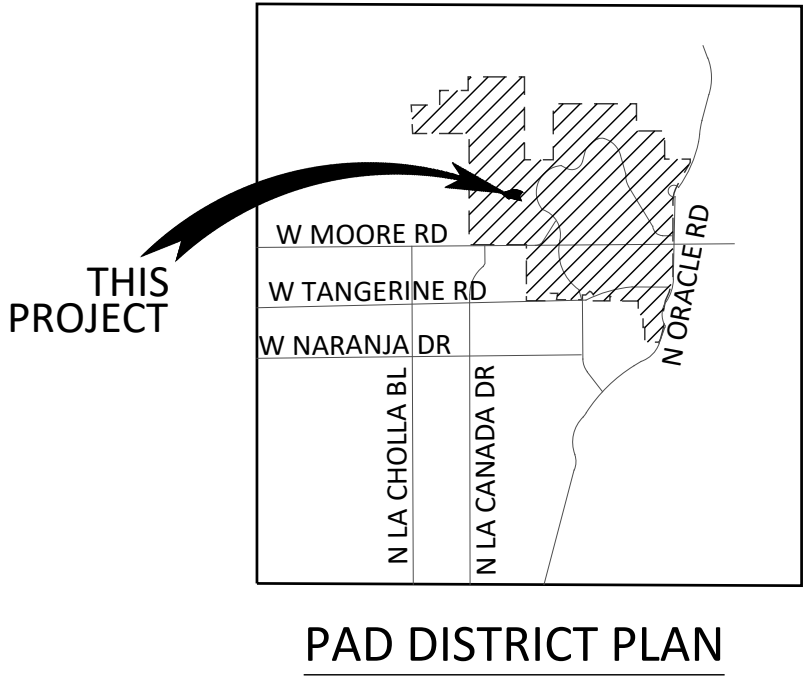
PROJECT OVERVIEW PLAN

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
- A. INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
 - B. NATIONAL ELECTRICAL CODE.
 - C. AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - D. TOWN OF ORO VALLEY POOL CODE.
 - E. PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.).
 - F. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
 - G. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL.
 - H. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
 - I. ORO VALLEY TOWN CODE, CURRENT REVISED.
 - J. ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - K. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS.

SURVEY NOTES

1. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: RICK ENGINEERING COMPANY
3945 EAST FORT LOWELL ROAD, SUITE 111
TUCSON, ARIZONA 85712
ATTN: MR. GREGG POPP, AZ RLS #71039
PH: (520) 795-1000.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
3. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.



PAD DISTRICT PLAN

APPROVAL BY:

PLANNING AND ZONING ADMINISTRATOR	DATE
TOWN ENGINEER	DATE
<i>Robert A. Allen</i>	06/11/2025
ORO VALLEY WATER UTILITY DIRECTOR	DATE



3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

PROJECT NO: 22.061

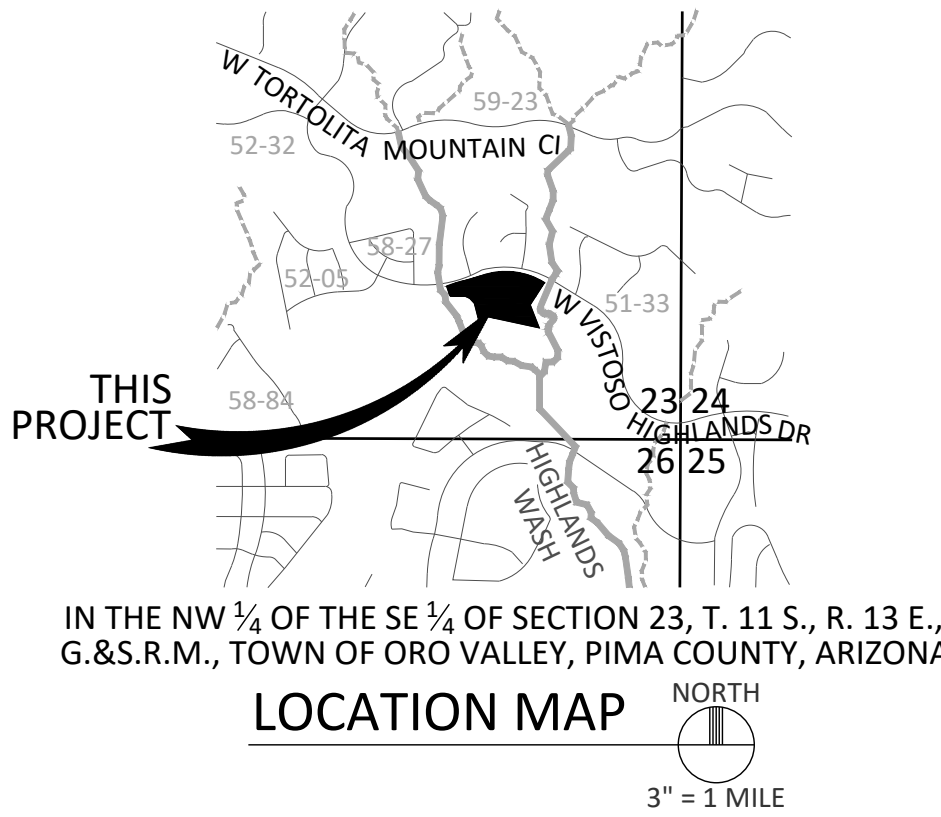
DATE: 03/29/24

SCALE: AS NOTED

C.I.: N/A

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
cover sheet



UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO RICK ENGINEERING COMPANY. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND RICK ENGINEERING COMPANY DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

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ARCHITECT

a23 studios
711 EAST 9TH STREET
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SITE ADDRESS

945 & 955 WEST VISTOSO HIGHLANDS DRIVE
ORO VALLEY, ARIZONA 85755



CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236

1
OF
18

GENERAL PAVING + GRADING NOTES

1. CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
2. CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
3. PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):
INCLUDING OFF-SITE IMPROVEMENTS:
TOTAL CUT TOTAL FILL COMPOSITE
15,376 CY 11,581 CY 3,795 CY(C)
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
4. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
5. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND RICK ENGINEERING COMPANY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR RICK ENGINEERING COMPANY.
6. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING RICK ENGINEERING COMPANY AT 520-795-1000.
7. CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
8. THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.
9. RICK ENGINEERING COMPANY HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. RICK ENGINEERING COMPANY FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
10. ALL ELEVATIONS ARE AT FINISH SURFACE (P) OF PROPOSED ASPHALT. ADD 0.5' FOR THE ADJACENT TOP OF CONCRETE/CURB (C/TC) ELEVATION UNLESS OTHERWISE SHOWN.
11. CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
12. ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
13. PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION (MUTCD). THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
14. THE APPROVED DEVELOPMENT PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON-SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
15. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE TOWN OF ORO VALLEY DEVELOPMENT SERVICES DEPARTMENT.
16. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. EARTHWORK, EXCEPT AS MODIFIED BY THE SOILS REPORT OF RECORD, SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 203.
18. GRADING EQUIPMENT OPERATION WITHIN ONE-HALF (1/2) MILE OF AN OCCUPIED RESIDENTIAL STRUCTURE SHALL ONLY BE CONDUCTED BETWEEN 6:00 A.M. AND SUNSET MONDAY THROUGH FRIDAY. GRADING EQUIPMENT OPERATION SHALL ONLY BE CONDUCTED BETWEEN THE HOURS OF 8:00 A.M. AND 5:00 P.M. ON SATURDAYS AND SUNDAYS.
19. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY AND MITIGATE ANY POTENTIAL CONSTRUCTION IMPEDIMENTS DUE TO EXISTING ENCROACHMENTS BY ADJACENT PROPERTY OWNERS (WHETHER SITE WALLS, FENCES, OR OTHERWISE). RICK ENGINEERING COMPANY ASSUMES NO LIABILITY NOR RESPONSIBILITY FOR ANY ENCROACHMENTS OR FOR DELAYS TO THE APPROVAL PROCESS AS A RESULT THEREOF.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

1. A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING LLC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED 23 JUNE 2022, PATTISON PROJECT NO. 22-071, AND SUBSEQUENT ADDENDUMS.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
3. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

RIPRAP NOTES

1. RIPRAP MATERIAL SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 913. RIPRAP MATERIAL SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (d₅₀=6"). THE RIPRAP LAYER SHALL BE 12 INCHES MINIMUM THICKNESS.
2. THE GROUT FOR THE RIPRAP SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 914. THE TOTAL GROUT AND RIPRAP LAYER SHALL BE A MINIMUM THICKNESS OF 1.5d₅₀ INCHES (d₅₀=6"). GROUT THICKNESS SHALL BE EQUAL TO 1.0d₅₀ AND RIPRAP ROCK SHALL BE EMBEDDED TO A DEPTH OF 0.5d₅₀.
3. FINISH GRADE ("FG") CALLOUTS ARE TO TOP OF RIPRAP, IN APPLICABLE AREAS.

REZONING CONDITIONS (ORD. #(O)_____)

THIS PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS STATED IN ORDINANCE #(O)-____, APPROVED ON _____.

ITEM A - REZONING (2301138)

1. IN ORDER TO MINIMIZE THE TIME DURING WHICH PUBLIC ACCESS TO THE VISTOSO TRAILS NATURE PRESERVE ("PRESERVE") IS INTERRUPTED, APPLICANT WILL:
- a. LEAVE OPEN TO THE PUBLIC THE EXISTING PARKING LOT ("OLD LOT") AT 955 W VISTOSO HIGHLANDS DR. ("PROPERTY"), AND THE EXISTING TRAIL ON THE ADJACENT PARCEL 219-19-1840 ("OLD TRAIL") UNTIL A TEMPORARY PARKING AREA IS ESTABLISHED ON TOWN PROPERTY.
- b. FOR THE NEW PRESERVE TRAIL ("NEW TRAIL") AS IDENTIFIED ON DP 2301236 AND LOCATED SOUTH OF THE EASEMENT AREA SOUTH OF THE PROPERTY, THE FINAL IMPROVED PAVED NEW TRAIL WILL BE PROVIDED PRIOR TO PUBLIC CLOSURE OF THE OLD TRAIL, AND IS SUBJECT TO PARKS & RECREATION DIRECTOR AND PLANNING MANAGER APPROVAL.
- THE NEW TRAIL MUST BE BUILT IN ACCORDANCE WITH THE FOLLOWING:
- i. PAVED WITH INTEGRATED COLOR CONCRETE TO BE SAME OR SIMILAR TO THE EXISTING PATH DESIGN
- ii. POSITIONED IN A MANNER TO PRESERVE THE ROCK OUTCROP AND ALL MATURE NATIVE TREES IN PLACE. DISTURBANCE TO CACTUS IS TO BE MINIMIZED AND TRANSPLANTING IS REQUIRED IF UNAVOIDABLE.
- iii. DESIGN NEW TRAIL CONNECTIONS TO EXISTING TRAILS THAT ENABLE GRADUAL MERGER OF CYCLISTS AND PEDESTRIANS RATHER THAN A T-INTERSECTION OR ABRUPT TRANSITION.
- c. FOR THE NEW PRESERVE PUBLIC PARKING LOT ("NEW LOT"), GRADING AND TEMPORARY IMPROVEMENTS OF THE NEW LOT, SUBJECT TO TOWN ENGINEER AND PARKS & RECREATION DIRECTOR APPROVAL, SHALL OCCUR PRIOR TO THE DEMOLITION OF THE OLD LOT IN ORDER TO LIMIT INTERRUPTION TO AVAILABLE PRESERVE PARKING.
- d. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE APARTMENTS, ALL COMPONENTS OF THE NEW LOT SHALL BE CONSTRUCTED TO INCLUDE 21 SPACES ON A DECOMPOSED GRANITE (OR SIMILAR) SURFACE, A PAVED CONNECTION TO VISTOSO HIGHLANDS DRIVE, TWO ADA PAVED PARKING SPACES, AND AN ADA COMPLIANT PATH TO THE EXISTING TRAILS WITHIN THE PRESERVE. FINAL DESIGN, INSTALLATION, AND INSPECTION SHALL BE SUBJECT TO PARKS AND RECREATION DIRECTOR, TOWN ENGINEER, AND PLANNING MANAGER APPROVAL.
- e. APPLICANT WILL BE RESPONSIBLE FOR THE COST OF CONSTRUCTING THE PRESERVE PUBLIC PARKING LOT ("NEW LOT"), WITH THE FOLLOWING CONDITIONS: FOR ANY COST OF CONSTRUCTION ABOVE \$50,000.00, APPLICANT WILL RECEIVE PARKS DEVELOPMENT IMPACT FEE CREDITS, AND THE APPLICANT'S TOTAL COSTS TO CONSTRUCT THE PARKING LOT SHALL NOT EXCEED THE AMOUNT OF THE PROJECT'S TOTAL PARKS IMPACT FEE PLUS \$50,000.00.
2. THE PROPOSED NATURAL TRAIL ON TOWN PROPERTY NEAR THE WEST SIDE OF PARCEL 219-19-1840 IS NOT REQUIRED AND MUST BE REMOVED FROM ALL PLANS.

ITEM B - DEVELOPMENT AND LANDSCAPE PLANS (2301236)

PLANNING

1. THE DEVELOPER SHALL INDEMNIFY THE TOWN FOR ANY TAXES IT IS REQUIRED TO PAY FOR THE PARKING AND USES WITHIN THE EASEMENT AREA LOCATED ON TOWN PROPERTY.
2. THE DEVELOPER SHALL COMPLY WITH THE ARCHEOLOGICAL REPORT PROVIDED FOR THE PROJECT.

STORMWATER

1. THE PROPOSED EROSION HAZARD SETBACK MUST BE A MINIMUM OF 15 FEET OFF THE TOP OF THE BANK PER TOWN ORDINANCE 17-5-9(A). REVISE ACCORDINGLY. (DEVELOPMENT PLAN SHEET 4 & DRAINAGE REPORT PAGE 35).
2. FINISH FLOOR ELEVATION MUST BE A MINIMUM OF 1 FOOT ABOVE THE UPSTREAM ADJACENT Q100 WATER SURFACE ELEVATION. REVISE ACCORDINGLY. (DEVELOPMENT PLAN SHEET 9).
3. SHOW ALL OFF-SITE CHANNEL IMPROVEMENTS WITHIN AN EASEMENT. INCLUDING WALL TOE DOWN, EROSION PROTECTION, ETC. (DEVELOPMENT PLAN SHEET 9).
4. SHOW MAINTENANCE ACCESS INTO THE ADJACENT WASH AND HOW SOMEONE WOULD ACCESS THE CULVERT AND THE WALLS ALONG THE WASH TO MAINTAIN THEM. DASHED LINES CAN BE USED TO SHOW THE PROPOSED MAINTENANCE PATH. (DEVELOPMENT PLAN SHEET 9).
5. SHOW ELEVATION ON THIS SHEET. (DEVELOPMENT PLAN SHEET 11).
6. SHOW WATER SURFACE ELEVATIONS. (DEVELOPMENT PLAN SHEET 12).

ITEM C - AMENDED EASEMENT AGREEMENT

A REVISED LEGAL DESCRIPTION AND SURVEY SHALL BE PROVIDED TO REFLECT THE FINAL EXTENT OF ENCROACHMENT INTO THE "EASEMENT AREA" AS APPROVED IN THE ASSOCIATED DEVELOPMENT PLAN (ITEM B), SUBJECT TO THE PLANNING AND ZONING ADMINISTRATOR AND TOWN ENGINEER APPROVAL.

TOWN OF ORO VALLEY PAVING NOTES

1. AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
2. ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
3. THE CONTRACTOR SHALL INSTALL STREET SIGNS IN ACCORDANCE WITH THE TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS - SIGNAGE POLICY.
4. PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLES AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
5. THE TOWN WILL, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS, PERFORM A FIELD REVIEW OF THE DEVELOPMENT. FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW.

TOWN OF ORO VALLEY GRADING NOTES

1. ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE TO PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2015 EDITION, EXCEPT AS MODIFIED HEREIN.
2. ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN.
3. ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27.9 OF THE TOWN OF ORO VALLEY ZONING CODE REVISED.
4. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 203-5.
5. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
7. THE CONTRACTOR SHALL CALL BLUE STAKE (1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
9. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
10. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
11. ALL STATIONING SHOWN ON PLAN AND PROFILE ARE ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
13. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
A. WALL(S), RETAINING OR OTHER TYPE(S).
B. ANY REINFORCED CONCRETE STRUCTURE(S).
- THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
14. THE CONTRACTOR SHALL GIVE FORTY- EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHICH HE HAS REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.

15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
16. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH ADEQ STORMWATER DISCHARGE PERMIT IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
17. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATION AS STAKED BY THE ENGINEER/SURVEYOR. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE ENGINEER/SURVEYOR.
18. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, IS TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
19. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
20. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.

TOWN OF ORO VALLEY GRADING NOTES (cont.)

21. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE STRUCTURES, ROADS, ETC.) ENCROACHING OR AFFECTING - DIRECTLY OR INDIRECTLY - ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.
22. THE PROFESSIONAL ENGINEER OF RECORD, AS SELECTED BY THE OWNER/DEVELOPER AT THE START OF CONSTRUCTION, SHALL SUBMIT AS-BUILT RECORD DRAWINGS AND CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS-BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE DEVELOPMENT AND INFRASTRUCTURE SERVICES DEPARTMENT AND THE RELEASE OF ASSURANCES, EXCEPT FOR MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED, THE ABOVE PERTAINS TO EACH PHASE.
23. BENCHMARKS:
#1: IS A SEWER MANHOLE COVER LOCATED AT THE INTERSECTION OF N STEP ROCK CANYON PL AND W VISTOSO HIGHLANDS DR. SAID BENCHMARK HAS AN ELEVATION OF **2966.94'**.
#2: IS AN ELECTRIC MANHOLE COVER LOCATED ON THE SOUTH SIDE OF THE W VISTOSO HIGHLANDS DR R.O.W., APPROX. 120' EAST OF THE EXISTING STORM DRAIN CULVERTS LOCATED ADJACENT NEAR THE NORTHWEST CORNER OF THE SUBJECT PARCELS. SAID BENCHMARK HAS AN ELEVATION OF **2967.88'**.
24. ALL EASEMENTS MUST BE ACQUIRED BY OWNER/DEVELOPER PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY.

LEGEND			
EXISTING	PROPOSED	EXISTING	PROPOSED
---	---		SUBJECT PROPERTY BOUNDARY
---	---		RIGHT-OF-WAY
---	---		OTHER PARCEL LINE
---	---		ROADWAY CENTERLINE
---	---		EASEMENT
			CONTOUR
			SPOT ELEVATION
---	---	---	FLOW-LINE
---	---	---	GRADING LIMITS
			100 YR. FLOOD PLAIN LIMIT
			EROSION HAZARD SETBACK
---	---	---	CURB
			ASPHALT
			CONCRETE
			PAINT STRIPE
			RIPRAP
			DECOMPOSED GRANITE
			FENCE
			RAILING
			WALL
			MAIL BOX
			SIGN
			STREET/SITE LIGHT
			SEWER PIPE
			WATER PIPE
			FIRE SERVICE PIPE
			UNKNOWN MANHOLE
			ELECTRIC MANHOLE
			ELECTRIC METER
			ELECTRIC TRANSFORMER
			ELECTRIC JUNCTION BOX
			COMMUNICATION PEDESTAL
			COMMUNICATION MANHOLE

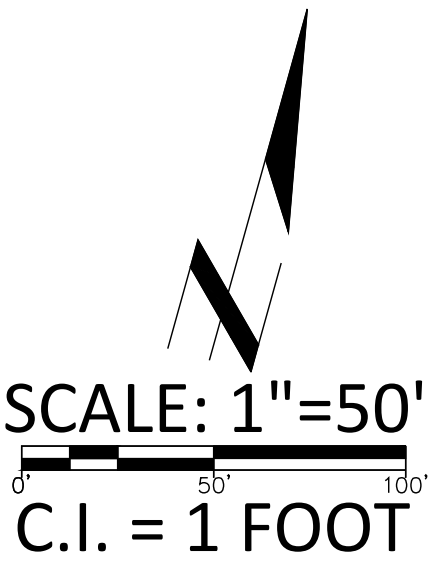
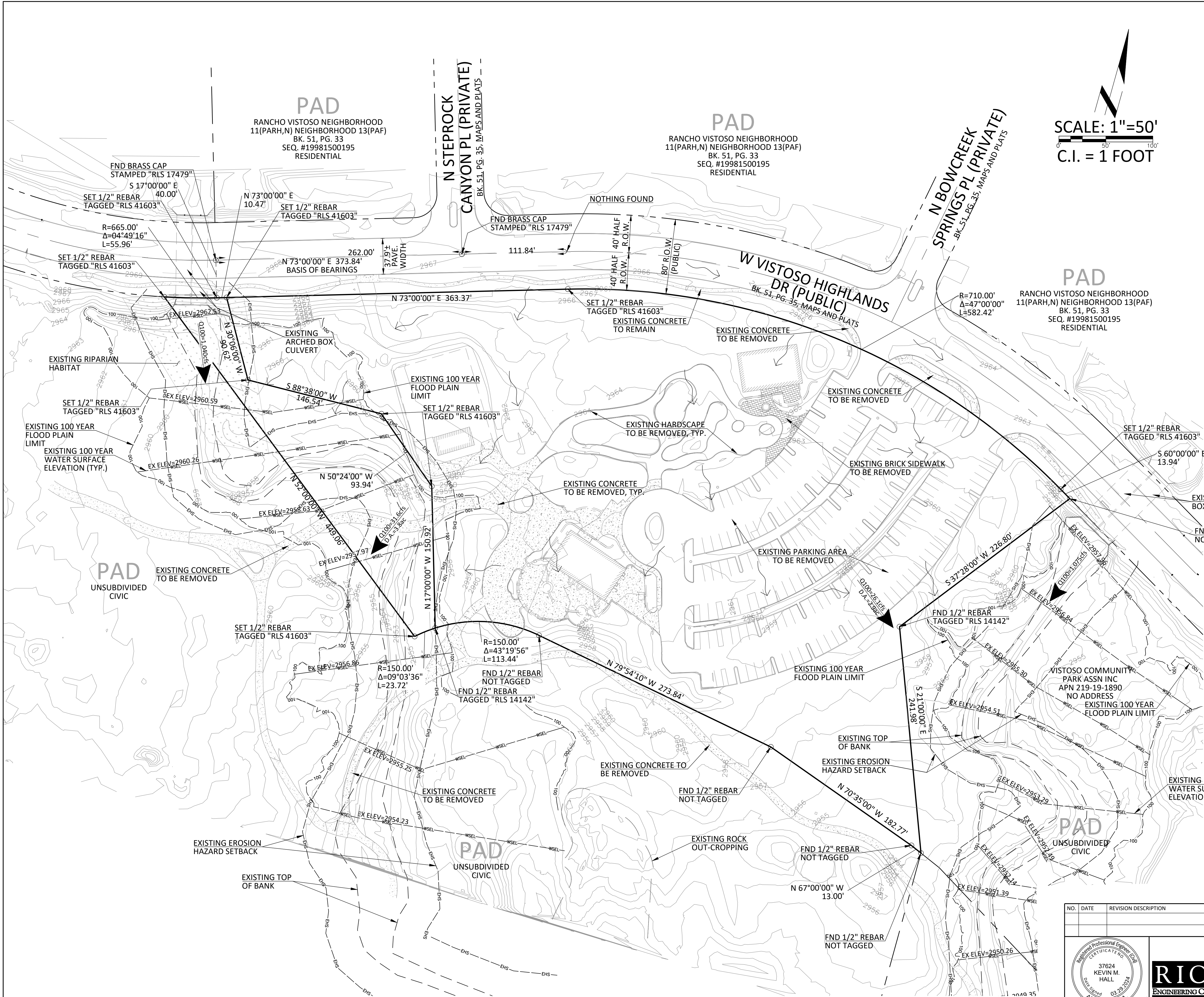
NO.	DATE	REVISION DESCRIPTION	BY
		OWNER/DEVELOPER OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com	
		SITE ADDRESS 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 <small>rickengineering.com</small>	
PROJECT NO: 22.061			

DATE: 03/29/24	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
SCALE: AS NOTED	
C.I.: N/A	

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
notes + legend



CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236



PAD
RANCHO VISTOSO NEIGHBORHOOD
11(PARH,N) NEIGHBORHOOD 13(PAF)
BK. 51, PG. 33
SEQ. #19981500195
RESIDENTIAL

PAD
UNSUBDIVIDED
CIVIC

PAD
UNSUBDIVIDED
CIVIC

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				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755

CERTIFIED
PROFESSIONAL ENGINEER
No. 37624
KEVIN M. HALL
Date Signed 03/29/2024
ARIZONA U.S.A.

RICK
ENGINEERING COMPANY
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

37624
KEVIN M.
HALL
03/29/2024
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PROJECT NO: 22.061

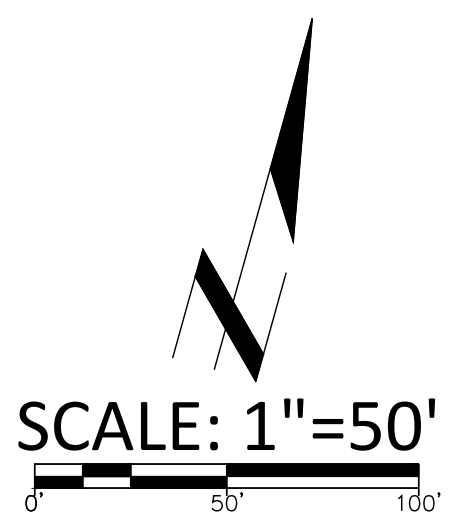
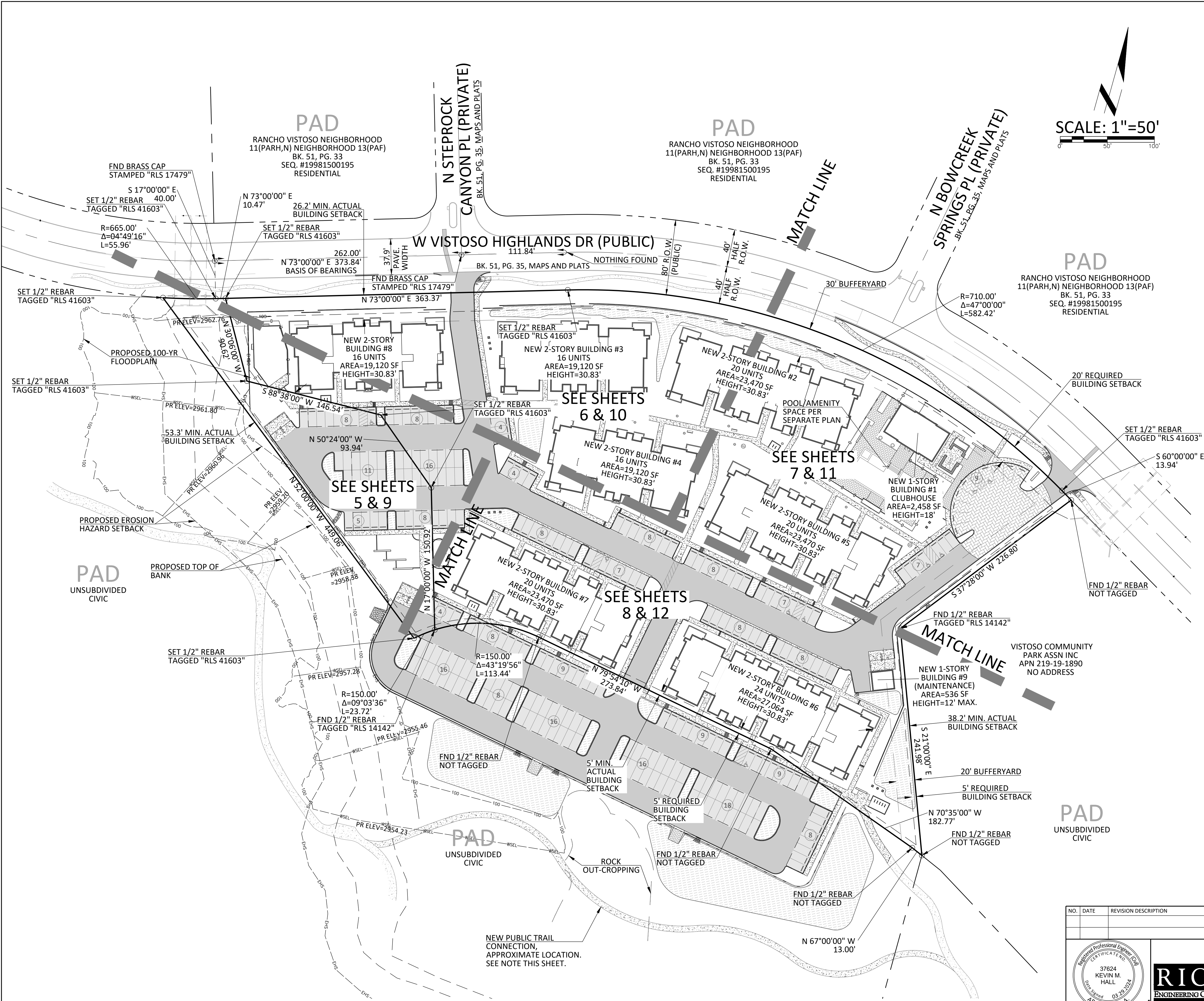
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A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
overall existing site plan

CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236
3
OF
18





- NEW PUBLIC TRAIL CONNECTION NOTE**
- THE TRAIL ALIGNMENT DEPICTED IN THIS FINAL SITE PLAN PACKAGE IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL TRAIL ALIGNMENT SHALL BE DETERMINED IN CONSULTATION WITH THE TOWN OF ORO VALLEY (I.E. OV TRAILS SPECIALIST, PARKS AND RECREATION, ETC.). FINAL ALIGNMENT SHALL BE STAKED IN THE FIELD AND APPROVED BY THE TOWN, PRIOR TO CONSTRUCTION.
- THE NEW TRAIL MUST BE BUILT IN ACCORDANCE WITH THE FOLLOWING:
1. PAVED WITH INTEGRATED COLOR CONCRETE TO MATCH THE EXISTING PATH DESIGN.
 2. POSITIONED IN A MANNER TO PRESERVE THE ROCK OUTCROP AND ALL MATURE NATIVE TREES IN PLACE. DISTURBANCE TO CACTUS TO BE MINIMIZED AND TRANSPLANTING IS REQUIRED IF UNAVOIDABLE.
 3. DESIGN NEW TRAIL CONNECTIONS TO EXISTING TRAILS THAT ENABLE A SAFE AND GRADUAL MERGER OF CYCLISTS AND PEDESTRIANS RATHER THAN A T-INTERSECTION OR ABRUPT TRANSITION.

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Professional Engineer Seal
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KEVIN M. HALL
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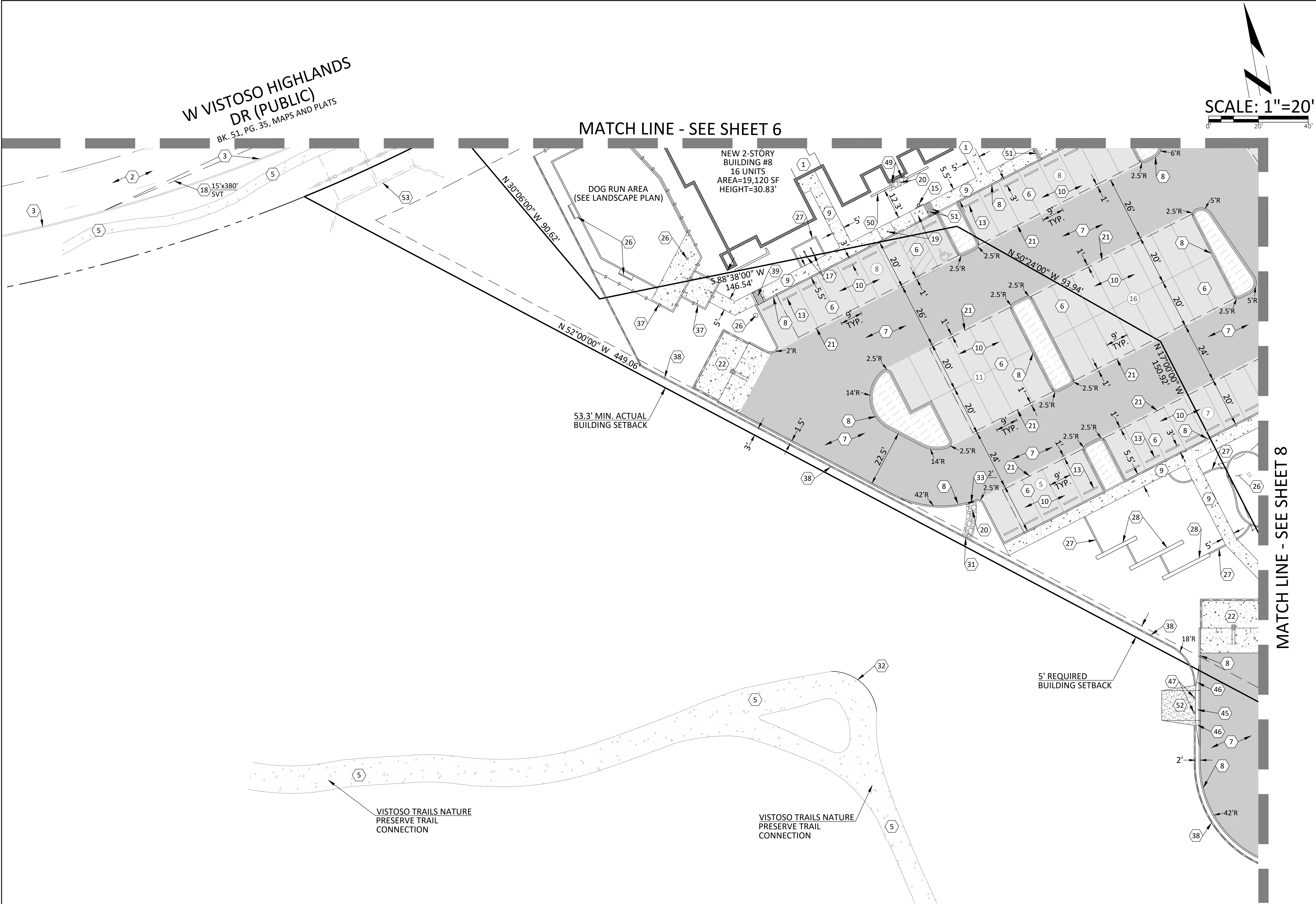
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A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

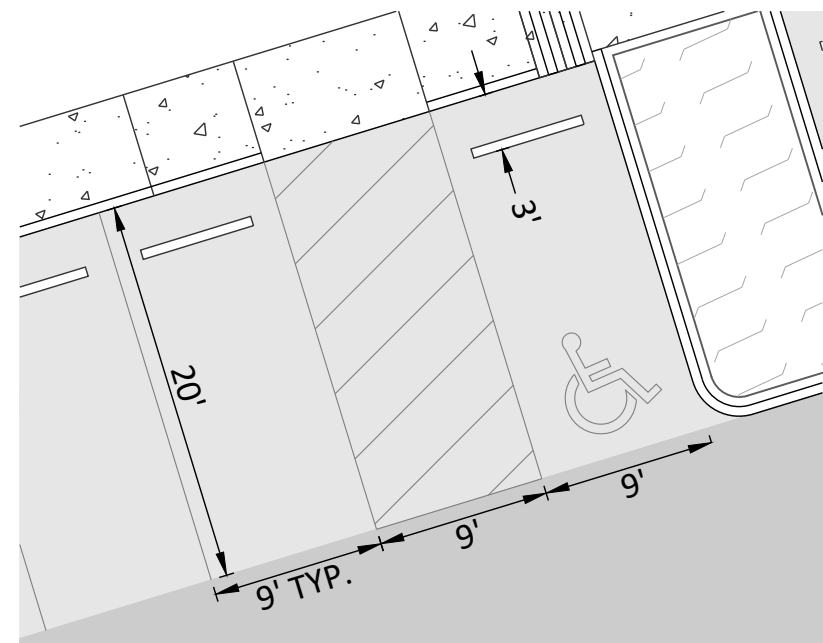
**DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
overall proposed site plan**



CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236
4 OF 18



- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
 - 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
 - 13 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
 - 15 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL E, SHEET 17.
 - 17 NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
 - 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 19 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
 - 20 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL G, SHEET 18.
 - 21 NEW CANOPY PER SEPARATE PLAN AND PERMIT.
 - 22 NEW TRASH ENCLOSURE (DOUBLE CONTAINER). FULLY ENCLOSED WITH SELF CLOSING GATE. SEE DETAIL H, SHEET 18. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
 - 26 NEW AMENITY PER LANDSCAPE PLANS.
 - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 28 NEW SEAT WALL PER HARDSCAPE PLANS.
 - 31 NEW WALL OPENING. SEE DETAIL I, SHEET 18.
 - 32 NEW EDGE OF EXISTING CONCRETE, FOLLOWING DEMOLITION.
 - 33 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH. SEE DETAIL J, SHEET 18.
 - 37 NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
 - 38 NEW RETAINING AND SITE WALL PER SEPARATE PLAN AND PERMIT. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
 - 39 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
 - 45 NEW 6" HIGH WEDGE CURB PER PAG DETAIL 209.
 - 46 NEW CURB TRANSITION (VERTICAL TO WEDGE) PER PAG DETAIL 210.
 - 47 NEW REMOVABLE POST BARRICADE (TYPE A) PER PAG DETAIL 107.
 - 49 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
 - 50 NEW PATIO WALL PER BUILDING PLANS (TYP.).
 - 51 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
 - 52 NEW 6" THICK ABC OVER COMPACTED SUBGRADE. COMPACT ABC TO 100% AND SUBGRADE TO 95%.
 - 53 EXISTING RETAINING WALL TO REMAIN.



ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'



DATE: 03/29/24
SCALE: 1"=20'
C.I.: N/A

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				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



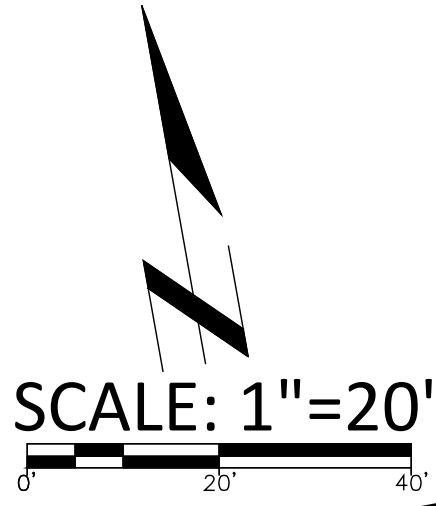
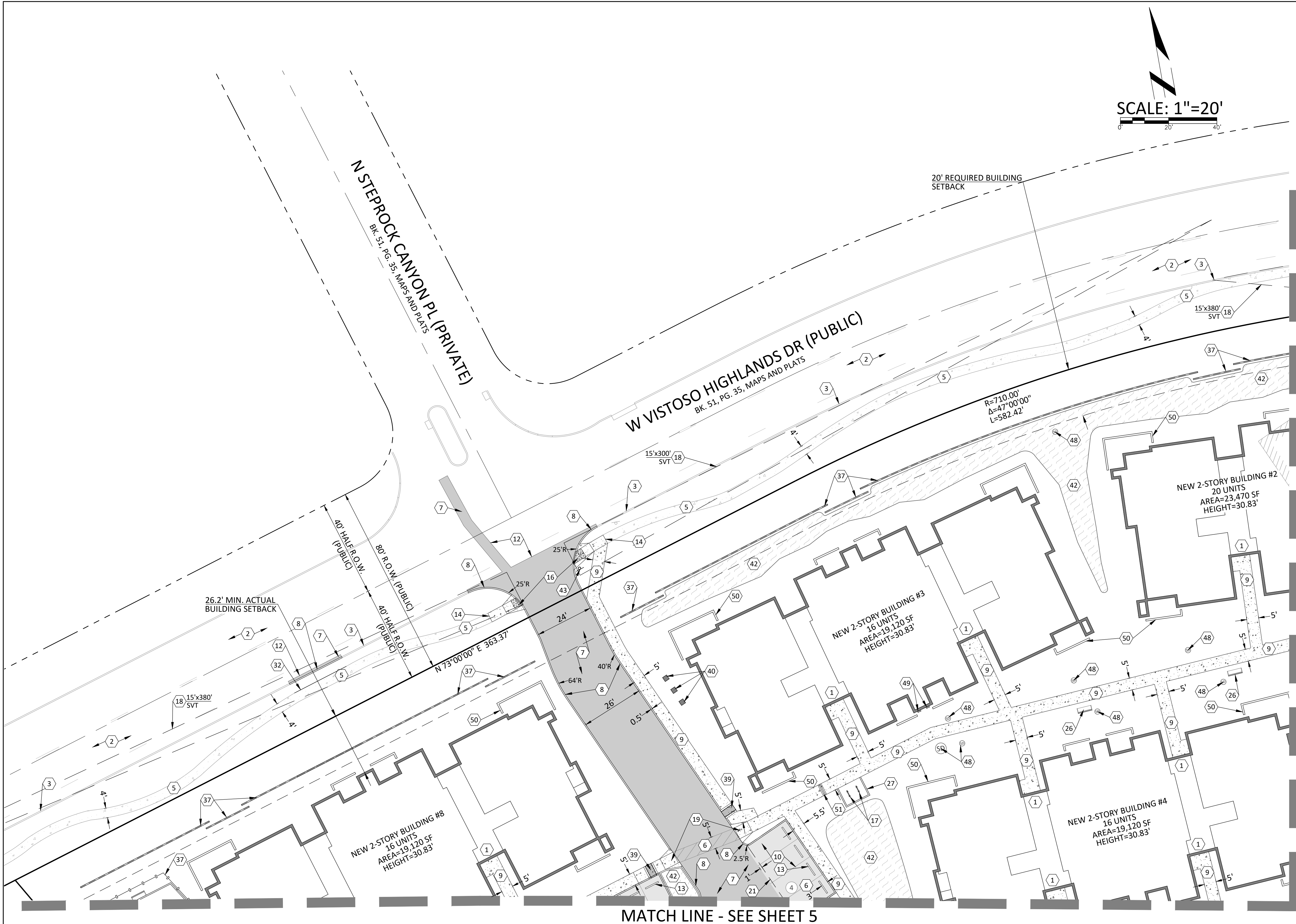
PROJECT NO: 22,061

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
site plan (sw)

THE GATEWAY AT VISTOSO PRESERVE

CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236
5 OF 18

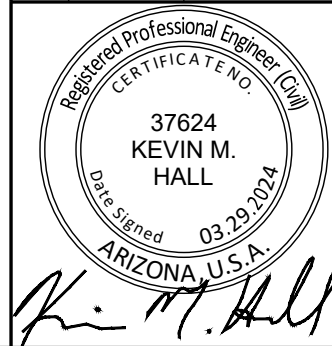


- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
 - 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
 - 12 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 13 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
 - 14 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 16 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PAG DETAIL 207.
 - 17 NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
 - 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 19 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
 - 21 NEW CANOPY PER SEPARATE PLAN AND PERMIT.
 - 26 NEW AMENITY PER LANDSCAPE PLANS.
 - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 32 NEW EDGE OF EXISTING CONCRETE, FOLLOWING DEMOLITION.
 - 37 NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
 - 39 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
 - 40 NEW BUILDING COLUMN PER BUILDING PLAN.
 - 42 NEW WATER HARVESTING AREA, 4" MAX. DEPTH. SEE GRADING SHEETS FOR DETAIL.
 - 43 NEW STOP SIGN (MUTCD #R1-1).
 - 48 NEW STORM DRAIN AREA INLET OR MANHOLE. SEE GRADING SHEETS FOR DETAIL.
 - 49 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
 - 50 NEW PATIO WALL PER BUILDING PLANS (TYP.).
 - 51 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.

MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 5

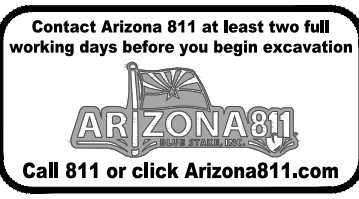
NO.	DATE	REVISION DESCRIPTION	BY
			OWNER/DEVELOPER
			OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
			SITE ADDRESS
			945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



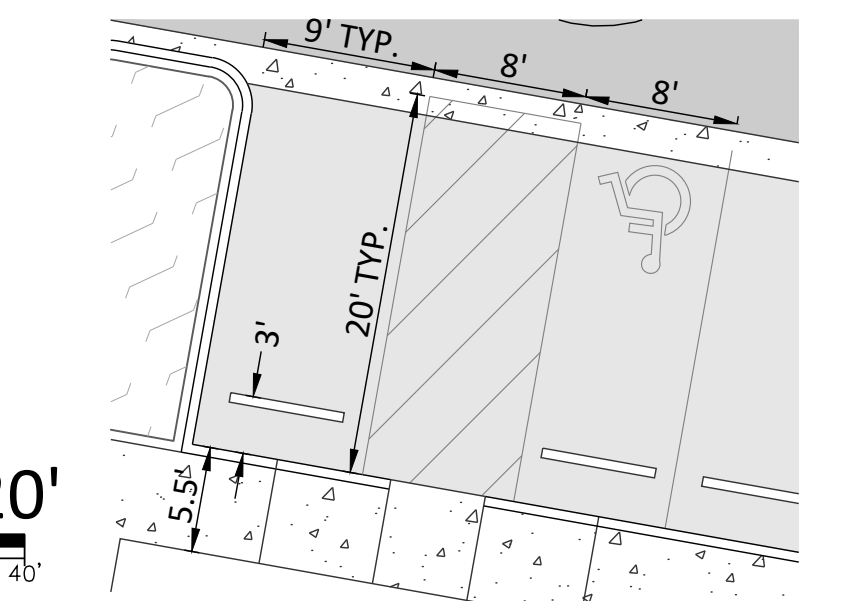
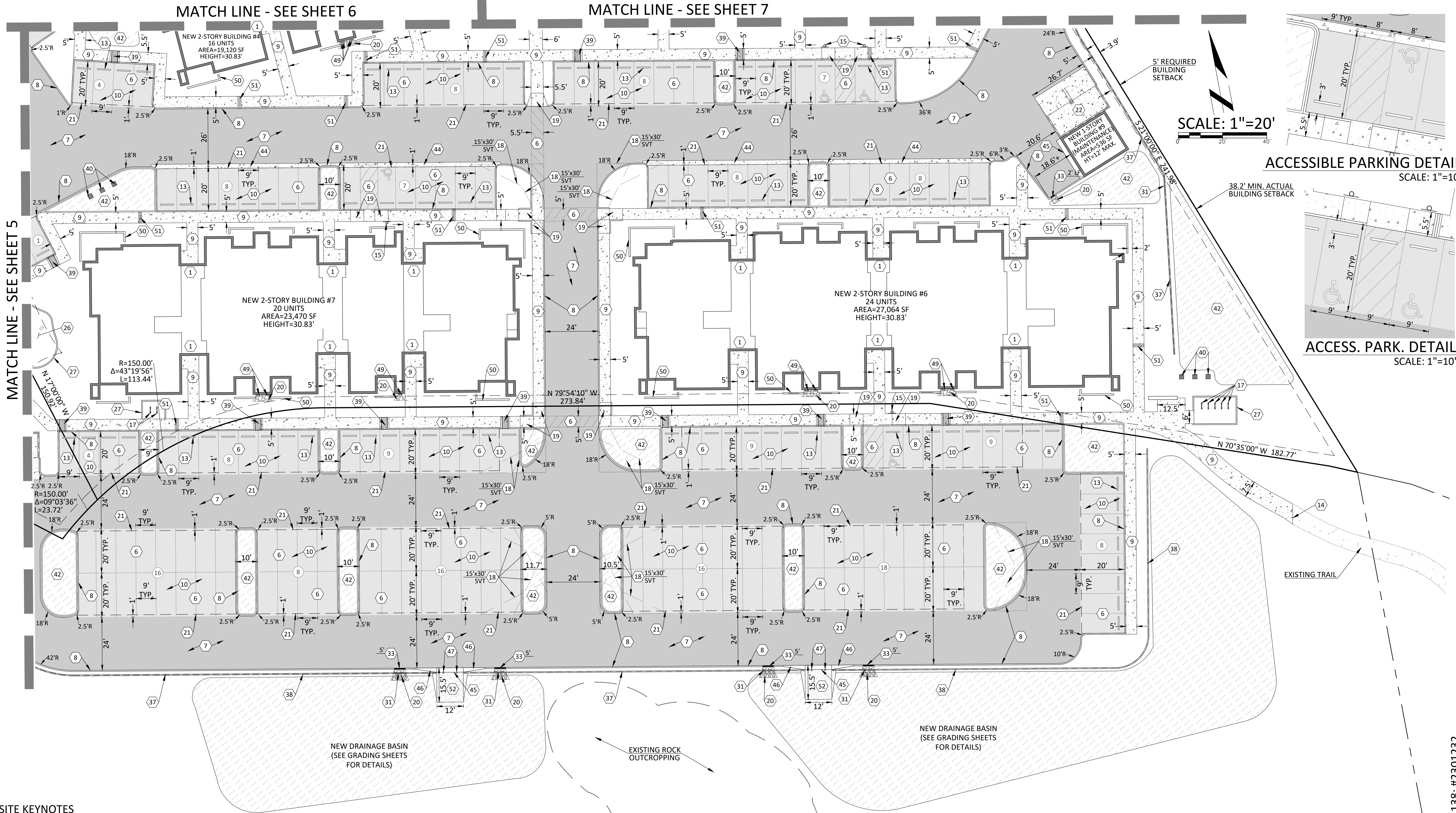
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ENGINEERING COMPANY

3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

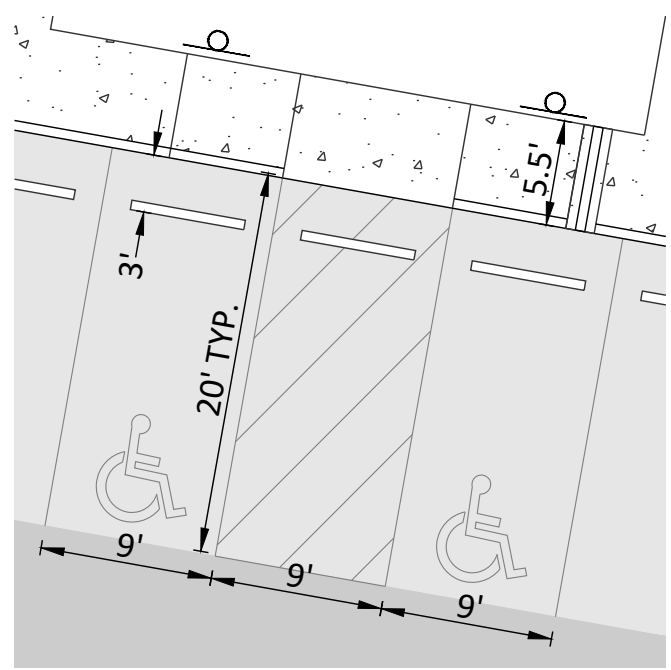
DATE: 03/29/24	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	DEVELOPMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE site plan (nw)	6 OF 18
SCALE: 1"=20'			
C.I.: N/A			



CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236



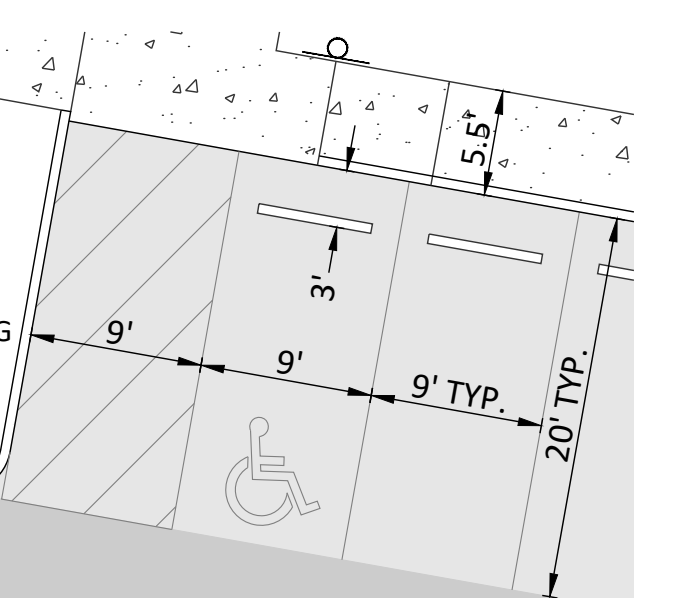
ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'



ACCESS. PARK. DETAIL
SCALE: 1"=10'

SITE KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE.
- 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
- 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
- 13 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
- 14 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 15 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL E, SHEET 17.
- 17 NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
- 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 19 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
- 20 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL G, SHEET 18.
- 21 NEW CANOPY. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
- 22 NEW TRASH ENCLOSURE (DOUBLE CONTAINER). FULLY ENCLOSED WITH SELF CLOSING GATE. SEE DETAIL H, SHEET 18. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
- 26 NEW AMENITY PER LANDSCAPE PLANS.
- 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
- 31 NEW WALL OPENING. SEE DETAIL I, SHEET 18.
- 33 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH. SEE DETAIL J, SHEET 18.
- 37 NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
- 38 NEW RETAINING AND SITE WALL PER SEPARATE PLAN AND PERMIT. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
- 39 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
- 40 NEW BUILDING COLUMN PER BUILDING PLAN.
- 42 NEW WATER HARVESTING AREA, 4" MAX DEPTH. SEE GRADING SHEETS FOR DETAIL.
- 44 NEW 2" WIDE CONCRETE FLOW GUTTER PER DETAIL K, SHEET 18.
- 45 NEW 6" HIGH WEDGE CURB PER PAG DETAIL 209.
- 46 NEW CURB TRANSITION (VERTICAL TO WEDGE) PER PAG DETAIL 210.
- 47 NEW REMOVABLE POST BARRICADE.
- 49 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
- 50 NEW PATIO WALL PER BUILDING PLANS (TYP.).
- 51 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
- 52 NEW 6" THICK ABC OVER COMPACTED SUBGRADE. COMPACT ABC TO 100% AND SUBGRADE TO 95%.



ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'

NO. DATE REVISION DESCRIPTION BY		OWNER/DEVELOPER	
		OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com	
		SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755	
37624 KEVIN M. HALL Professional Engineer Arizona 03/29/2014		RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com	
DATE: 03/29/24 SCALE: 1"=20' C.I.: 1 FOOT		PROJECT NO: 22.061 DEVELOPMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE site plan (se)	
		THE GATEWAY AT VISTOSO PRESERVE	

CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236
8 OF 18

W VISTOSO HIGHLANDS
DR (PUBLIC)
BK. 51, PG. 35, MAPS AND PLATS

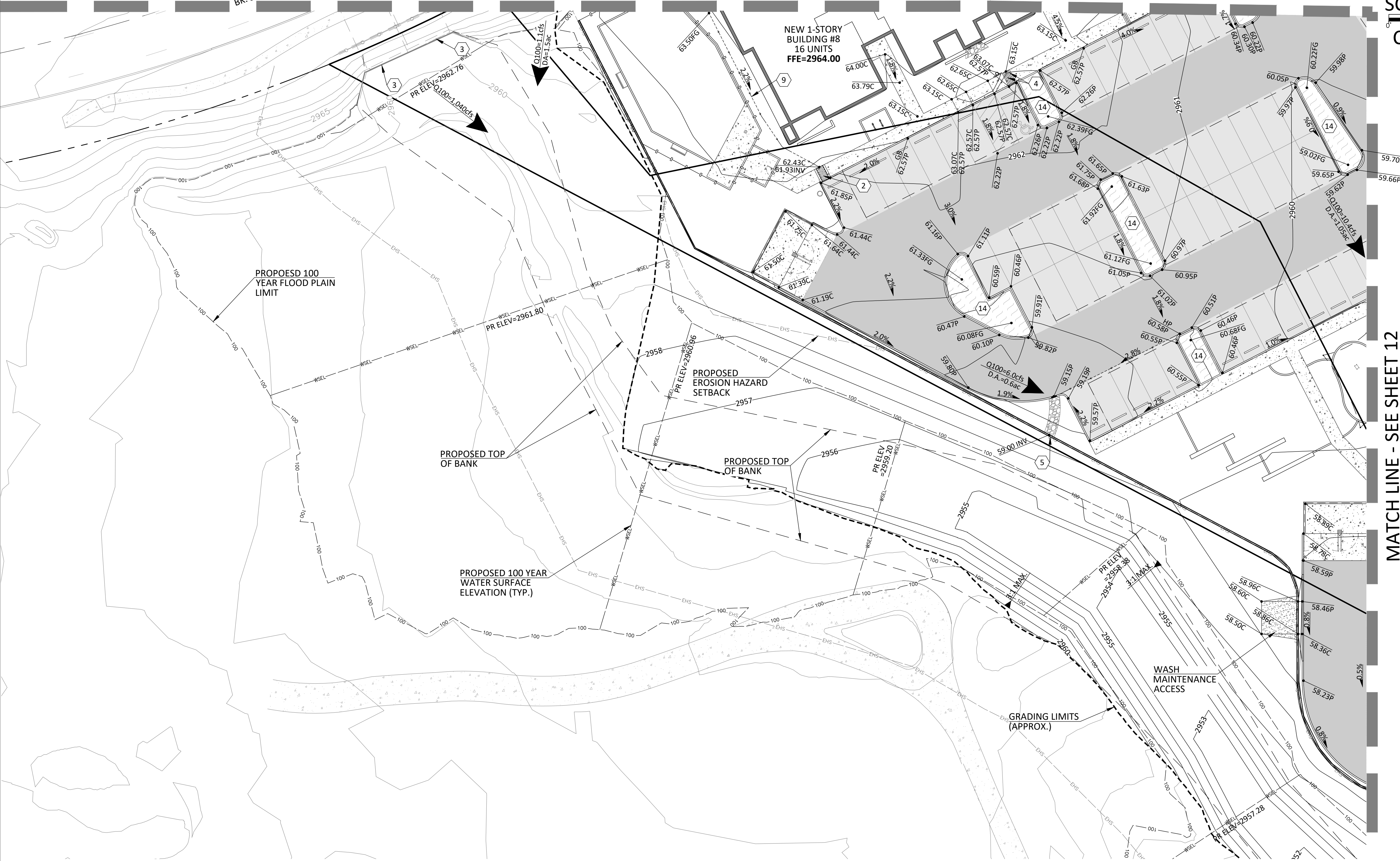
MATCH LINE - SEE SHEET 10

SCALE: 1"=20'
C.I.=1 FOOT

GRADING KEYNOTES

- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
- 3 EXISTING STORM DRAIN CULVERT TO REMAIN.
- 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
- 5 NEW WALL OPENING. SEE DETAIL K, SHEET 18.
- 9 NEW GRADED SWALE. SEE DETAIL 1, SHEET 11.
- 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.

MATCH LINE - SEE SHEET 12



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



RICK
ENGINEERING COMPANY

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TUCSON, AZ 85712
520.795.1000
rickengineering.com

PROJECT NO: 22.061

DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
grading plan (sw)

CASE #2301236
REF: #2203155; #2301138; #2301232


9
OF
18

DEVELOPMENT CASE #2301236



- 2 NEW SIDEWALK SCUPPER
(TYPE 2) PER PAG STD 205
- 4 NEW SIDEWALK SCUPPER
(TYPE 1) PER PAG STD 204
- 6 NEW 18" HDPE STORM
DRAIN. SEE KEYNOTE FOR
LENGTH AND SLOPE.
- 7 NEW 8" NYOPLAST DRAIN
BASIN, OR APPROVED
EQUAL. SEE KEYNOTE FOR
RIM AND INVERT(S).
- 8 NEW 24" NYOPLAST DRAIN
BASIN, APPROVED EQUAL.
SEE KEYNOTE FOR RIM AND
INVERT.
- 9 NEW GRADED SWALE. SEE
DETAIL 1, SHEET 11.
- 10 NEW 6" HDPE STORM
DRAIN. SEE KEYNOTE FOR
LENGTH AND SLOPE.
- 13 NEW 8" HDPE STORM
DRAIN. SEE KEYNOTE FOR
LENGTH AND SLOPE.
- 14 NEW 4" MAX. DEPRESSED
WATER HARVESTING AREA
- 15 REMOVE EXISTING
CONCRETE AS NEEDED TO
ENSURE ADA COMPLIANCE

SCALE: 1"=20'



C.I. = 1 FOOT

BUCK CANYON PLATE
BK. 51, PG. 35, MAPS AND PLATS

TO HIGHLANDS
BK. 51, PG. 35, MAPS AND PLATS

GRADING LIMITS
(APPROX.)

NEW 2-STORY BUILD
20 UNITS
FFE=2962.75


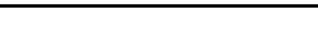
NEW 2-STORY BUILD
16 UNITS
FFE=2962.10

NEW 1-STORY
BUILDING #8
16 UNITS
FFE=2964.00

NEW 2-STORY BUILD
16 UNITS
FFE=2962.10

MATCH LINE - SEE SHEET 9

MATCH LINE - SEE SHEET 11

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossruling@gmail.com
 <div style="display: flex; align-items: center;">  <div style="margin-left: 10px;"> <p>3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000</p> </div> </div>			SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORIO VALLEY, ARIZONA 85755	
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver			rickengineering.com	

DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
grading plan (nw)

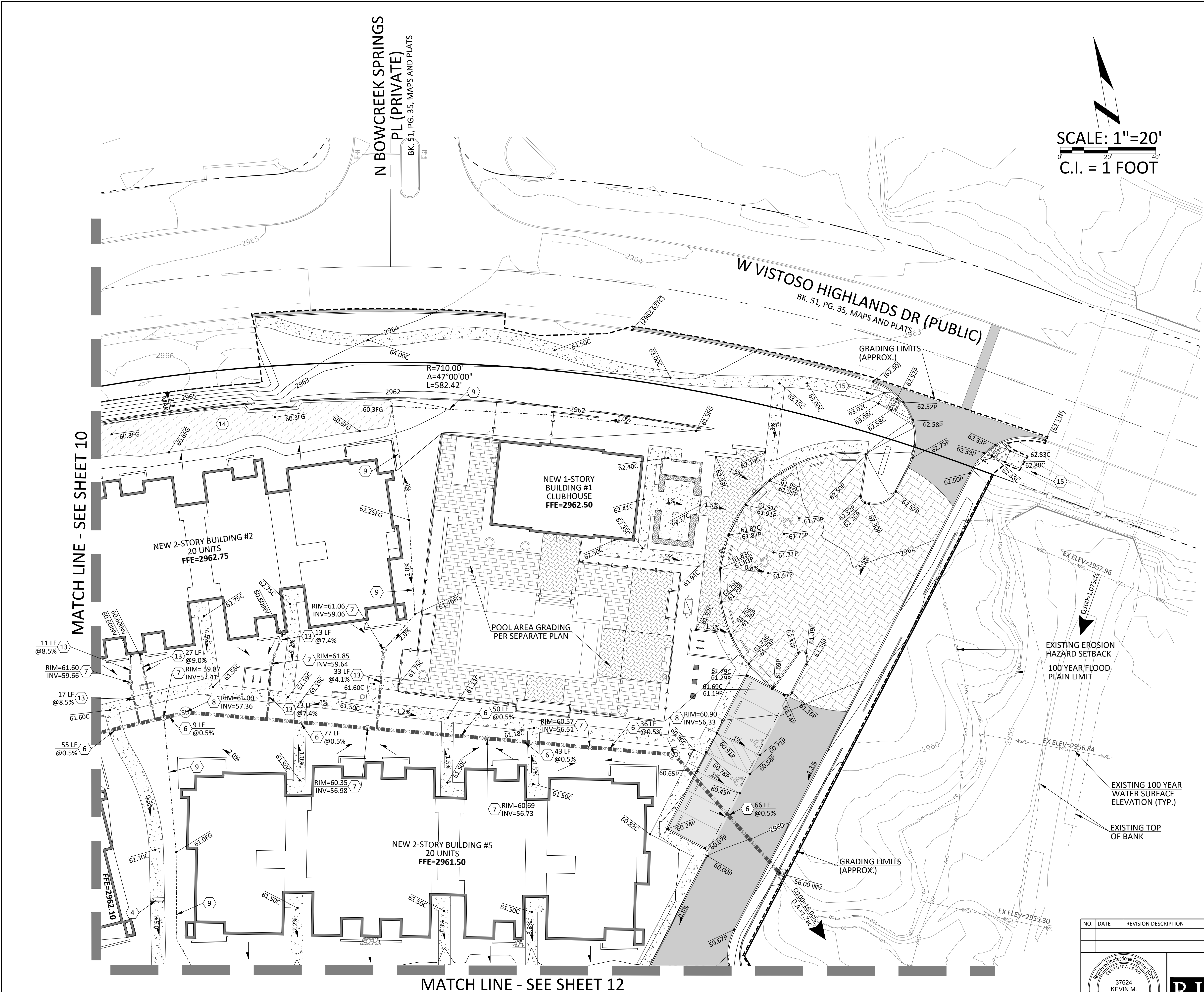
10
OF
18

Contact Arizona 811 at least two full working days before you begin excavation.

ARIZONA811

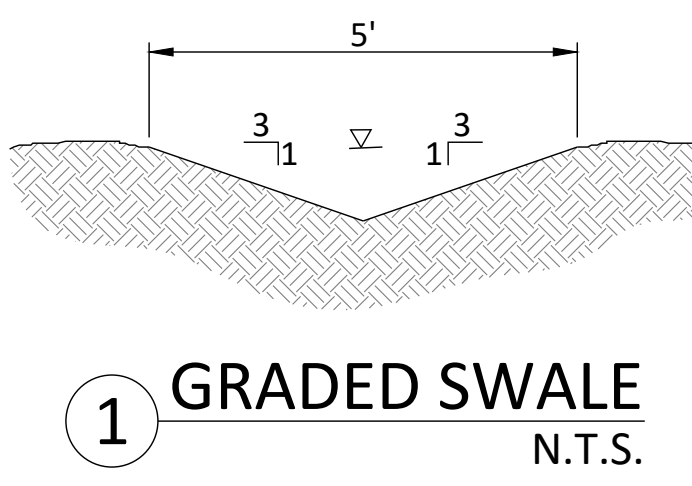
Call 811 or click Arizona811.com

THE GATEWAY AT VISTOSO PRESERVE

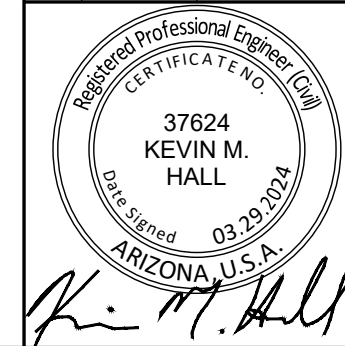


- GRADING/S.D. KEYNOTES**
- 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
 - 6 NEW 18" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - 7 NEW 8" NYOPLAST DRAIN BASIN, OR APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT(S).
 - 8 NEW 24" NYOPLAST DRAIN BASIN, APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT.
 - 9 NEW GRADED SWALE. SEE DETAIL 1, THIS SHEET.
 - 13 NEW 8" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.
 - 15 REMOVE EXISTING CONCRETE AS NEEDED TO ENSURE ADA COMPLIANCE.

SCALE: 1"=20'
C.I. = 1 FOOT



NO.	DATE	REVISION DESCRIPTION	BY
OWNER/DEVELOPER			
OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com			
SITE ADDRESS			
945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755			



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TUCSON, AZ 85712
520.795.1000
rickengineering.com

DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA


DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
grading plan (ne)

CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236



MATCH LINE - SEE SHEET 11

SCALE: 1"=20'



C.I. = 1 FOOT

MATCH LINE - SEE SHEET 9

1	NEW CURB OPENING. SEE KEYNOTE FOR WIDTH
2	NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
4	NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
5	NEW WALL OPENING. SEE DETAIL I, SHEET 18.
9	NEW GRADED SWALE. SEE DETAIL 1, SHEET 11.
14	NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.

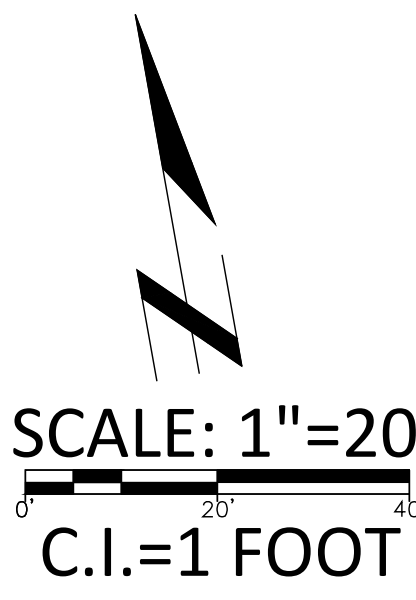
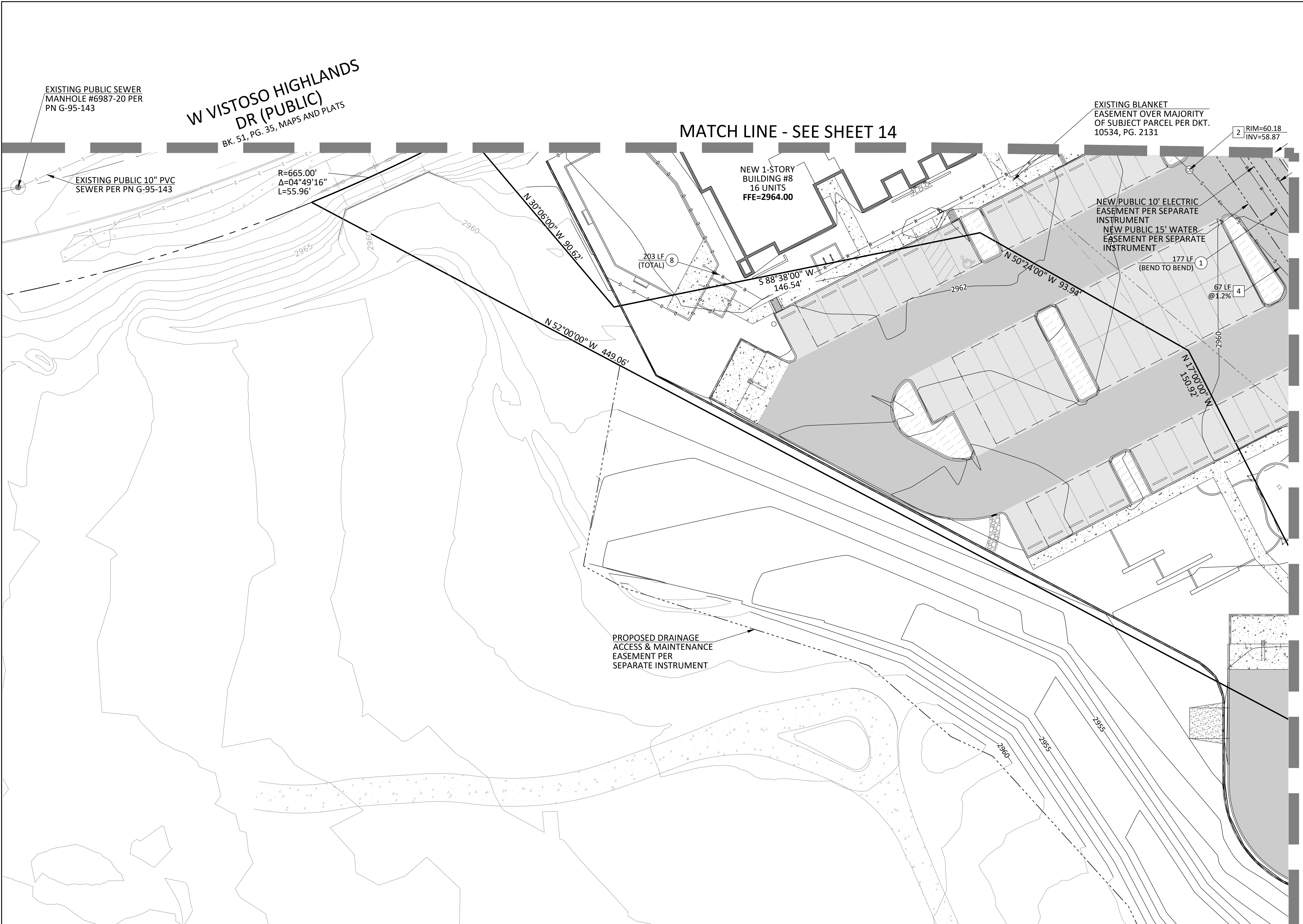
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C.I.: 1 FOOT

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		3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com		SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORV ALLEY, ARIZONA 85755

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
grading plan (se)

18 OF **12** CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236

THE GATEWAY AT VISTOSO PRESERVE

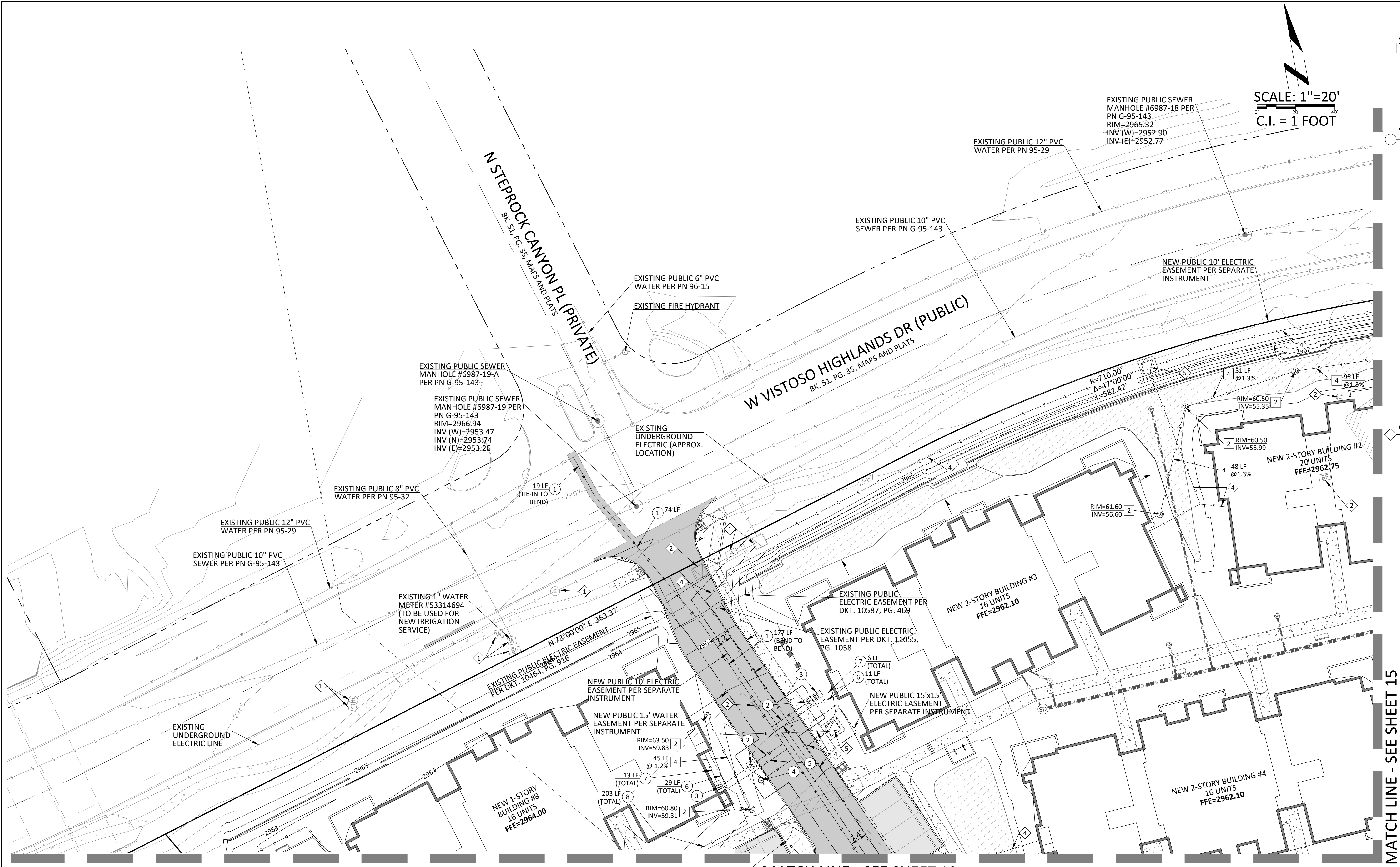


- SEWER KEYNOTES**
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
 - 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
 - 8 NEW PRIVATE 1" WATER SERVICE TO DOG PARK. SEE KEYNOTE FOR LENGTH.



DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

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SCALE: 1"=20'
C.I. = 1 FOOT

- SEWER KEYNOTES**
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
 - 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

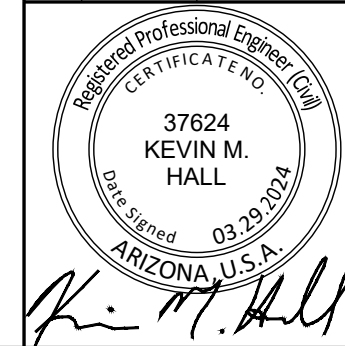
- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
 - 2 NEW PUBLIC 2" WATER SERVICE + 1-1/2" METER PER SEPARATE PLAN AND PERMIT.
 - 3 NEW 2" BACKFLOW PREVENTER.
 - 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
 - 5 NEW PUBLIC 4" FIRE SERVICE STUB PER SEPARATE PLAN AND PERMIT.
 - 6 NEW PRIVATE 2" FIRE SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
 - 7 NEW PRIVATE 2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
 - 8 NEW PRIVATE 1" WATER SERVICE TO DOG PARK. SEE KEYNOTE FOR LENGTH.

- OTHER UTILITY KEYNOTES**
- 1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
 - 4 NEW UNDERGROUND ELECTRIC PER SEPARATE PLAN AND PERMIT.
 - 5 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN AND PERMIT.

MATCH LINE - SEE SHEET 15

MATCH LINE - SEE SHEET 13

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

PROJECT NO: 22.061

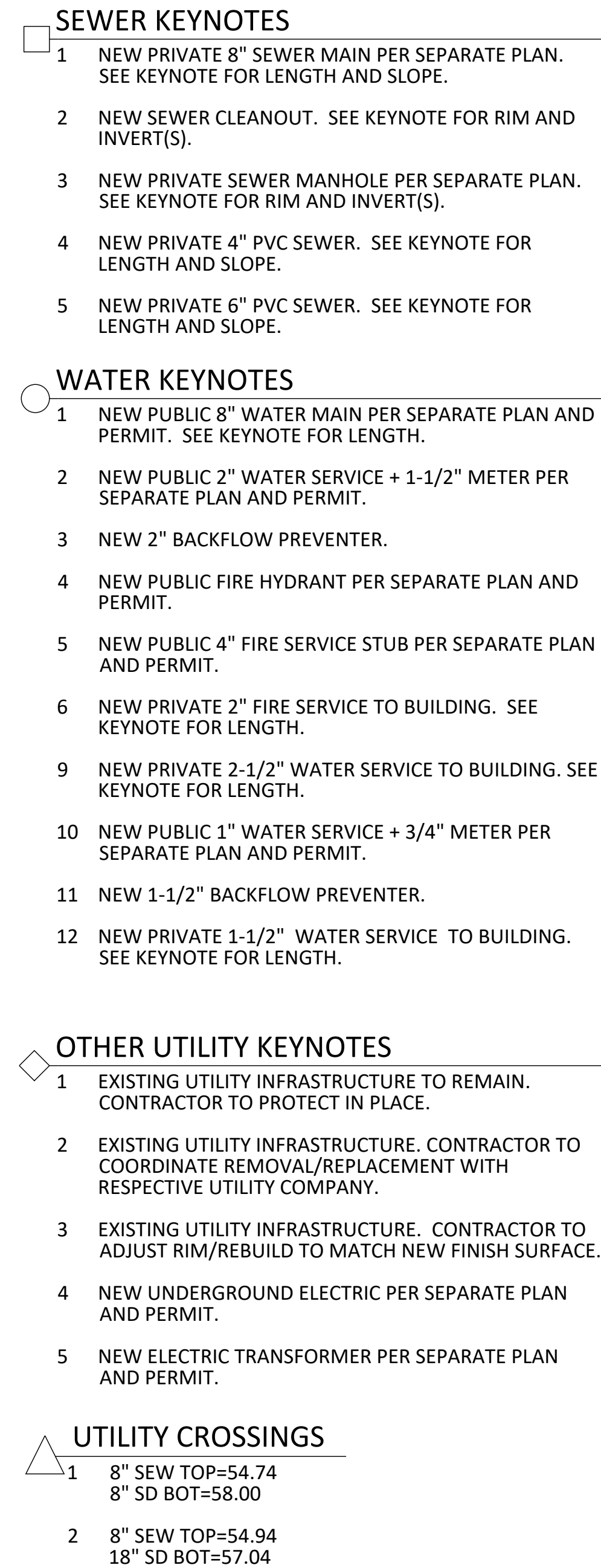
DATE: 03/29/24
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A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
utility + easements plan (nw)**

CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236





NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
		<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div> <p>San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver</p>		
		<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div> <p>San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver</p>		
		<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div> <p>San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver</p>		
		<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div> <p>San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver</p>		
		<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div> <p>San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver</p>		

DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
THE GATEWAY AT VISTOSO PRESERVE
utility + easements plan (ne)

THE GATEWAY AT VISTOSO PRESERVE

18

OF

15

CASE #2301236

REF: #2203155; #2301138; #2301232

DEVELOPMENT CASE #2301236

MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 15

SCALE: 1"=20'
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 13

SEWER KEYNOTES

- 1 NEW PRIVATE 8" SEWER MAIN PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
- 3 NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
- 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 5 NEW PRIVATE 6" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

WATER KEYNOTES

- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
- 2 NEW PUBLIC 2" WATER SERVICE + 1-1/2" METER PER SEPARATE PLAN AND PERMIT.
- 3 NEW 2" BACKFLOW PREVENTER.
- 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
- 5 NEW PUBLIC 4" FIRE SERVICE STUB PER SEPARATE PLAN AND PERMIT.
- 6 NEW PRIVATE 4" FIRE SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
- 7 NEW PRIVATE 2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.

- 9 NEW PRIVATE 2-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
- 10 NEW PUBLIC 1" WATER SERVICE + 3/4" METER PER SEPARATE PLAN AND PERMIT.
- 11 NEW 1-1/2" BACKFLOW PREVENTER.
- 12 NEW PRIVATE 1-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.

OTHER UTILITY KEYNOTES


- 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
- 4 NEW UNDERGROUND ELECTRIC PER SEPARATE PLAN AND PERMIT.
- 5 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN AND PERMIT.

UTILITY CROSSINGS

- 3 8" SEW BOT=55.23
8" WAT TOP=52.00

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				DEVELOPMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE utility + easements plan (se)

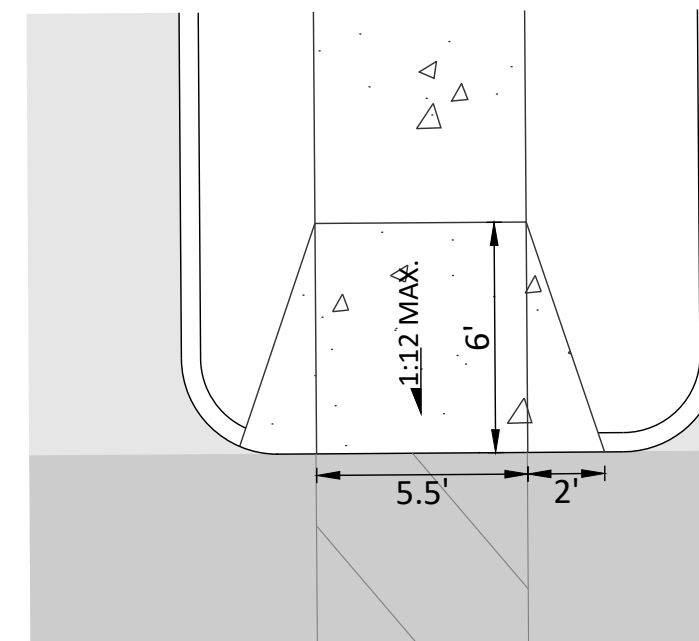
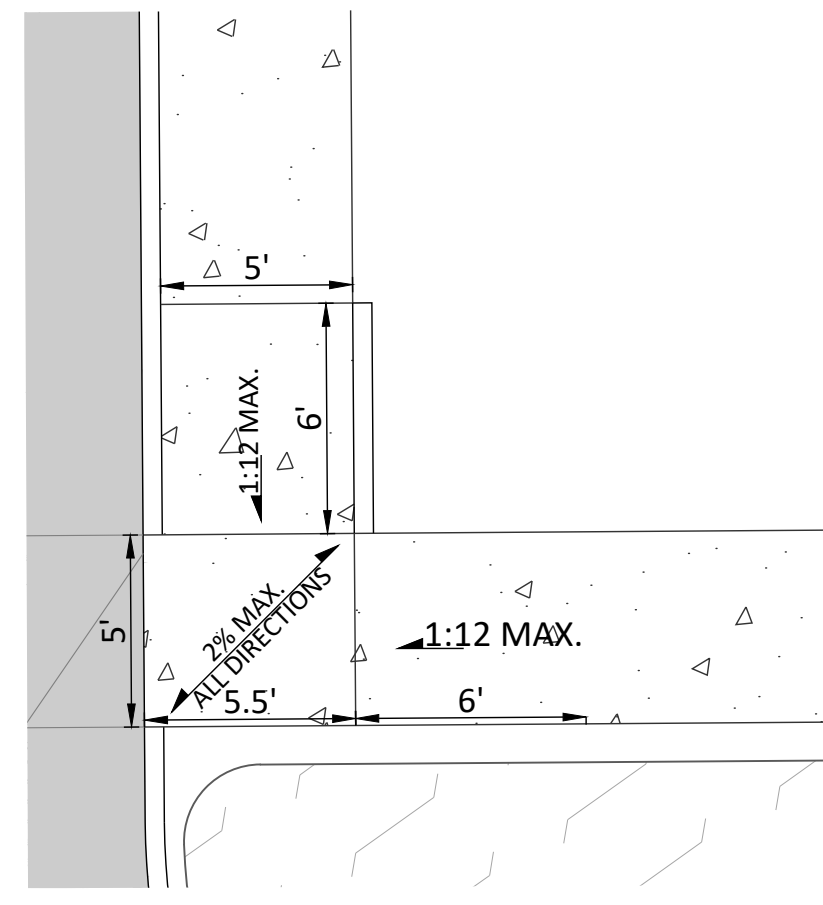
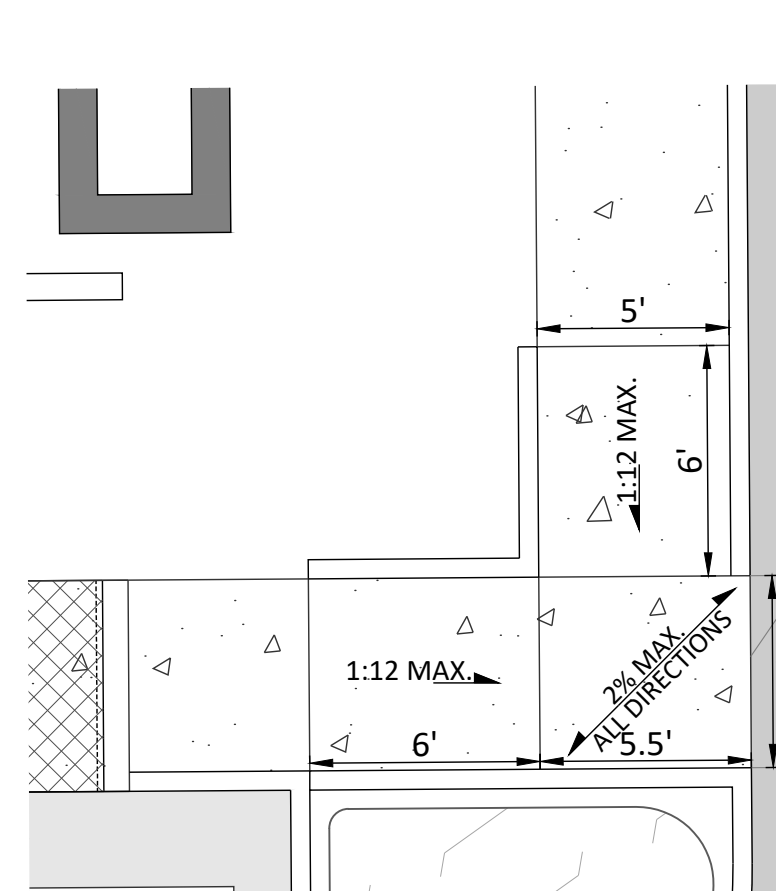
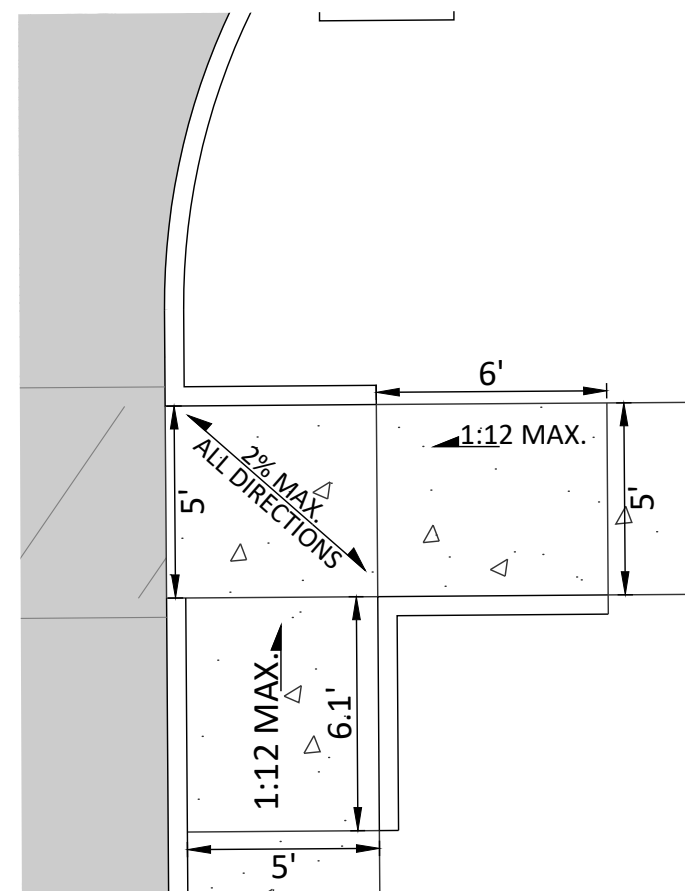
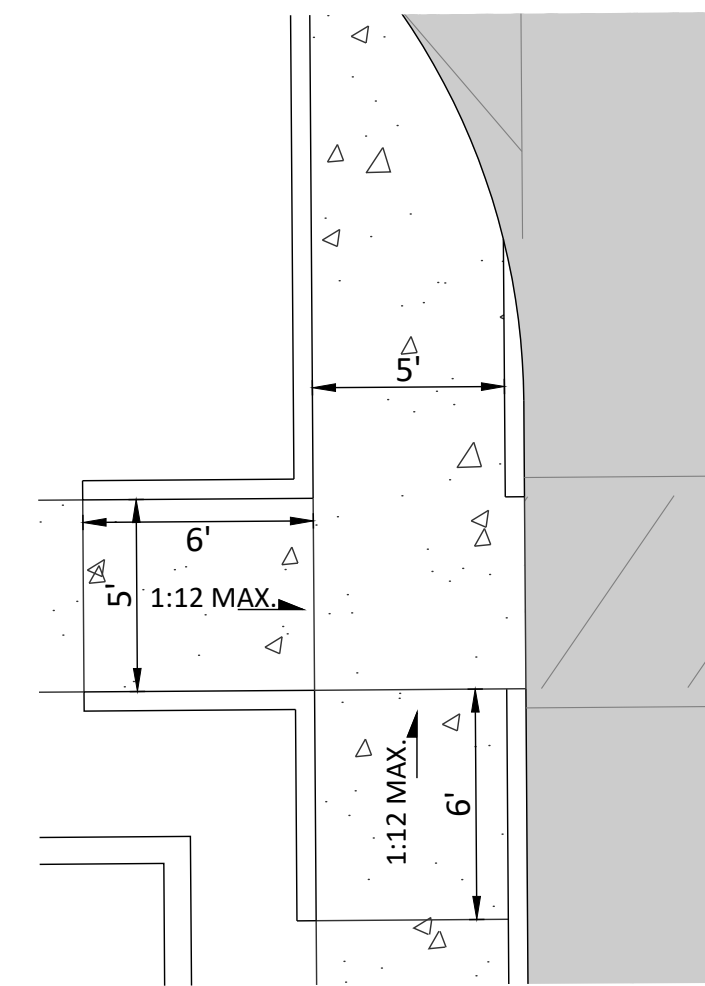
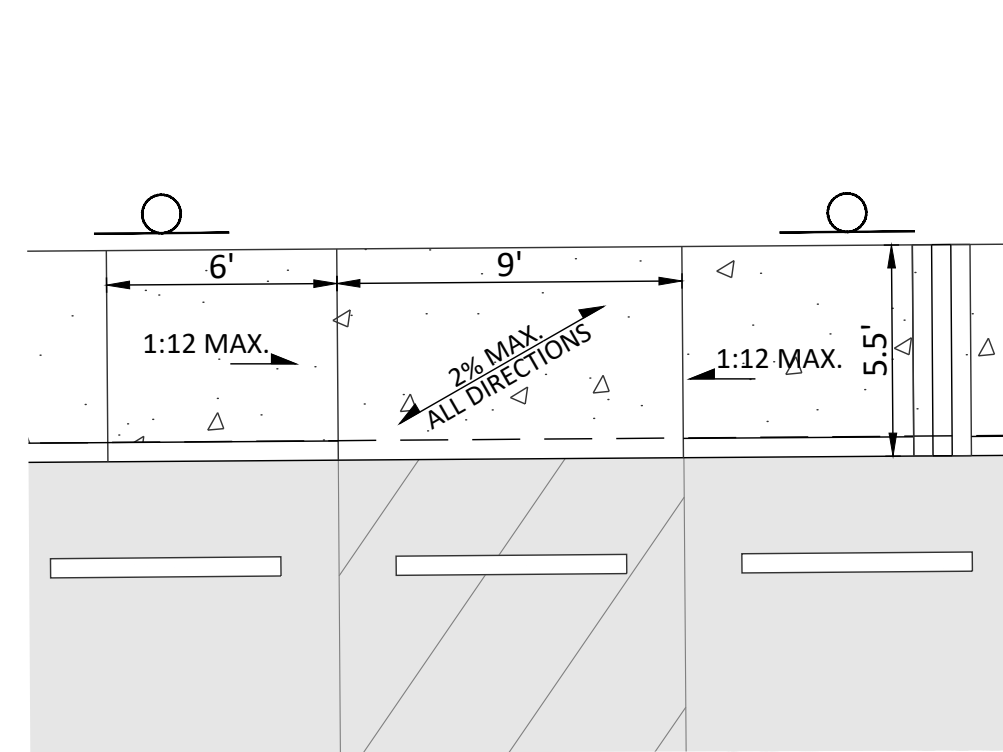
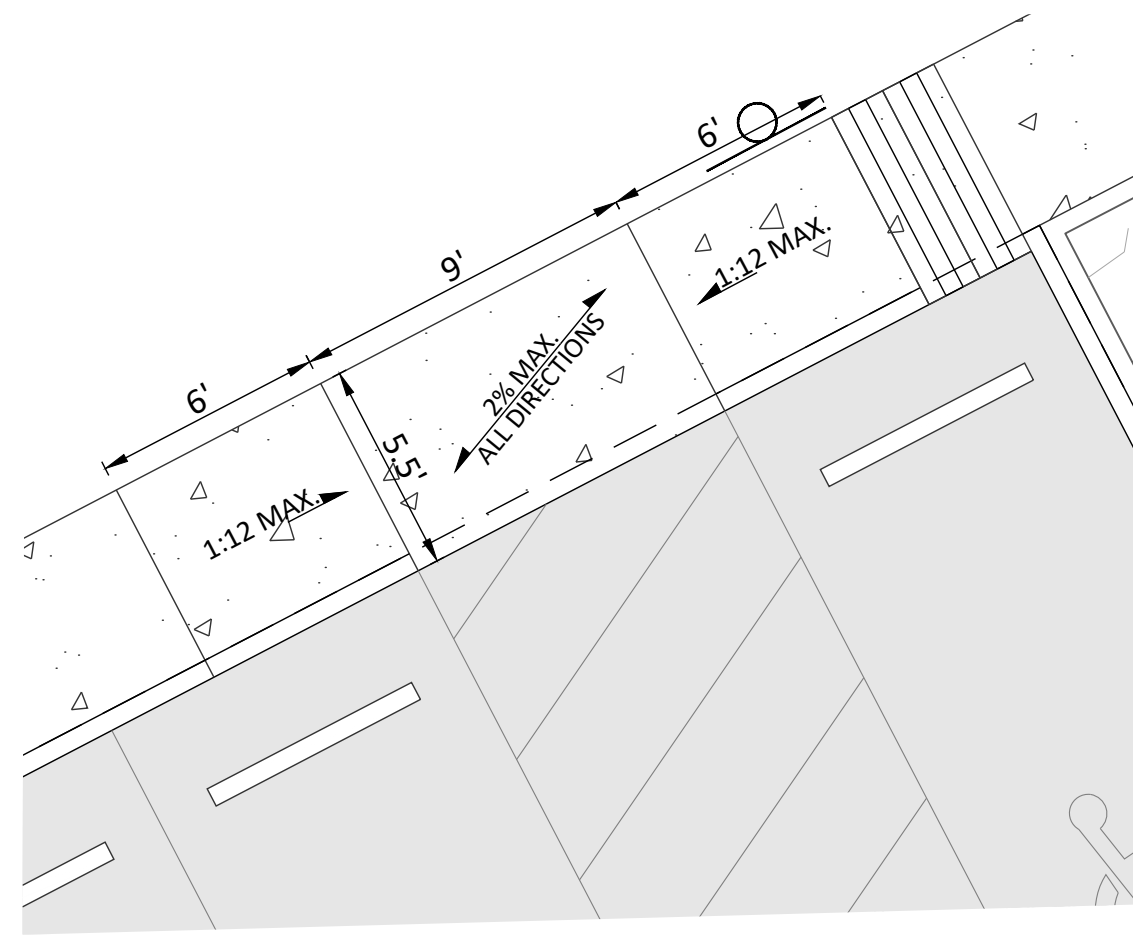
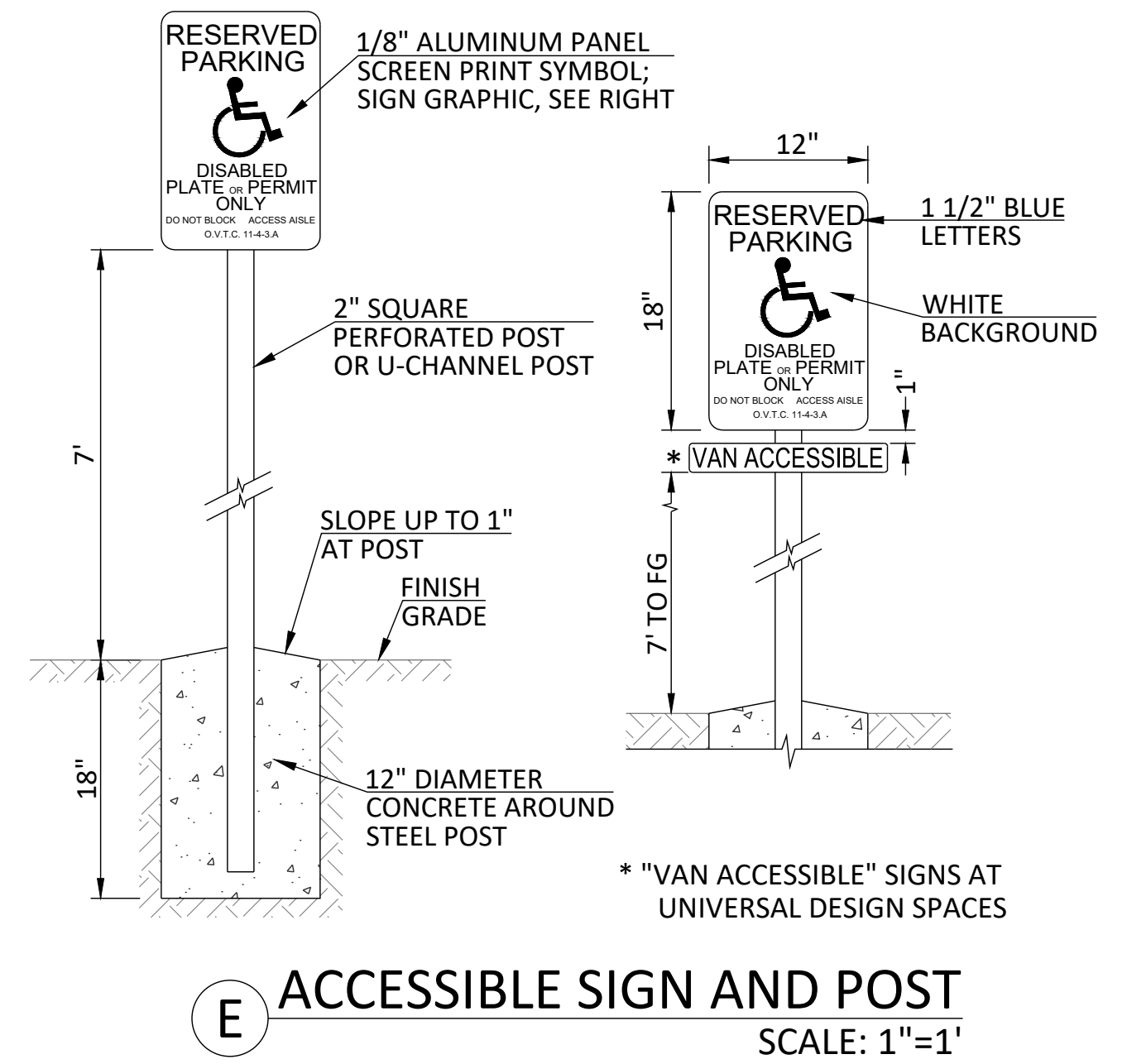
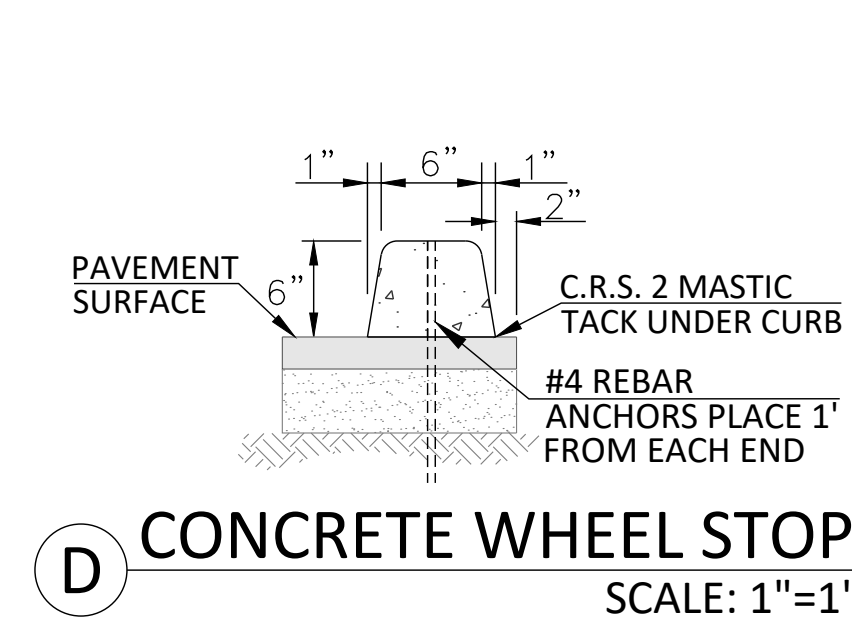
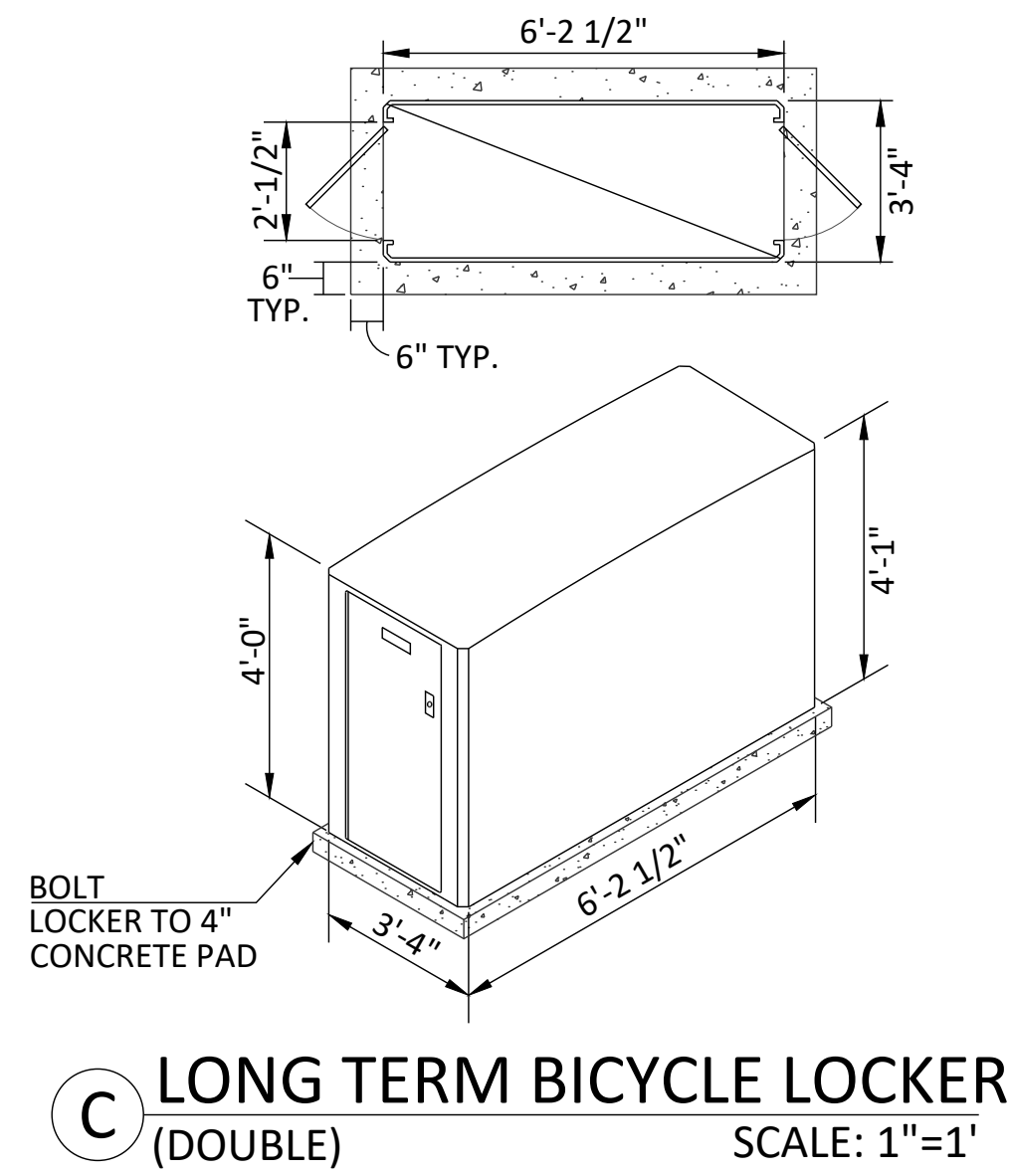
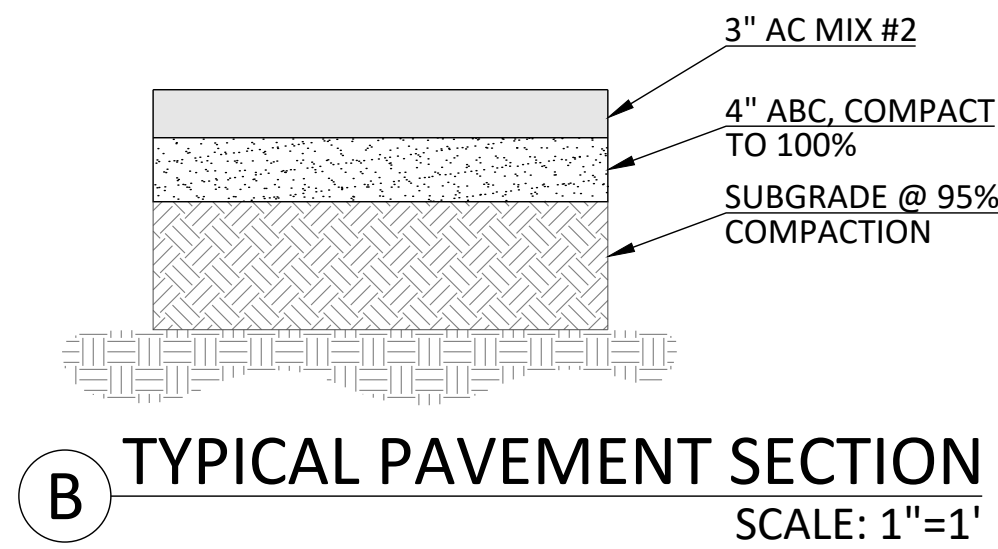
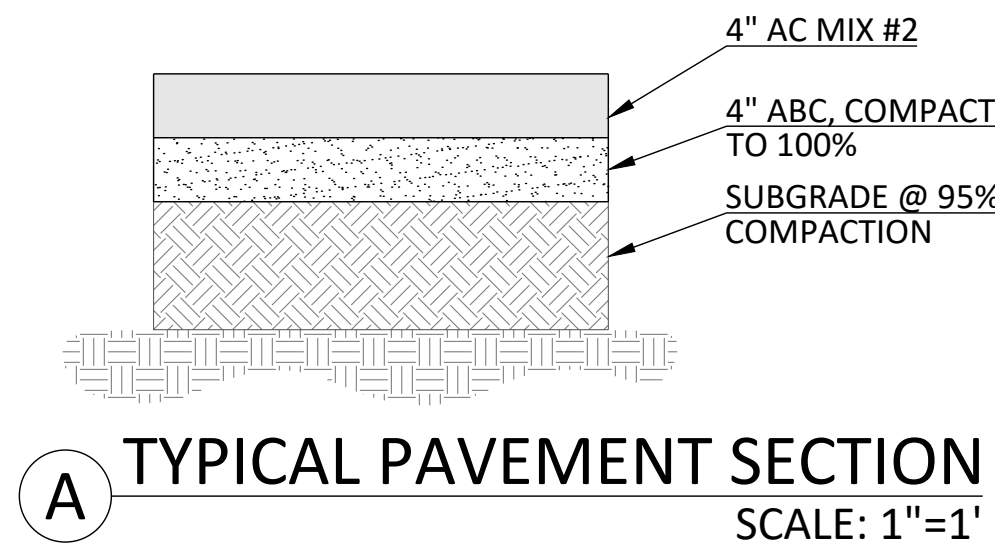
DATE: 03/29/24	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
SCALE: 1"=20'	
C.I.: 1 FOOT	

	RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com
PROJECT NO: 22.061	

16	18
THE GATEWAY AT VISTOSO PRESERVE	



CASE #2301236
REF: #2203155; #2301138; #2301232
DEVELOPMENT CASE #2301236



F ACCESS RAMP DETAILS
SCALE: 1"=5'



DATE: 03/29/24
SCALE: 1"=20'
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com
A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA				DEVELOPMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE details
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