

Proposed Rezoning Northwest of the Tangerine Rd. and Rancho Vistoso Blvd. Intersection - Avilla Rancho Vistoso West

Neighborhood Meeting
December 2, 2021



All participants are
currently on mute with
video off. Host will
provide directions when
meeting starts at 6pm.

Town of Oro Valley

Phone passcode: 066328



Town of Oro Valley

Purpose and Agenda

▶ Applicant's Proposal

- ▶ Rezone from Commercial to High Density Residential
- ▶ ~125 single-story rental homes

▶ Listen and address your concerns

- Brief overview by staff
- Overview by applicant
- YOUR TURN!**
- Next steps
- Opportunities for public participation

Please contact Jessica Hynd, Constituent Services Coordinator, at (520) 229-4711 for additional ZOOM assistance.





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Tonight's Meeting

▶ Goal #1: a fair, efficient and productive meeting

▶ Details:

- ▶ Audio: One speaker unmuted at a time
- ▶ Video: Speaker video on
- ▶ Time: 6 to 7:30 PM

▶ Project information at OVprojects.com

zoom

www.OVprojects.com

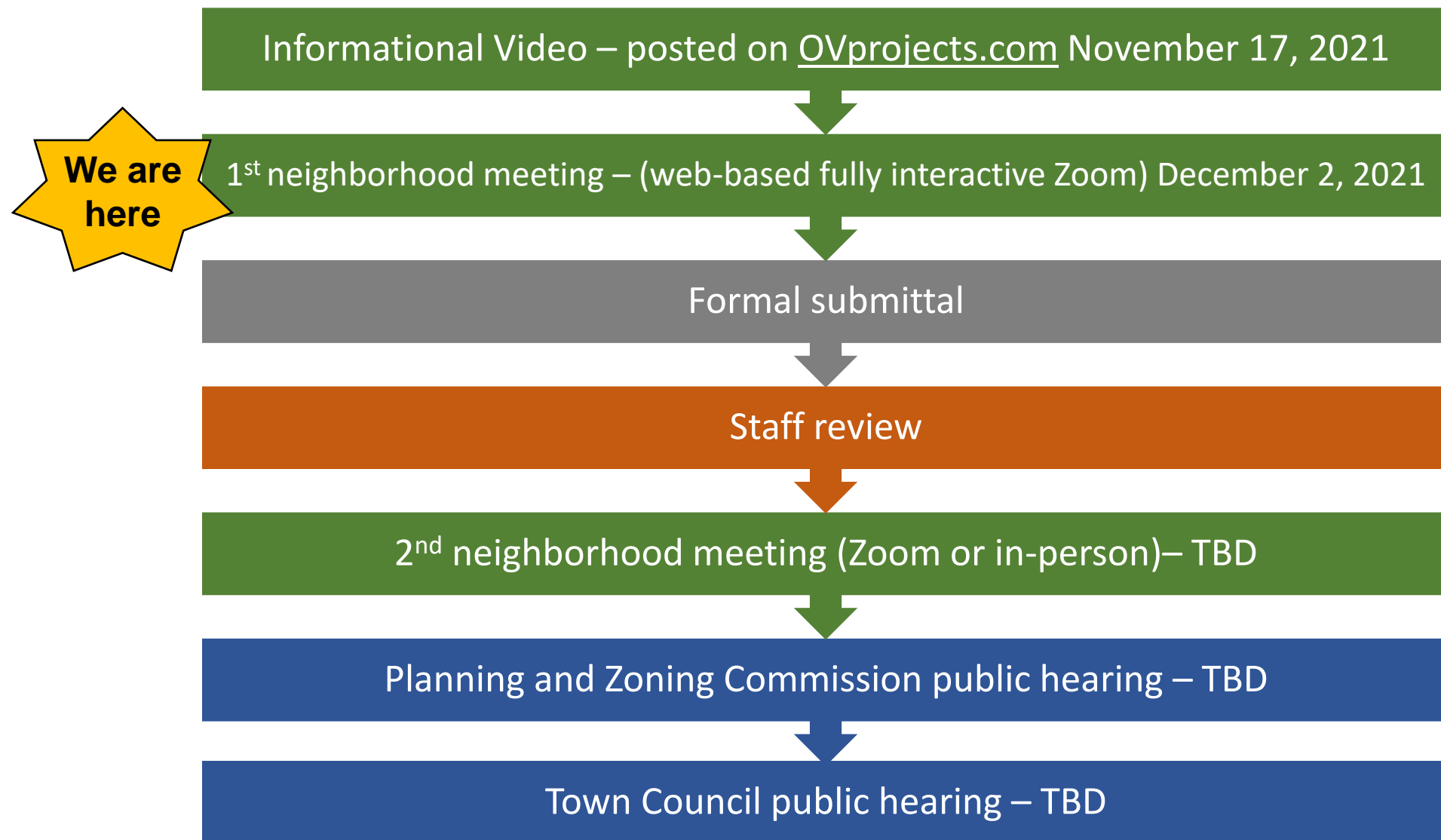
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Process for Proposed Rezoning



Questions?

ask@orovalleyaz.gov

For more information

[OVprojects.com](https://ovprojects.com)

Mesquite Crest
Neighborhood

Horizons
Neighborhood

Big Wash

The Overlook at
Rancho Vistoso

Reflections
Neighborhood

Golder Ranch
Fire Station



Woodburne Ave



Tangerine Rd.

Tangerine Hills

N. 1st Ave.

Rancho Vistoso Planned Area Development

- ▶ Adopted by Town Council in 1987
- ▶ Established existing zoning on subject parcel and surrounding areas



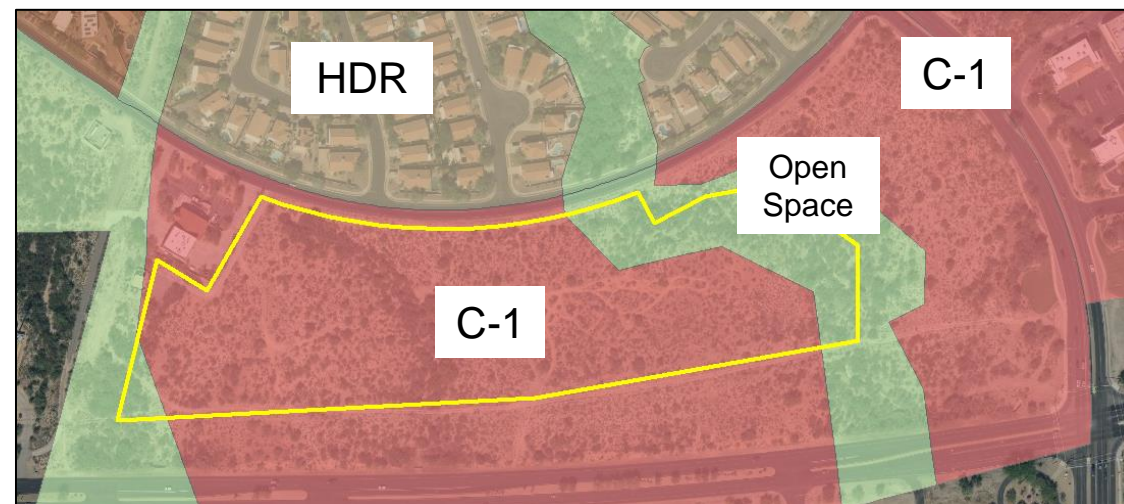


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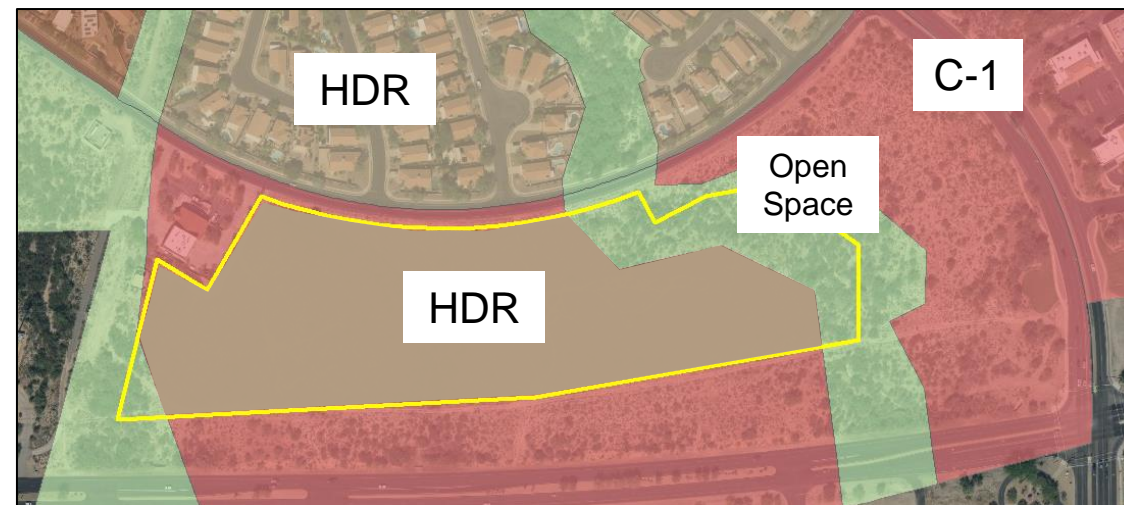
Applicant's Request: Change of Allowed Uses

- ▶ Proposed Rezoning from C-1 Commercial to High Density Residential

Permitted Uses	Proposed Uses
C-1 Commercial	High Density Residential
Grocery Store	Apartments
Retail	Single Family Homes
Restaurant	Attached Townhomes
Offices	Offices



Existing Zoning



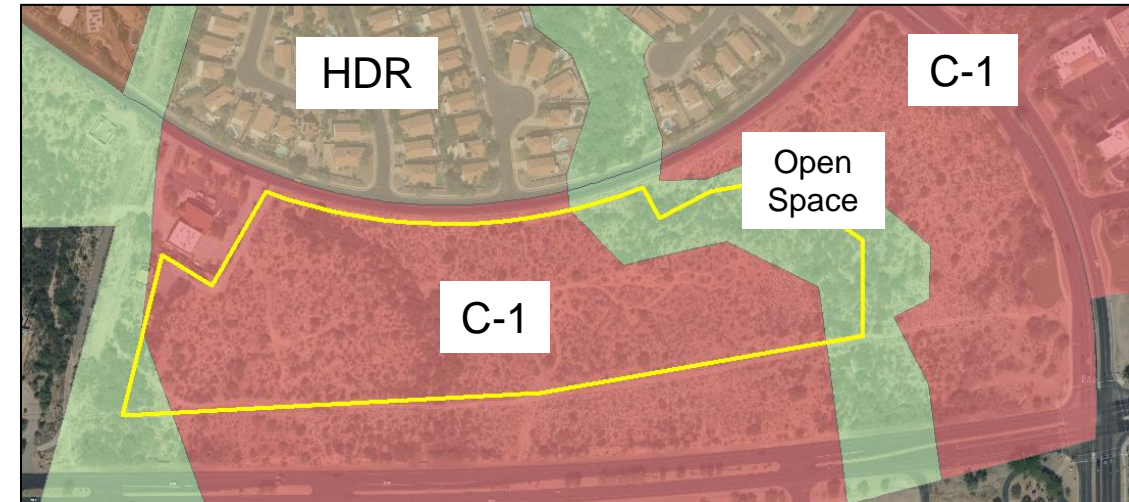
Proposed Zoning



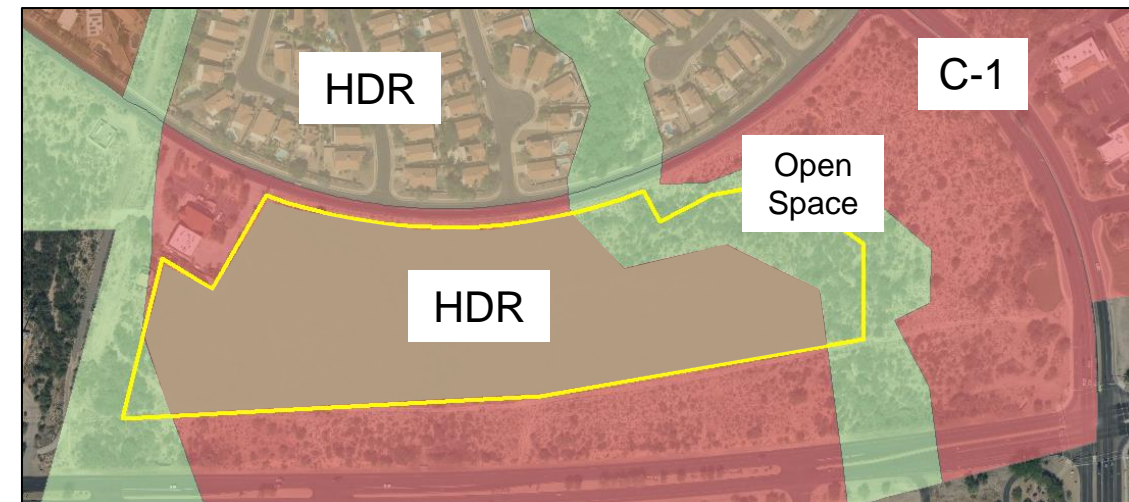
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Applicant's Request: Development Standards Comparison

	Permitted Development Standards	
	C-1 Commercial	High Density Residential
Building Setback from Woodburne Ave.	25-feet	5-feet
Buffer Yard Adjacent to Woodburne Ave.	30-feet	15-feet
Building Height	34-feet, three stories	34-feet, three stories
Open Space Required	10%	30%



Existing Zoning



Proposed Zoning



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Applicant's Request: Proposed Site Plan

- ▶ ~125 rental homes
 - ▶ Single story
 - ▶ One, two, and three bedroom attached and detached homes
- ▶ Recreation area
- ▶ Proposed access from Woodburne Ave., Tangerine Rd., and Rancho Vistoso Blvd.
- ▶ Extensive traffic studies required





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Overall Avilla Rancho Vistoso Development

- ▶ ~215 total rental homes
- ▶ Single story
- ▶ One, two, and three bedroom attached and detached homes





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Key Elements of Review

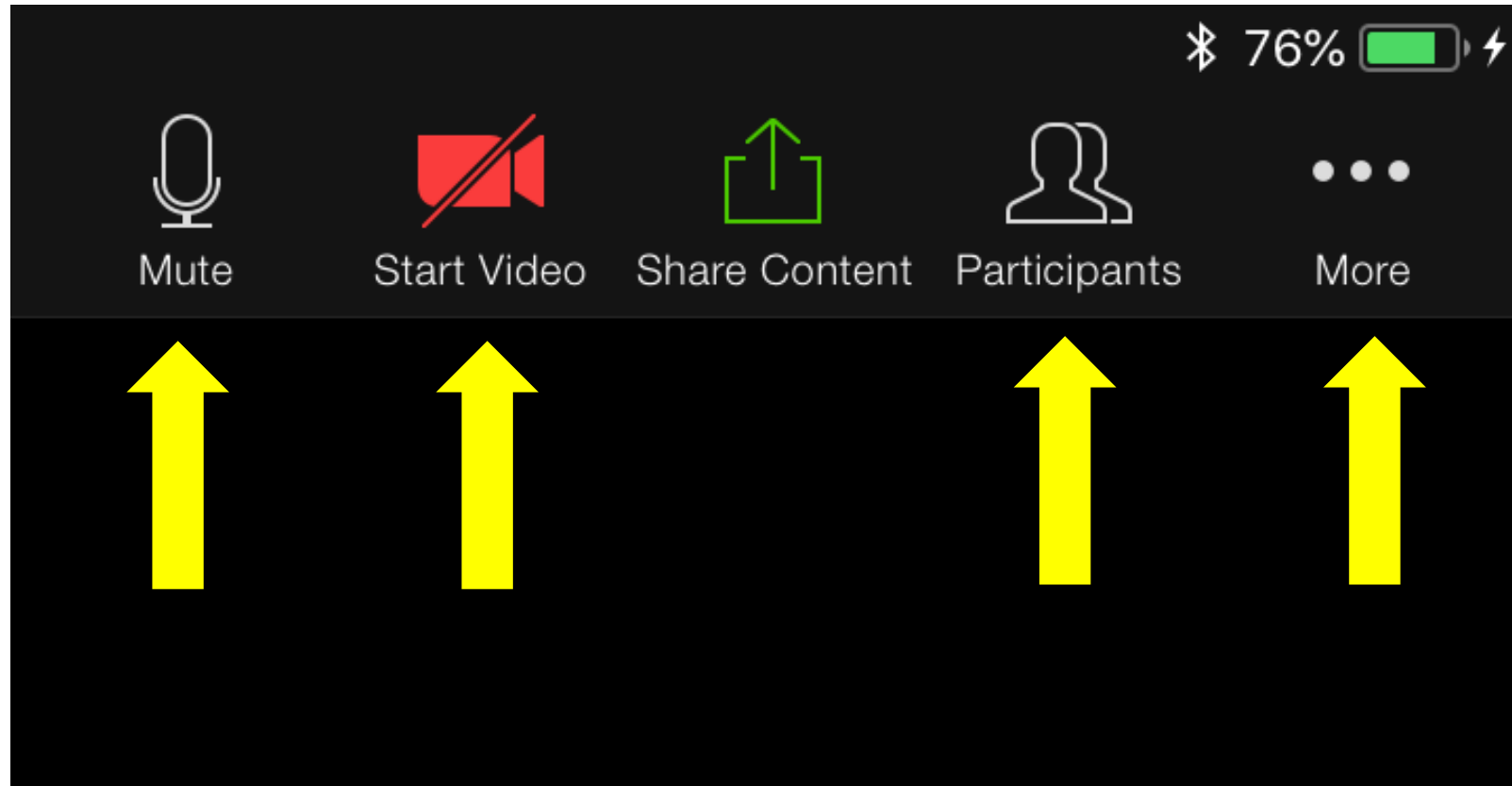
- ▶ General Plan conformance
- ▶ Neighborhood compatibility
- ▶ Grading and drainage
- ▶ Compliance with Zoning Code
- ▶ Traffic and access



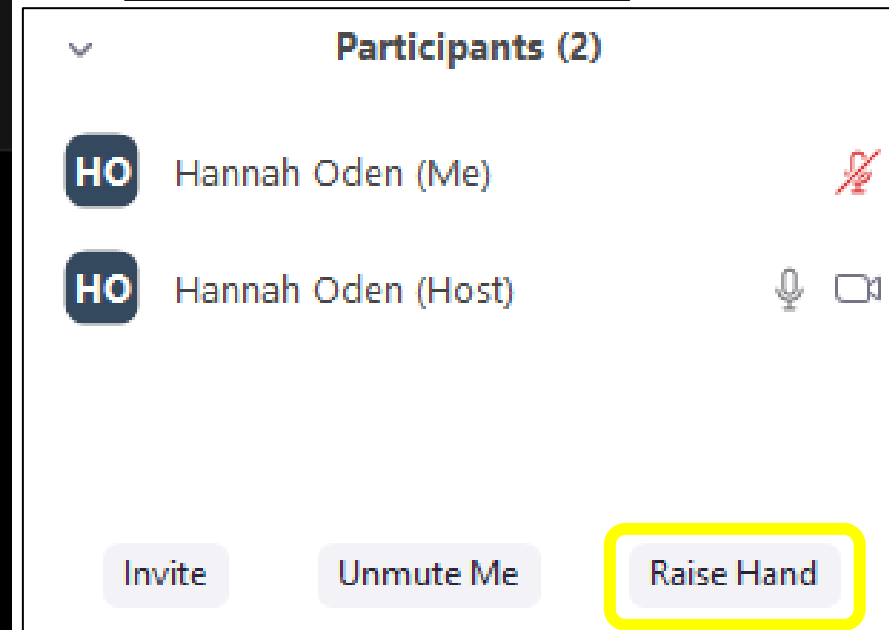


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Zoom – Raising your hand to ask a question



Phone
Raise Hand: *9
Unmute: *6
Passcode: 066328

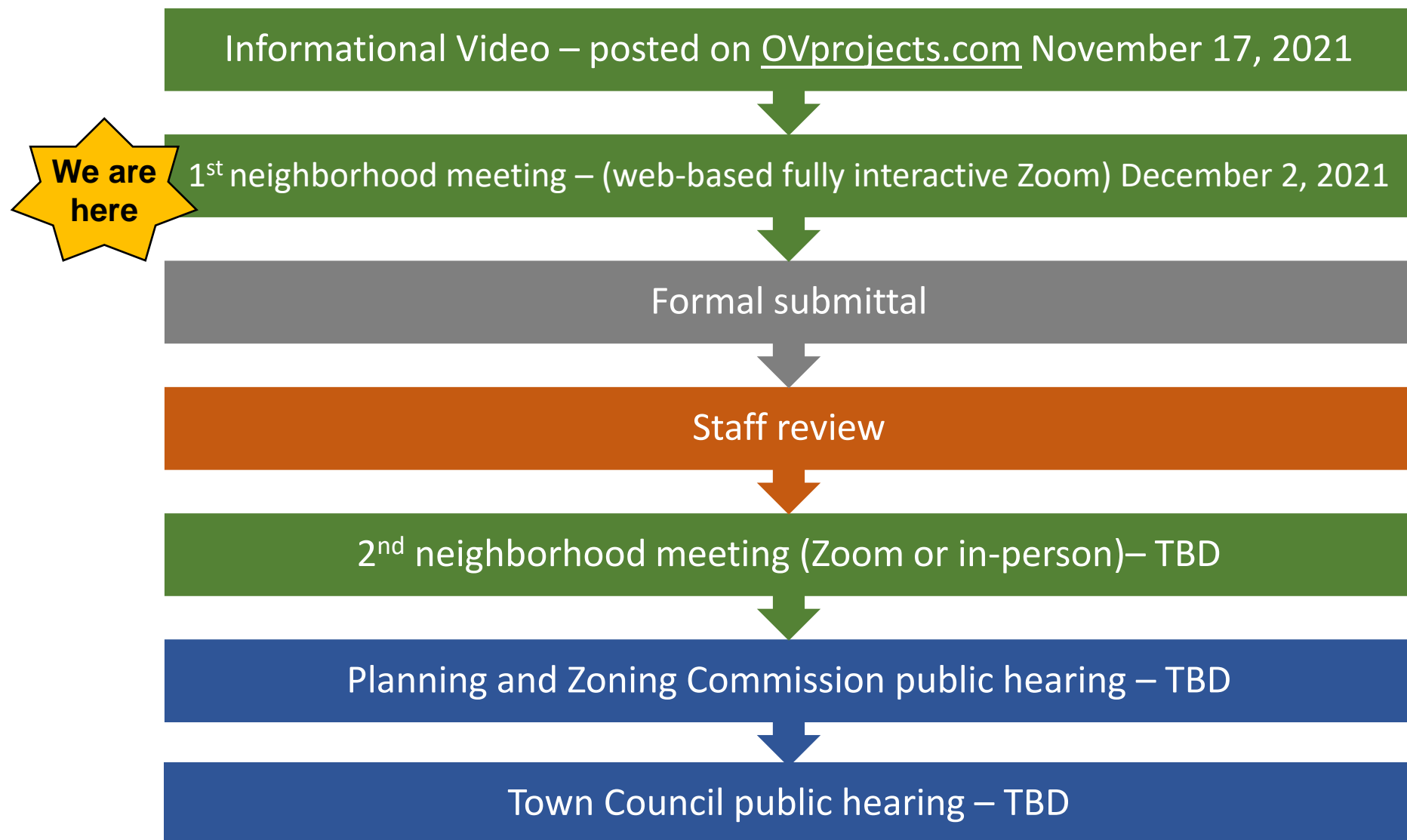


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Staff Contact

Jessica Hynd
Constituent Services Coordinator

Phone: (520) 229-4711

Email: ask@orovalleyaz.gov

www.OVprojects.com

“NW intersection of Tangerine Rd. and Rancho Vistoso Blvd. -
Avilla Rancho Vistoso West- Proposed Rezoning, 2102388”

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