

AS-BUILT CERTIFICATION: (LANDSCAPE)

I HEREBY CERTIFY THAT THE PLANTING AND IRRIGATION HAS BEEN DESIGNED IN ACCORDANCE WITH THE LANDSCAPING AND PLANTING GUIDELINES FOR PUBLIC SEWERS PER PIMA COUNTY RWRD ENGINEERING DESIGN STANDARDS SUBSECTION 7.7

REGISTERED LAND SURVEYOR DATE

REGISTRATION NUMBER EXPIRES

AS-BUILT CERTIFICATION: (PAVING & GRADING)

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR DATE

REGISTRATION NUMBER EXPIRES

AS-BUILT CERTIFICATION: (SEWER)

I HEREBY CERTIFY THAT THE AS-BUILT ANNOTATIONS PROVIDED ON THIS DRAWING WERE BASED ON AN AS-BUILT SURVEY CONDUCTED UNDER MY SUPERVISION AND ACCURATELY DEPICTS EXISTING FIELD CONDITIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR DATE

REGISTRATION NUMBER EXPIRES

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS PROJECT IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 9, T-12-S, R-13-E PER RECORD OF SURVEY RECORDED IN BOOK 75 AT PAGE 99, BEARING = N 89°56'53" W.

BASIS OF ELEVATION

BASIS OF ELEVATION: DESIGNATION LAMB 2N PID UCD0715 CHISELED "X" IS LOCATED ON THE NORTHEAST CORNER OF A CONCRETE PAD FOR A 5.5 FOOT TALL US WEST PEDESTAL APPROXIMATELY 65.5 FEET SOUTH OF LAMBERT LANE AND 96 FEET WEST OF THE CENTERLINE OF SHANNON ROAD. ELEVATION = 2579.09 FEET NAVD 88 DATUM.

BENCHMARK #1

FOUND ALUMINUM CAPPED SURVEY MONUMENT 2 1/2" AT THE INTERSECTION OF NARANJA DRIVE AND LA CHOLLA BOULEVARD. SAID ELEVATION BEING 2696.18 (NAVD 88)

BENCHMARK #2

IS A BRASS CAP SURVEY MONUMENT STAMPED RLS 36235 BEING THE SOUTH QUARTER CORNER OF SECTION 4, SAID ELEVATION BEING 2685.19 (NAVD 88)

ENGINEER'S STANDARD DETAILS DISCLAIMER:

COMPLYING WITH THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION'S SUBSTANTIVE POLICY STATEMENT REGARDING SEALING OF STANDARD DETAILS, THE STANDARD DETAILS USED IN THE DESIGN OF THIS PROJECT HAVE BEEN FORMALLY ADOPTED BY THE AGENCIES THAT PREPARED THEM. IN VIEW OF THEIR LONG HISTORY OF USE, APPLICABILITY, AND/OR SOUNDNESS, THE ENGINEER ACCEPTS THEIR USE FOR THIS PROJECT AND FINDS NO NEED FOR ALTERATION, EXCEPT IN CASES WHERE ITS USE MUST BE MODIFIED BY THE ENGINEER IN ORDER TO WORK WITH PROPOSED DESIGN CONDITIONS. SUCH MODIFICATIONS SHALL BE NOTED ON PLAN AND SEALED BY THE REGISTRANT ACCORDINGLY.

PAG STANDARD DETAILS

103	SURVEY MONUMENT
105	HANDRAIL
107	REMOVABLE POST BARRICADE
200	CONCRETE SIDEWALK
207	CURB ACCESS RAMP
209	CONCRETE CURB - TYPE 2
209	SINGLE VERTICAL
209	CONCRETE CURB - TYPE 2
210	WEDGE
210	CONCRETE CURB TRANSITION
205.5	TYPE 3 SCUPPER
309	TYPE IV CATCH BASIN

PIMA COUNTY RWRD STANDARD DETAILS

104	INSTALL PVC GRAVITY SEWER
108	SEWER/WATER CROSSING DETAILS
205	4" DIAMETER MANHOLE CONFIGURATIONS
211	CONCRETE COLLAR FOR PAVED AREAS
212	CONCRETE COLLAR FOR UNPAVED AREAS
303	NEW MANHOLE OVER EXISTING SEWER LINE
401	HCS CONNECTION TO SEWER LINE
402	HCS CONNECTION TO MANHOLE

OWNER

LA CHOLLA 311 PROPERTY LLC
ATTN: JAMES KAI
PO BOX 2305
CORTARO, AZ 85652
(520) 791-2409
JAMESKAI@KAIENTERPRISES.COM

DEVELOPER

RICHMOND AMERICAN HOMES
ATTN: PAULA HINMAN
3091 W. INA ROAD
TUCSON, AZ 85741
(520) 229-5432
PAULA.HINMAN@MDOCH.COM

ENGINEER

THE WLB GROUP, INC.
444 E. BROADWAY BLVD.
TUCSON, AZ 85711
(520) 881-7480
ATTN: DAVID LITTLE, PE
DLITTLE@WLBGROUP.COM

ENGINEER'S EARTHWORK ESTIMATE

CUT: 20,507 C.Y.
FILL: 17,843 C.Y.
NET (CUT): 541 C.Y. EXPORT
QUANTITIES ARE APPROXIMATE AND REFLECT 20% SHRINK APPLIED TO FILL. 0.10' GROUND LOSS (2.213 C.Y.) ASSUMED. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

ACCEPTED

BY:

PLANNING & ZONING ADMINISTRATOR

DATE

BY:

TOWN OF ORO VALLEY WATER UTILITY DIRECTOR

DATE

ACCEPTED

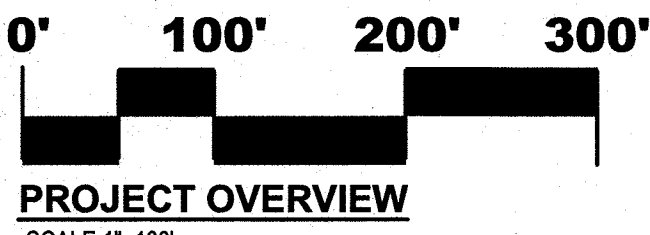
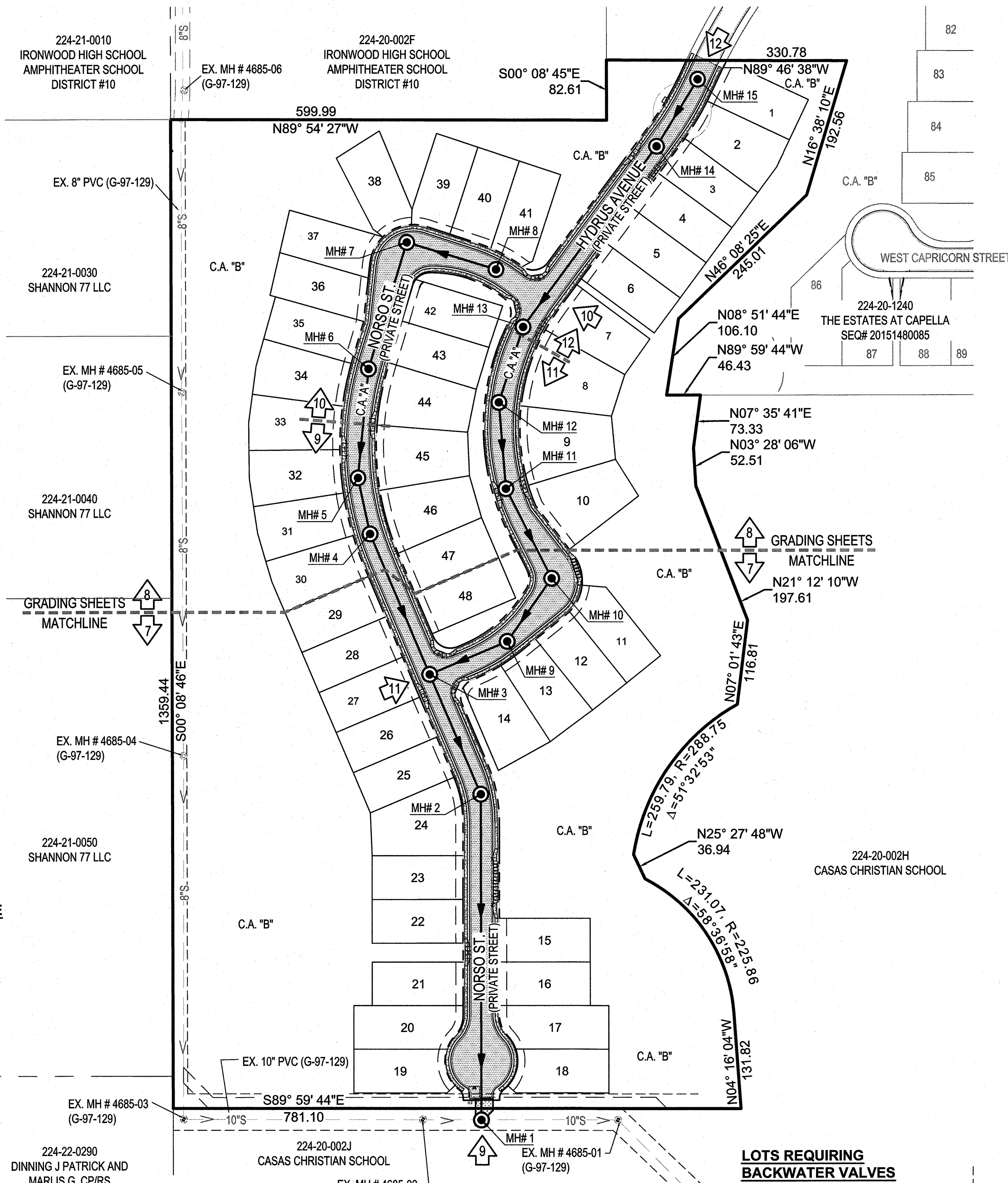
TOWN OF ORO VALLEY, TOWN ENGINEER

DATE

IMPROVEMENT PLAN AND FOR SEWER LOCATION ONLY

ADMINISTRATIVE ADDRESS

FINAL SITE PLAN, GRADING PLAN, AND
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN FOR
CAPELLA PARCEL M

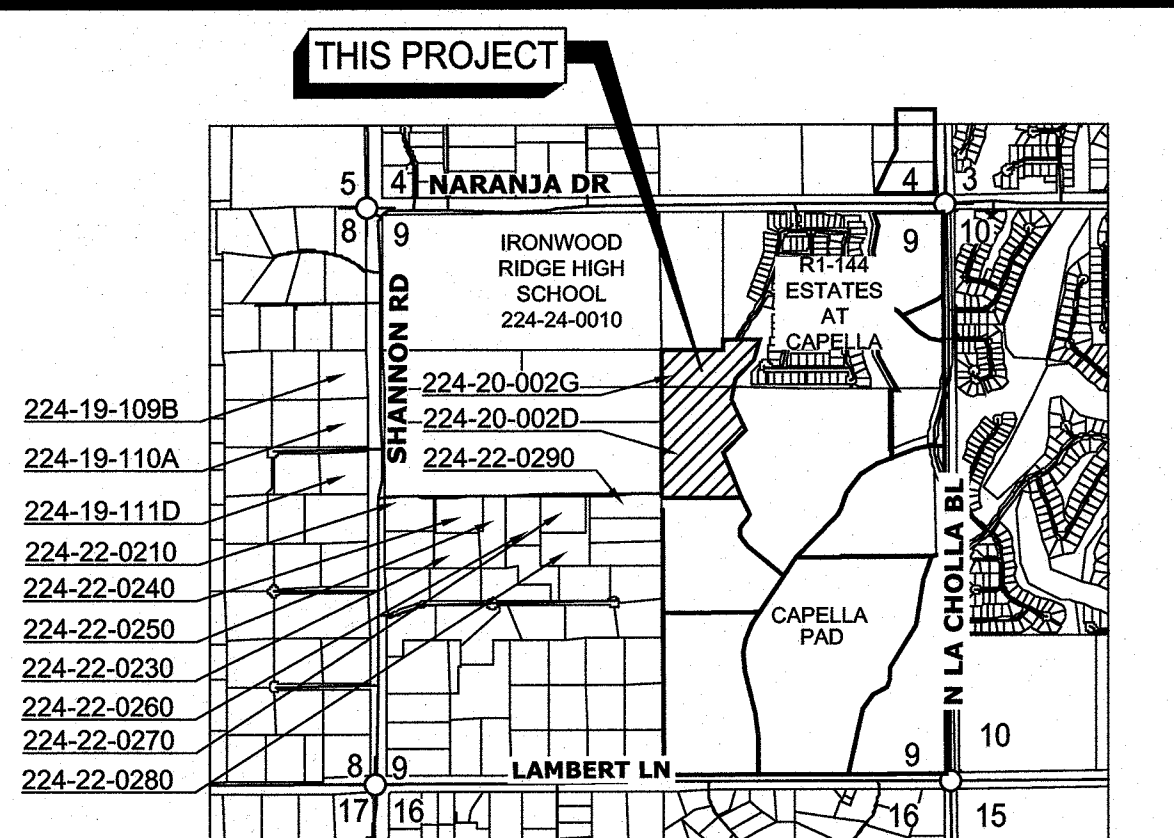


LOTS REQUIRING
BACKWATER VALVES

17, 18, AND 19

SHEET INDEX

1. COVER SHEET
2. GENERAL NOTES AND E.S.O.S. CALCULATIONS
3. IMPROVEMENT PLAN NOTES
4. DETAILS
5. DETAILS AND DRAINAGE TABLES
6. HORIZONTAL CONTROL PLAN
- 7-8. GRADING PLAN
- 9-12. SEWER, PAVING AND STORM DRAIN PLAN



LOCATION MAP

A PORTION OF THE NORTHEAST QUARTER OF SECTION 9,
T. 12 S., R. 13 E., G&SRB, TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA
SCALE: 3"=1 MILE

LEGEND

EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED 100-YEAR FLOODPLAIN LINE
PROPOSED EROSION HAZARD SETBACK LINE

SECTION LINE
PROJECT BOUNDARY
PROPOSED RIGHT-OF-WAY
PROPOSED LOT LINE
EASEMENT LINE AS NOTED
SIGHT VISIBILITY TRIANGLE (SVT)

EXISTING PAVEMENT
EXISTING FENCE
PROPOSED CULVERT
EXISTING PUBLIC SEWER LINE & MANHOLE
EXISTING PUBLIC WATERLINE & VALVE

NEW PUBLIC SEWER LINE & MANHOLE
NEW HCS & CLEANOUT

PROPOSED PUBLIC WATERLINE & VALVE
PROPOSED WATER METER
PROPOSED PUBLIC WATERLINE BENDS
PROPOSED FIRE HYDRANT
PROPOSED TEP EQUIPMENT
PROPOSED STORM DRAIN W/CATCH BASIN
PROPOSED ROCK RIPRAP

PROPOSED ASPHALT PAVEMENT
PROPOSED STABILIZED TREATMENT

TOP OF SLOPE (SLOPES < 3:1 UNLESS NOTED)
BOTTOM OF SLOPE
PROPOSED CONCRETE VERTICAL CURB
PROPOSED CONCRETE WEDGE CURB
PROPOSED CONCRETE SIDEWALK
PROPOSED CURB ACCESS RAMPS

FFE: PROPOSED FINISHED FLOOR ELEVATION
FPE: PROPOSED FINISHED PAD ELEVATION
SHEET MATCH LINE

CONCENTRATION POINT
FLOW DIRECTION
CHANNEL SECTION

DTL. NO. TYPICAL CROSS SEC. CALL OUT
SHT. NO.

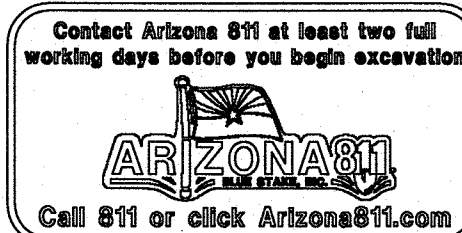
GRADING LIMITS
ALL WEATHER DRIVABLE SURFACE

LOT GRADING TYPE
NEW SURVEY MONUMENT
SECTION CORNER OR 1/4 SECTION CORNER

BENCHMARK
GRADE BREAK (GB/HP/LP)
DRIVEWAY SIDE FOR SLOPED LOT/ROAD
BACKWATER VALVE

SHEET NUMBER DESIGNATION

PROPOSED RETAINING WALL
PROPOSED BANK PROTECTION



PROJECT NO:
RELATED CASE #s
OV1601793

The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.
444 East Broadway
Tucson, Arizona (520) 881-7480

CAPELLA PARCEL M

LOTS 1 THRU 48 AND COMMON AREAS A & B
A PORTION OF SECTION 9, T12S, R13E, G&SRB TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title

COVER SHEET
FINAL SITE PLAN, GRADING PLAN,
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File:Q:\110028A-008 Parcel M Platting\04 Platting\04 FSP\01-CAP_M-CVR.dwg Plot Date:1/31/2020 12:46 PM By:ddame

No.

Date

Item

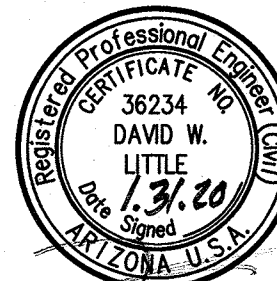
Scale

Job No. 110028-A-008

Date JANUARY 2020

Designed By DVD/GJG

Checked By DWL



Sheet 1
of 12

AC	ASPHALTIC CONCRETE (MIX NO.2)
ANG PT	ANGLE POINT
BCSM	BRASS CAP SURVEY MONUMENT
BVC	BEGIN VERTICAL CURVE
BW	BOTTOM OF WALL
C.A.	COMMON AREA
CFS	CUBIC FEET PER SECOND
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CP	CONCENTRATION POINT
CTRL	CONTROL
D	DEFLECTION
DG	DECOMPOSED GRANITE
DKT	DOCKET
DTL	DETAIL
EG	EXISTING GRADE
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EVC	END VERTICAL CURVE
EXIST/EX	EXISTING
FD	FOUND
FFE	FINISHED FLOOR ELEVATION
FG	FINAL GRADE
FPE	FINISHED PAD ELEVATION
GB	GRADE BREAK
HP	HIGH POINT
HT or H	HEIGHT
INV	INVERT
L	LENGTH
LF	LINEAR FEET
LP	LOW POINT
LT	LEFT
MH/SMH	MANHOLE
MAX	MAXIMUM
MIN	MINIMUM
P.A.D.	PLANNED AREA DEVELOPMENT
PAG	PIMA ASSOCIATION OF GOVERNMENTS
PC	POINT OF CURVATURE
PG	PAGE
PI	POINT OF INTERSECTION
PROP	PROPOSED
PT	POINT OF TANGENCY
R	RADIUS
RAW	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
REINF	REINFORCED
RT	RIGHT
S	SLOPE
SD-1	STORM DRAIN RUN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHT	SHEET
SM-1	SEWER MAIN RUN
SRP	SPIRAL RIBBED PIPE
STA	STATION
SVT	SIGHT VISIBILITY TRIANGLE
THK	THICK/THICKNESS
TW	TOP OF WALL
TYP	TYPICAL
W	WIDTH
WSEL	WATER SURFACE ELEVATION
WWF	WELDED WIRE FABRIC

ABBREVIATION

GENERAL NOTES

- THE GROSS AREA OF THIS DEVELOPMENT IS 26.09 ACRES. (ASSESSORS PARCEL #S 224-20-002D AND 224-20-002K.
- THE PROPOSED NUMBER OF RESIDENTIAL UNITS IS 48.
- TOTAL LENGTH OF NEW PUBLIC STREET IS 0.00 MILES.
- TOTAL LENGTH OF NEW PRIVATE STREET IS 0.47 MILES.
- ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING, AND REVEGETATION BONDS MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
- ALL NEW RIGHTS OF WAY WILL BE DEDICATED BY FINAL PLAT.
- GROSS AREA OF IMPERVIOUS SURFACES IS 95,240 SF
- CAPELLA PAD, UNDERLINING ZONING DISTRICT R1-7.
- SEE TABLE II-2-B-1 ON THIS SHEET FOR OPEN SPACE REQUIREMENTS AND PROVISIONS.
- THE TOTAL AREA OF LANDSCAPED AND/OR OPEN SPACE COMMON AREA PROVIDED IS 523,214 SF (12.01 AC).
- THE MINIMUM LOT SIZE IS 7,500 S.F. THE MAXIMUM LOT SIZE IS 10,814. (LOT #9). THE AVERAGE LOT SIZE IS 8,186 S.F.
- ALL DISTURBED AREAS WITHIN THE RESOURCE MANAGEMENT TIER TWO ENVELOPE SHALL BE RE-VEGETATED BACK TO NATURAL CONDITIONS USING PLANTS ON THE TOWN OF ORO VALLEY APPROVED NATIVE PLANT LIST, PER THE APPROVED TENTATIVE DEVELOPMENT PLAN.

ENGINEERING GENERAL NOTES

- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF ROADWAY SURFACE.
- FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
- ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.
- THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR PRIVATE ROADS IS 25 MPH. THE DESIGN SPEED FOR SHANNON ROAD IS 45 MPH.
- ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

DRAINAGE GENERAL NOTES

- DEVELOPER WILL COVENANT TO HOLD THE TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
- DRAINAGE WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
- DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO TOWN STANDARDS AND PAID FOR BY THE DEVELOPER.
- ALL DRAINAGE STRUCTURES MUST BE DESIGNED TO CONVEY A Q100 FLOW.
- ALL DRAINAGE FACILITIES WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FROM THE BUILDING OFFICIAL FOR ALL AFFECTED BUILDINGS.
- THE DEVELOPER WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY AND LIABILITY OF PRIVATE DRAINAGEWAYS, DRAINAGE EASEMENTS, AND COMMON AREAS UNTIL OWNERSHIP IS TRANSFERRED TO THE HOA.
- ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR OUTLINE ON THE DEVELOPMENT PLAN.
- DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND THE MANNER EXISTING PRIOR TO DEVELOPMENT.
- DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY THE PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
- DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
- PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED, AND A SUMMARY REPORT PREPARED A MINIMUM OF ONCE EACH YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED, AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED CIVIL ENGINEER A MINIMUM OF ONCE EACH FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE 5-YEAR ANNUAL INSPECTIONS REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST. THE REPORT SHALL IDENTIFY THE MAINTENANCE NEEDS FOR THE NEXT 5-YEAR PERIOD., INCLUDING ANTICIPATED ANNUAL COSTS OF MAINTENANCE AND REPAIR.

ORO VALLEY WATER GENERAL NOTES

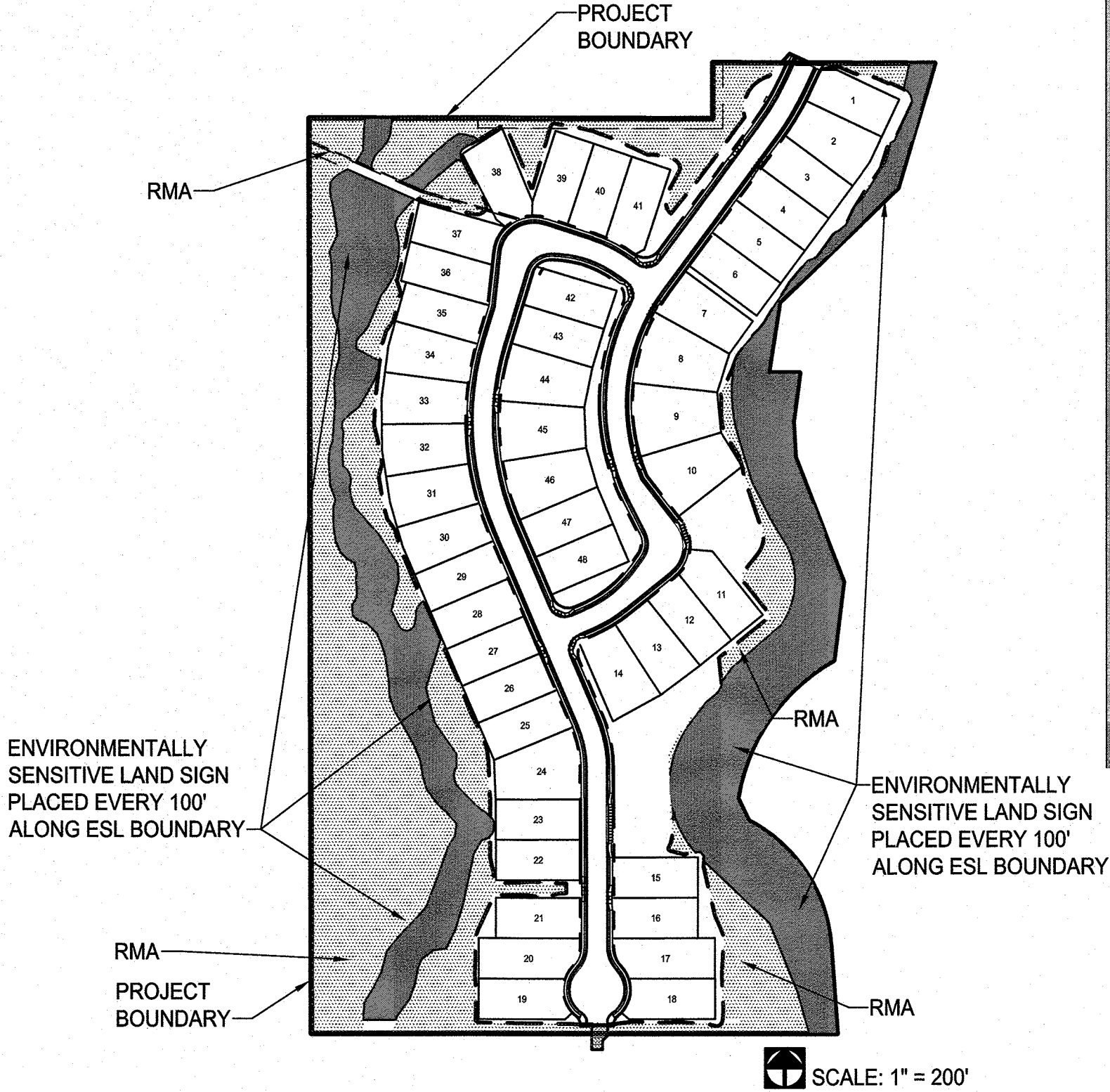
- THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
- THE TOWN OF ORO VALLEY HAS BEEN DESIGNATED BY THE ARIZONA DEPARTMENT OF WATER RESOURCES AS HAVING AN ASSURED WATER SUPPLY, PURSUANT TO A.R.S. 45-576, AND WILL SERVE THIS DEVELOPMENT.
- A LINE EXTENSION AGREEMENT FOR THIS PROJECT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE.
- WATER INFRASTRUCTURE SHOWN IS NOT NECESSARILY THE FINAL DESIGN. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO ORO VALLEY WATER UTILITY FOR REVIEW AND APPROVAL.
- ORO VALLEY UTILITY WILL BE THE WATER SERVICE PROVIDER.

WASTEWATER GENERAL NOTES

- PROJECT IS IN CONFORMANCE WITH SECTION J, WASTEWATER, OF THE PIMA COUNTY DEVELOPMENT PLAN REQUIREMENTS AS REFERENCED IN 18.71.030.A.
- ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- THE ON-SITE SANITARY SEWAGE COLLECTION LINES WILL BE PUBLIC AND DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS. ALL BUILDING CONNECTION SEWERS WILL BE PRIVATELY MAINTAINED.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- CONSTRUCTION AUTHORIZATION FROM THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE CONSTRUCTION AUTHORIZATION.

GOLDER RANCH FIRE GENERAL NOTES

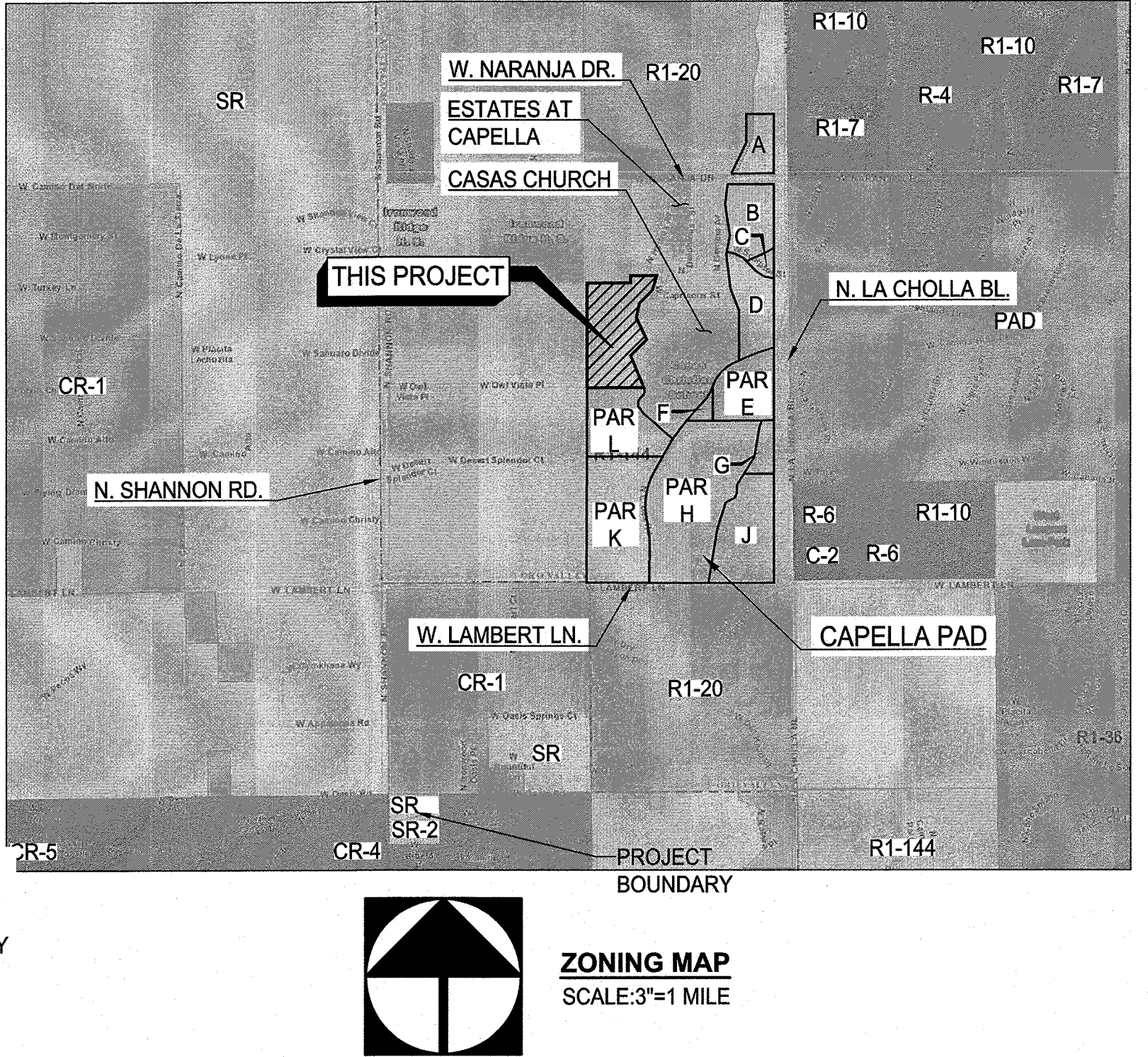
- FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1000 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
- APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
- APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED FOR ALL GROUP A, B, E, F, H, I, M, R, AND S OCCUPANCIES FOR EVERY FACILITY. BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION. APPROVED AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED THROUGHOUT ALL ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES USED AS MODEL HOMES WITH SALES OR CONSTRUCTION OFFICES, AND ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WHICH EXCEED 3,600 SQUARE FEET IN FIRE FLOW CALCULATION AREA HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
- EXCEPTION: GROUP R-3 OCCUPANCIES ARE NOT REQUIRED TO INSTALL AUTOMATIC SPRINKLER SYSTEMS WHEN ALL OF THE FOLLOWING EXIST:
 - GROUP R-3 OCCUPANCIES PROVIDING THE REQUIRED FIRE FLOW IN ACCORDANCE WITH SECTION B105 AND TABLES B105.1 (1) AND B105.1 (2)
 - GROUP R-3 OCCUPANCIES WITHIN 600 FEET (182.880M) OF FIRE HYDRANTS CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW.
 - GROUP R-3 OCCUPANCIES IN COMPLIANCE WITH SECTION D106 AND D107.
- TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
- THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.




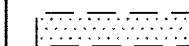
PERMITTING DIVISION-BUILDING CODES

THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- 2012 INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- 2012 TOWN OF ORO VALLEY POOL CODE
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED.



E.S.O.S. CALCULATIONS FOR ENTIRE PROJECT

E.S.O.S. CATEGORY	EXISTING AREA	REQUIRED AREA (PER REZONING)	PROVIDED ESOS THIS PROJECT
 CRITICAL RESOURCE AREA	191,664 SQ. FT. (4.4 AC.)	95% OF TOTAL C.R.A. 182,952 SQ. FT. (4.2 AC.)	182,952 SQ. FT. (4.2 AC.)
 RESOURCE MANAGEMENT AREA 2	853,776 SQ. FT. (19.6 AC.)	25% OF TOTAL R.M.A. 2 213,444 SQ. FT. (4.9 AC.)	239,580 SQ. FT. (5.5 AC.)

NOTE: DEED RESTRICTIONS ARE REQUIRED FOR ALL ESOS AREAS, IN ACCORDANCE WITH TOWN OF ORO VALLEY ZONING CODE 27.10.E.3.

Table II-2-B-1: ESOS Calculations									
Ltr.	Use	Existing	Provided (95% Req'd.)	Existing	Provided (25% Req'd.)	Existing	Existing Roadways Designated as ESOS	Open Space Provided	Overall Parcel
A	C-N	1.3 ac.	1.3 ac. (100%)	6.9 ac.	0.0 ac.	0.0 ac.	0.0 ac.	1.3 ac. (16%)	8.2 ac.
B	C-1	2.0 ac.	1.9 ac. (95%)	10.0 ac.	0.0 ac.	0.0 ac.	0.2 ac.	1.9 ac. (16%)	12.2 ac.
J	C-1	2.9 ac.	2.8 ac. (97%)	16.0 ac.	0.0 ac.	0.0 ac.	0.0 ac.	2.8 ac. (15%)	18.9 ac.
D	HDR	3.8 ac.	3.6 ac. (95%)	8.6 ac.	2.2 ac.	0.6 ac.	1.0 ac.	5.8 ac. (41%)	14.0 ac.
E	HDR	3.6 ac.	3.4 ac. (94%)	13.9 ac.	3.5 ac.	0.3 ac.	1.2 ac.	6.9 ac. (36%)	19.0 ac.
H	MDR	10.2 ac.	9.8 ac. (96%)	40.9 ac.	11.6 ac.	0.0 ac.	1.7 ac.	21.4 ac. (41%)	52.8 ac.
K	LDR	3.4 ac.	3.2 ac. (94%)	22.6 ac.	6.4 ac.	0.0 ac.	1.4 ac.	9.6 ac. (35%)	27.4 ac.
L	LDR	3.2 ac.	2.9 ac. (91%)	11.1 ac.	3.1 ac.	6.3 ac.	0.4 ac.	6.0 ac. (29%)	21.0 ac.
M	LDR	4.4 ac.	4.2 ac. (95%)	19.6 ac.	5.5 ac.	0.0 ac.	0.0 ac.	9.7 ac. (40%)	24.0 ac.
C	Rec.	0.2 ac.	0.2 ac. (100%)	1.6 ac.	1.6 ac.	0.0 ac.	0.3 ac.	1.8 ac. (86%)	2.1 ac.
F	Rec.	0.0 ac.	0.0 ac. (n/a)	2.9 ac.	2.9 ac.	0.0 ac.	0.7 ac.	2.9 ac. (81%)	3.6 ac.
G	Rec.	1.5 ac.	1.4 ac. (93%)	2.3 ac.	2.3 ac.	0.0 ac.	0.0 ac.	3.7 ac. (97%)	3.8 ac.
Totals:		36.5 ac.	34.7 ac. (95%)	156.4 ac.	39.1 ac. (25%)	7.2 ac.	6.9 ac.	73.8 ac. (36%)	207.0 ac.

Notes:

- Individual parcel R.M.A. ESOS totals may be adjusted as long as the PAD's overall R.M.A. ESOS totals are achieved.
- Reductions or increases to individual parcel R.M.A. ESOS requirements may be approved by the Planning and Zoning Administrator, subject to the following:
 - Property owners approval; and
 - Applicant must demonstrate how rebalance of R.M.A. ESOS will be achieved.
- CRA percentages as shown are permitted as long as 95% is maintained for the overall PAD area.

CAPELLA PARCEL M

LOTS 1 THRU 48 AND COMMON AREAS A & B

A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title

GENERAL NOTES AND ESOS CALCULATIONS

FINAL SITE PLAN, GRADING PLAN, PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File:Q:\110028\A-008 Parcel M Platting\04 Platting\04 FSP\02-CAP_M-GEN.dwg Plot Date:1/31/2020 12:47 PM By:ddame

No.

Date

Item

Scale

Job No. 110028-A-008

Date JANUARY 2020

Designed By DWD/GJG

Checked By DWL



Sheet

2

of

12

GENERAL PAVING/GRADING NOTES:

1. ALL MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PIMA ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PAG SSP), EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
2. ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PAGSSPI, EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
3. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO P.A.G. SSPI, SECTION 203-5. EARTHWORK, EXCEPT AS MODIFIED BY THE SOILS REPORT OF RECORD, SHALL CONFORM TO P.A.G. SSPI SECTION 203.
5. AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI, SECTION 303.
6. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 406, ASPHALTIC CONCRETE MIXTURE NO. 2 SPECIFICATIONS.
7. ALL CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
8. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
10. CONTRACTOR SHALL CALL BLUE STAKE (ARIZONA 811) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, A MINIMUM OF TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION.
11. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
12. CONTRACTOR SHALL INSTALL STREET SIGNS IN ACCORDANCE WITH THE TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS - SIGNAGE POLICY.
13. PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLES AND CLEANOUT RINGS AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
15. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
16. ALL STATIONING SHOWN ON PLAN AND PROFILE ARE ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE NOTED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER AND IS A DEFINITE PART OF THIS PROJECT.
18. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
A. WALLS(S), RETAINING OR OTHER TYPE(S).
B. ANY REINFORCED CONCRETE STRUCTURE(S).
C. ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE.
THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
19. THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN THEY SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. THEY SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR THEIR SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
20. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
21. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH A.D.E.Q. STORMWATER POLLUTION PREVENTION PERMITS IN ACCORDANCE WITH THE REPORT AND POLLUTION PLANS PREPARED BY THE ENGINEER. THE COST THEREOF TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
22. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN +0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE ENGINEER.
23. A REPORT OF SOILS INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURE HAS BEEN PREPARED BY WRIGHT ENGINEERS DATED DECEMBER 2018, JOB # 182916. ALL EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS MADE THERETO.
24. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING, THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, IS TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
25. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
26. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
27. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCRORACHING OR AFFECTING - DIRECTLY OR INDIRECTLY - ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS (OR) ON THIS PLAT.
28. THE PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT AS-BUILT RECORD DRAWINGS AND

GENERAL PAVING/GRADING NOTES (CONT.)

29. CERTIFY IN WRITING THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS IN WRITING AND THE AS-BUILT RECORD DRAWINGS ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY A MINIMUM OF TWO (2) WEEKS PRIOR TO THE REQUEST FOR CERTIFICATES OF OCCUPANCY AND/OR FINAL INSPECTION BY THE DEPARTMENT OF PUBLIC WORKS AND THE RELEASE OF ASSURANCES, EXCEPT FOR MODEL HOMES INTENDED TO BE USED FOR SALES PURPOSES. IF THE PROJECT IS PHASED THE ABOVE PERTAINS TO EACH PHASE
30. THE TOWN OF ORO VALLEY WILL, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS AND FINAL PLAT, PERFORM A FIELD REVIEW OF THE DEVELOPMENT, FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW.
31. ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION. ANY PROPOSED REVISION OR MODIFICATION TO THIS APPROVED PLAN SHALL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL PRIOR TO SUCH CHANGES BEING MADE IN THE FIELD.
32. (DELETED)
33. LANDSCAPING SHALL BE LIMITED IN AREAS WHERE STORM DRAIN PIPES AND STRUCTURES ARE LOCATED. (DELETED)
34. (DELETED)
35. ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27-SECTION 27.9 OF THE ORO VALLEY ZONING CODE REVISED, YEAR 2005.
36. ALL GENERAL NOTES, SITE DESIGN, AND CONDITIONS OF OV1900400 FINAL SITE PLAN AND LANDSCAPE PLAN APPROVAL APPLY.
37. ALL EXPOSED CUT SLOPES SHALL BE TREATED WITH A RESTORATIVE AGENT AND REVEGETATED TO REFLECT EXISTING NATIVE VEGETATION AND DENSITIES IN ADJACENT NATURAL AREAS. ALL AREAS OF DISTURBANCE SHALL BE RECONTOURED TO MIMIC EXISTING GRADES, PER THE APPROVED GRADING EXCEPTION.

OWNER

LA CHOLLA 311 PROPERTY LLC
ATTN: JAMES KAI
PO BOX 2305
CORTARO, AZ 85652
(520) 791-2409
JAMESKAI@KAIENTERPRISES.COM

DEVELOPER

RICHMOND AMERICAN HOMES
ATTN: PAULA HINMAN
3091 W. INA ROAD
TUCSON, AZ 85741
(520) 229-5432
PAULA.HINMAN@MDCH.COM

GENERAL WASTEWATER NOTES:

1. ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
2. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE 1991-140, AS AMENDED).
3. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT.
4. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.

GENERAL UTILITY NOTES:

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE BUILDING PERMITS.

PUBLIC SEWER GENERAL NOTES:

1. THE BASIS OF ELEVATION: DESIGNATION LAMB 2N PD UCD0715 CHISELED "X" IS LOCATED ON THE NORTHEAST CORNER OF A CONCRETE PAD FOR A 5.5 FOOT TALL US WEST PEDESTAL APPROXIMATELY 65.5 FEET SOUTH OF LAMBERT LANE AND 96 FEET WEST OF THE CENTERLINE OF SHANNON RD. ELEVATION= 2579.09 FEET NAVD 88 DATUM.
BENCHMARK #1:
FOUND ALUMINUM CAPPED SURVEY MONUMENT 2 ½ " AT THE INTERSECTION ON NARANJA DRIVE AND LA CHOLLA BOULEVARD. SAID ELEVATION BEING 2696.18 (NAVD 88).
BENCHMARK #2:
IS A BRASS CAP SURVEY MONUMENT STAMPED RLS 36235 BEING THE SOUTH QUARTER CORNER OF SECTION 4, SAID ELEVATION BEING 2685.19 (NAVD 88).
2. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 12 SOUTH, RANGE 13 EAST, G&SR, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA. SAID BEARING BEING N89°56'53"E.
3. ALL DESIGN STANDARDS, MATERIALS AND WORKMANSHIP FOR PUBLIC SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCRWDR) ENGINEERING DESIGN STANDARDS (EDS 2016) AND THE STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION 2016 (SSDC 2016). SAID DOCUMENTS ARE AVAILABLE THROUGH THE PCRWDR WEBSITE (www.pima.gov/wastewaterreclamation).
4. ONLY APPROVED PLANS SHALL BE USED FOR THE CONSTRUCTION OF PUBLIC SANITARY SEWER FACILITIES. APPROVED PLANS REQUIRING DESIGN REVISIONS SHALL BE RESUBMITTED TO PIMA COUNTY FOR REVIEW AND RE-APPROVAL PRIOR TO THE START OF THE REVISED SEWER WORK.
5. SEWER CONSTRUCTION SHALL NOT COMMENCE UNTIL: (A) THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) OR ITS DELEGATED AUTHORITY HAS ISSUED A CONSTRUCTION AUTHORIZATION FOR THIS PROJECT; (B) THE CONTRACTOR HAS OBTAINED A PCRWDR PUBLIC SEWER CONSTRUCTION PERMIT (CONTACT THE PCRWDR PERMITS SECTION AT (520) 724-6649 FOR PERMIT APPLICATION REQUIREMENTS); (C) THE CONTRACTOR'S FLOW MANAGEMENT PLAN HAS BEEN SUBMITTED THIRTY (30) CALENDAR DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING AND APPROVED BY PCRWDR FIELD ENGINEERING; AND (D) A PRE-CONSTRUCTION MEETING WITH THE ASSIGNED PIMA COUNTY PROJECT FIELD INSPECTOR IS SCHEDULED AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO COMMENCING WITH SEWER CONSTRUCTION.
6. IMMEDIATELY REPORT ANY OF THE FOLLOWING TO THE PCRWDR OPERATIONS CONTROL CENTER (OCC) AT (520) 724-6500: ANY RELEASE OF SEWAGE, ANY DAMAGE TO THE PUBLIC SANITARY SEWER SYSTEM, OR THE DROPPING OF DEBRIS INTO A PUBLIC SANITARY SEWER MANHOLE. A PCRWDR REPRESENTATIVE WILL BE DISPATCHED TO THE SITE. THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO CONTAIN A SANITARY SEWAGE OVERFLOW (SSO). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO REPAIR THE SYSTEM, MITIGATE THE RELEASE OF SEWAGE, DISINFECT THE RELEASE AREAS, AND ANY REGULATORY PENALTIES LEVIED ON PCRWDR FOR SEWAGE ENTERING A NATURAL DRAINAGE WAY OR STORM WATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL REPAIR ALL DAMAGE AS DIRECTED AND APPROVED BY THE PCRWDR FIELD REPRESENTATIVE.
7. STORM WATER AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY INSTALLED TO PROTECT PCRWDR MANHOLES AT THE BEGINNING OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTANTLY MAINTAIN STORM WATER AND SEDIMENT CONTROL MEASURES THAT PROTECT PCRWDR FACILITIES UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ALLOW STORM WATER, SEDIMENT, OR POTENTIAL POLLUTANTS FROM CONSTRUCTION SITE TO ENTER A PCRWDR MANHOLE. THE CONTRACTOR SHALL ENSURE THAT THEIR FLOW MANAGEMENT OPERATION INCLUDE CONTROLS TO PREVENT ANY INTRODUCTION OF STORM WATER, SEDIMENT, OR POLLUTANTS INTO THE PUBLIC SANITARY SEWER SYSTEM. FAILURE TO CONFORM TO THESE REQUIREMENTS SHALL RESULT IN CANCELLATION OF THE SEWER CONSTRUCTION PERMIT.
8. SPECIAL CARE SHALL BE TAKEN TO ENSURE DESIGN SLOPES ARE MAINTAINED. SEWERS CONSTRUCTED AT INSUFFICIENT SLOPES WILL NOT BE ACCEPTED BY PCRWDR FIELD ENGINEERING AND/OR ADEQ. CORRECTIVE ACTION, INCLUDING RE-CONSTRUCTION OF THE SEWER(S), WILL BE AT THE SOLE EXPENSE OF THE PROJECT OWNER/CONTRACTOR.
9. THE CONTRACTOR SHALL ADJUST OR RECONSTRUCT ALL SANITARY SEWER MANHOLES TO FINISHED GRADE. ALL FRAMES AND COVER ADJUSTMENTS SHALL BE IN ACCORDANCE WITH PCRWDR SSDC 2016, DETAIL NOS. RWRD 211, 212, 304 OR 305 (AS APPLICABLE). THE CONTRACTOR SHALL PROTECT THE BENCH AND FLOW CHANNELS WITH A COVER PER PCRWDR SSDC 2016, DETAIL NO. RWRD 308. PRIOR TO COMMENCING ANY WORK TO THE MANHOLE AND REMOVE THE COVER AFTER ALL WORK IS COMPLETED. THE CONTRACTOR SHALL ENSURE THAT FRAMES AND COVERS ARE CLEAN AND FREE FROM ANY AND ALL ATTACHED MATERIALS (ASPHALT, CONCRETE, ETC.) AND THAT ALL VENT HOLES ARE OPEN AND CLEAR OF OBSTRUCTIONS, AS APPROVED BY THE PCRWDR FIELD ENGINEER. EXISTING FRAMES AND/OR COVERS THAT ARE DAMAGED OR CANNOT BE COMPLETELY CLEANED SHALL BE REPLACED WITH A NEW FRAME AND COVER IN ACCORDANCE WITH PCRWDR SSDC 2016, DETAIL NO. RWRD 213 - 218. COSTS ASSOCIATED WITH EXISTING FRAMES AND COVERS THAT ARE LOST OR DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
10. SANITARY SEWER IS MEASURED FROM INSIDE FACE OF STRUCTURE TO INSIDE FACE OF STRUCTURE AND ALL INVERTS INDICATE INSIDE FACE OF STRUCTURE ELEVATION.

GENERAL SIGNING NOTES:

1. ALL SIGNS SHALL BE IN COMPLIANCE WITH THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2000 EDITION OF THE PIMA COUNTY AND CITY OF TUCSON TRAFFIC SIGNING DESIGN MANUAL (2002 REVISION), THE CURRENT SUPPLEMENTAL SPECIFICATIONS, THESE PLANS AND THE SPECIAL PROVISIONS.
2. SIGNS MAY BE MODIFIED AND LOCATIONS ADJUSTED TO FIT CONDITIONS AS DIRECTED BY THE ENGINEER.
3. POST LENGTHS INDICATED ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL POST LENGTHS.
4. ALL NEW AND EXISTING SIGNS SHALL BE INSTALLED ON PERFORATED POST (SQUARE TUBE), AND SHALL BE INSTALLED IN A CONCRETE FOUNDATION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. ALL SIGN STATION LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL SIGN LOCATIONS WITH THE ENGINEER PRIOR TO THE INSTALLATION OF ALL SIGNS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH BLUE STAKE AND FOR INSTALLING ALL TRAFFIC SIGNS IN THE FIELD.
7. SPEED LIMIT SIGNS AND STOP SIGNS SHALL BE TYPE IX (DIAMOND GRADE) SHEETING. ALL OTHER WARNING AND REGULATORY SIGNS SHALL BE TYPE III (HIGH INTENSITY) SHEETING UNLESS OTHERWISE DETERMINED BY THE JURISDICTION ENGINEER. STREET NAME SIGNS (D3) SHALL BE FABRICATED USING TYPE III (HIGH INTENSITY) SHEETING AND ADVANCE STREET NAME SIGNS (TE9) SHALL BE FABRICATED USING TYPE III SHEETING. NO PARKING SIGNS SHALL BE TYPE II SHEETING. ALL SCHOOL ZONE SIGNS SHALL BE FLUORESCENT YELLOW-GREEN, DIAMOND GRADE SHEETING. ALL OVERHEAD SIGNS SHALL BE DIAMOND GRADE SHEETING.
8. ALL NEW SIGNS SHALL HAVE ALUMINUM BACKING, UNLESS OTHERWISE SPECIFIED.
9. ANY SALVAGED SIGN THAT IS TO BE REUSED SHALL BE TEMPORARILY STORED IN A SAFE LOCATION UNTIL REINSTALLATION.
10. THE DESIGN SPEED FOR THIS DEVELOPMENT IS: 25 m.p.h. AND THE DESIGN VEHICLE IS: SU-30. THE POSTED SPEED LIMIT FOR MOORE ROAD IS: 35 m.p.h.
11. FINAL INSPECTION/ACCEPTANCE OF SIGNING SHALL BE PERFORMED BY THE ENGINEER.



PROJECT NO:
RELATED CASE #s
OV1601793

The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.
444 East Broadway
Tucson, Arizona (520) 881-7480

CAPELLA PARCEL M

LOTS 1 THRU 48 AND COMMON AREAS A & B

A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title

IMPROVEMENT PLAN NOTES

FINAL SITE PLAN, GRADING PLAN,
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File:Q:\110028\A-008 Parcel M Platting\04 Platting\04 FSP\03-CAP_M-GEN.dwg Plot Date:1/31/2020 12:49 PM By:ddame

No.

Date

Item

Scale

Job No.

Date

Designed By

Checked By

110028-A-008

JANUARY 2020

DWD/GJG

DWL

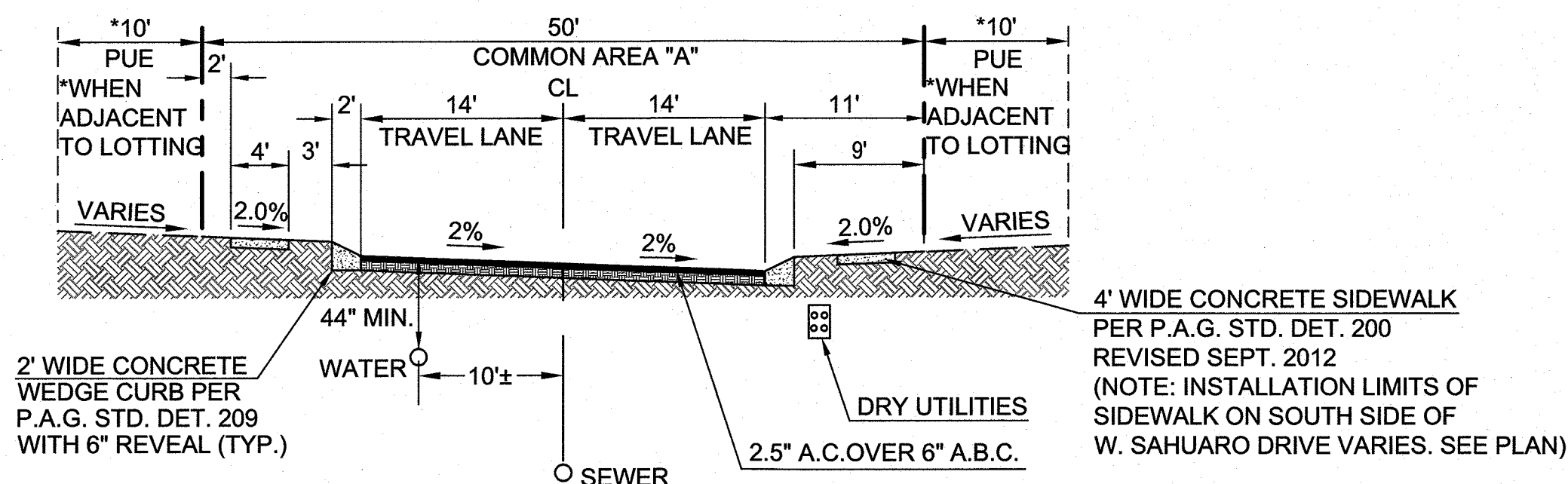


Sheet

3

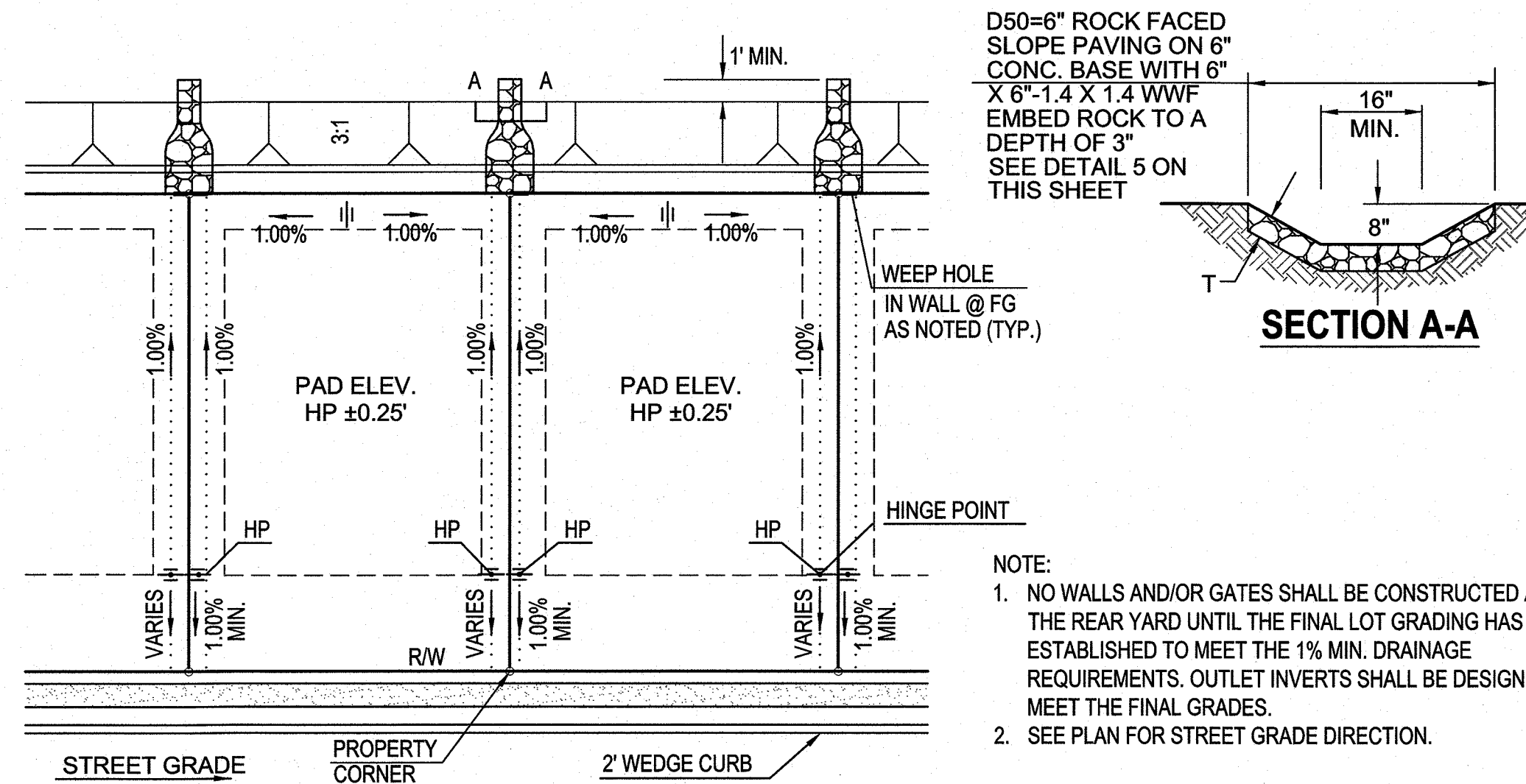
of

12



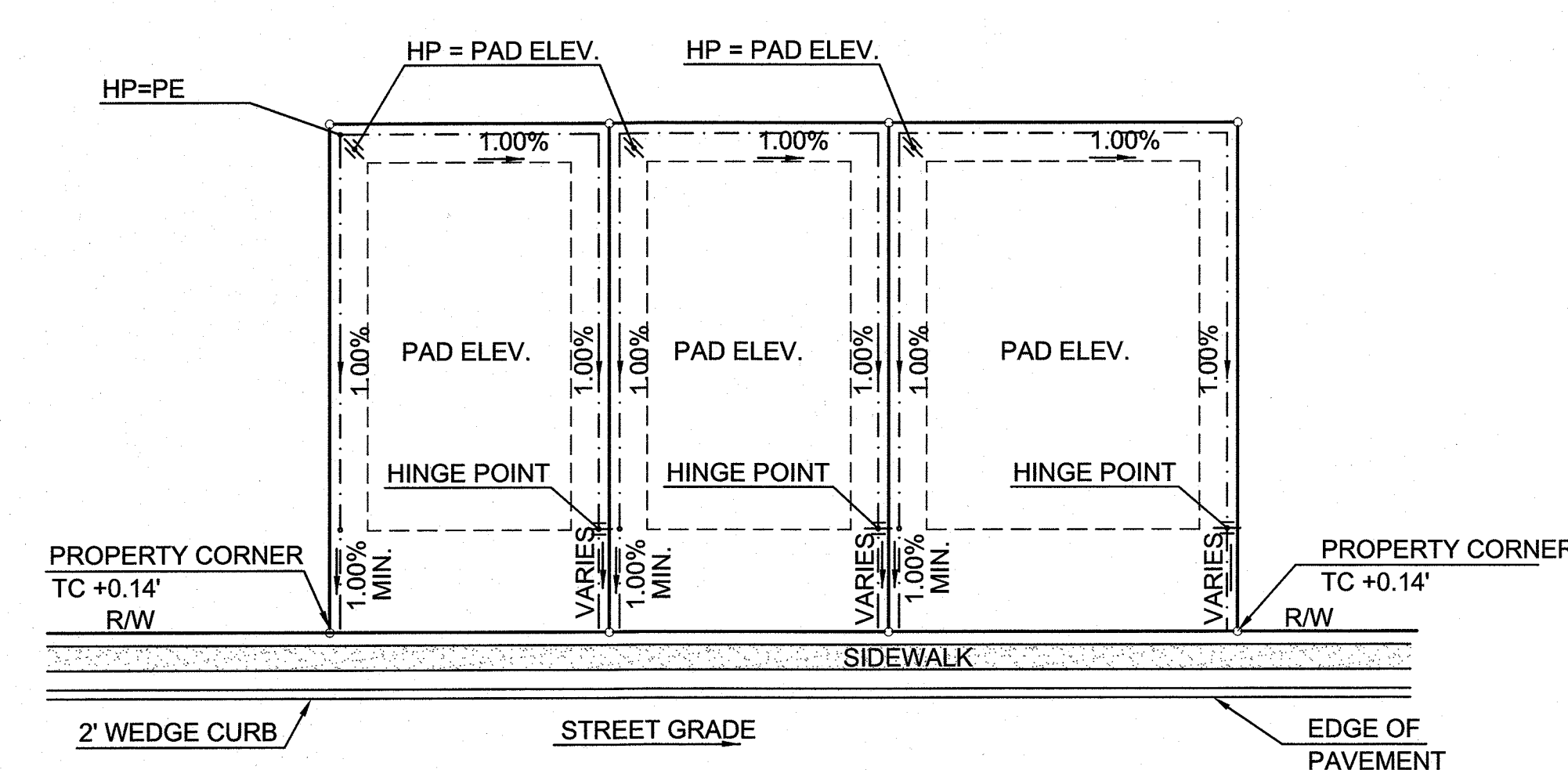
- NOTE:
1. LOCATION OF UTILITIES VARIES, SEE PLAN FOR LOCATION.
 2. PUE SECTION ONLY APPLIES TO SIDE(S) WITH ADJACENT LOTTING THAT INCLUDES A PUE

1 TYPICAL ROADWAY CROSS SECTION
N.T.S.



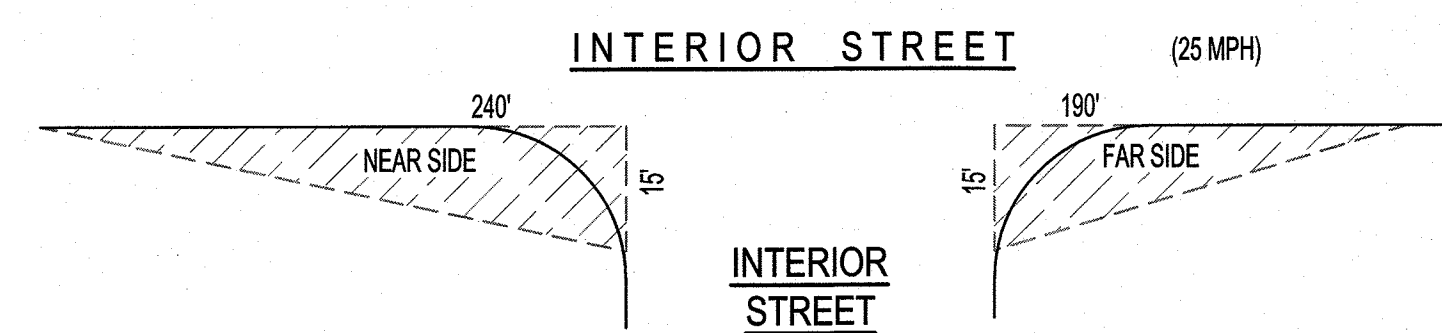
- NOTE:
1. NO WALLS AND/OR GATES SHALL BE CONSTRUCTED ACROSS THE REAR YARD UNTIL THE FINAL LOT GRADING HAS BEEN ESTABLISHED TO MEET THE 1% MIN. DRAINAGE REQUIREMENTS. OUTLET INVERTS SHALL BE DESIGNED TO MEET THE FINAL GRADES.
 2. SEE PLAN FOR STREET GRADE DIRECTION.

2 TYPE "C" LOT GRADING

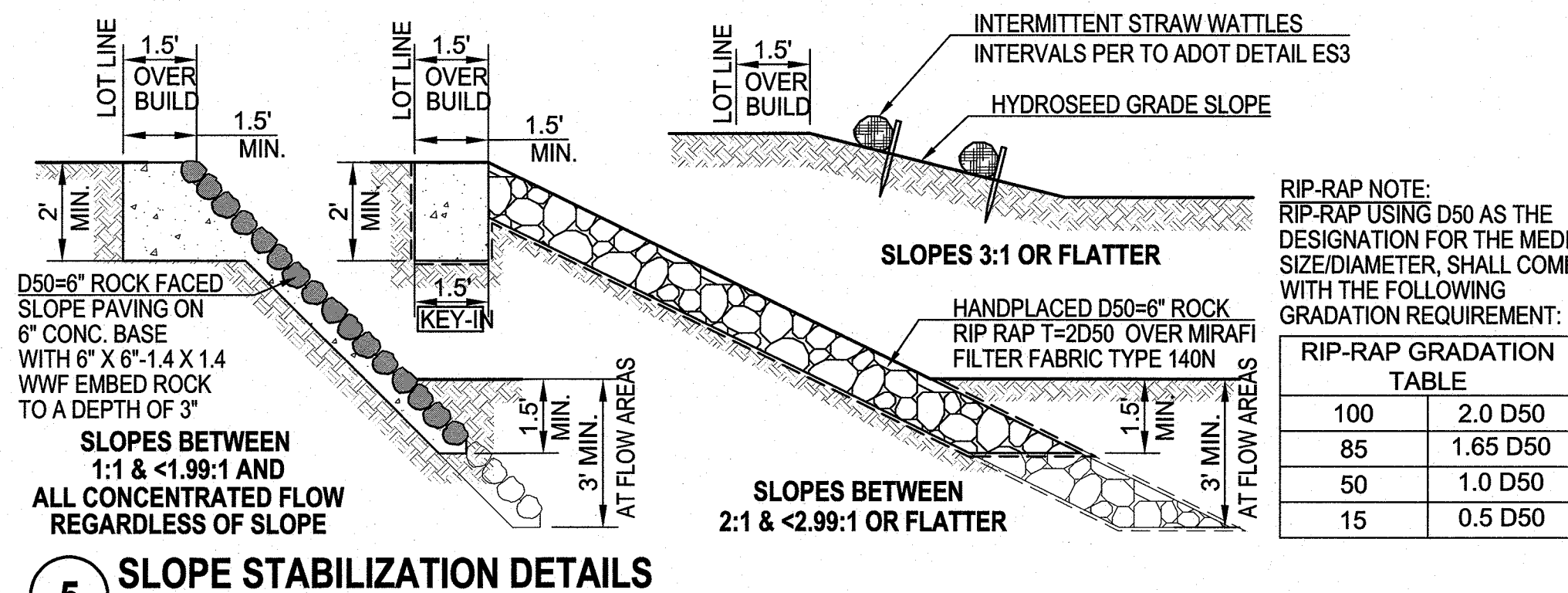


- NOTE:
1. NO WALLS AND/OR GATES SHALL BE CONSTRUCTED ACROSS THE REAR YARD UNTIL THE FINAL LOT GRADING HAS BEEN ESTABLISHED TO MEET THE 1% MIN. DRAINAGE REQUIREMENTS. OUTLET INVERTS SHALL BE DESIGNED TO MEET THE FINAL GRADES.
 2. SEE PLAN FOR STREET GRADE DIRECTION.

3 TYPE "A" LOT GRADING
N.T.S.

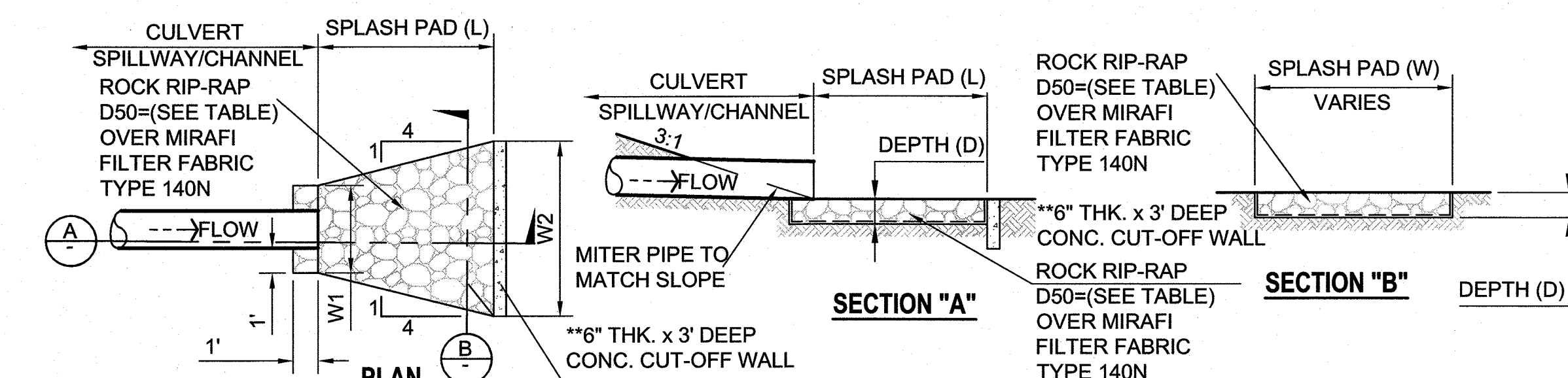


4 SIGHT VISIBILITY TRIANGLE



- NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN).
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

5 SLOPE STABILIZATION DETAILS

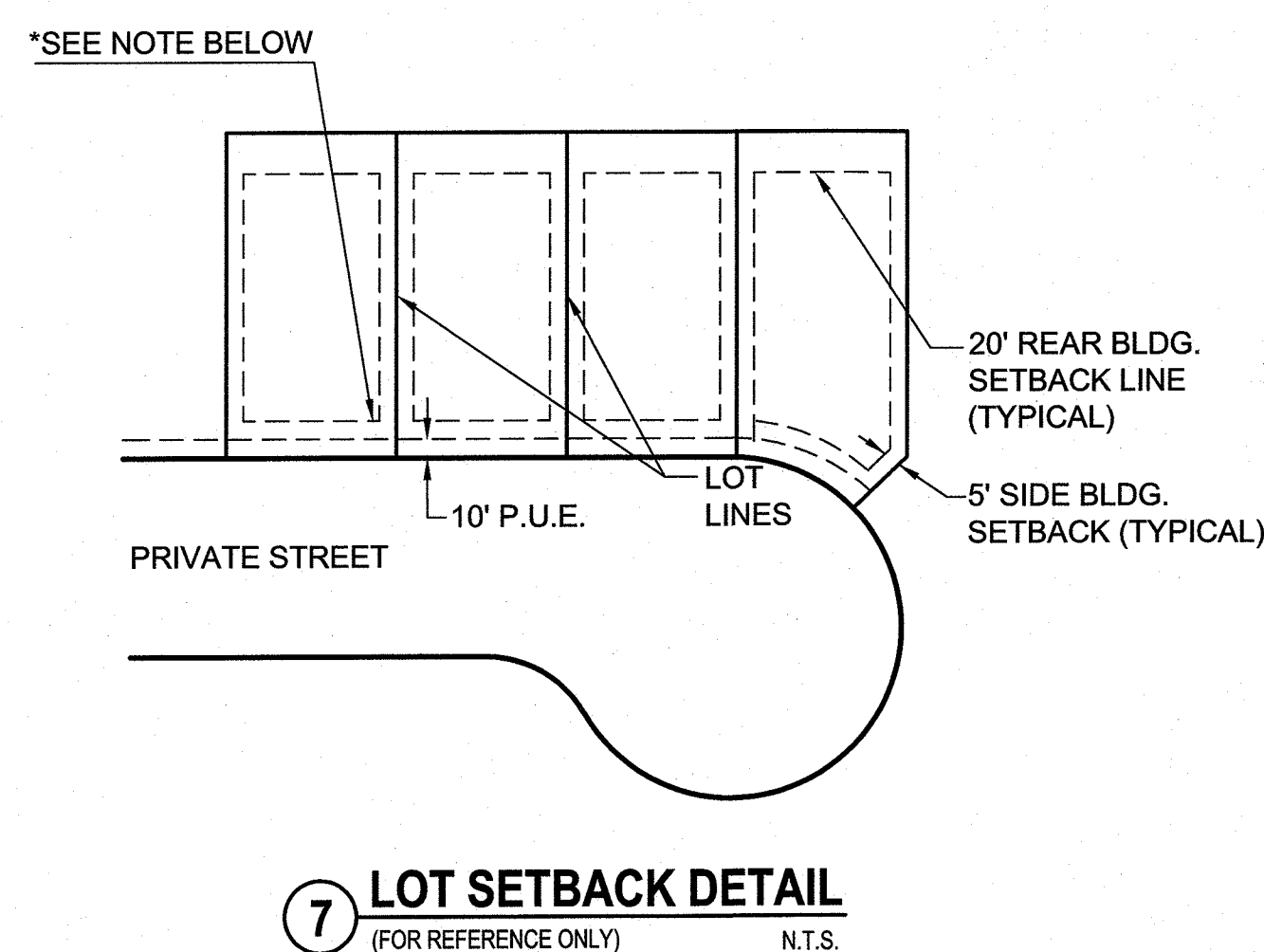


CP	CULVERT DESCRIPTION	APRON LENGTH(ft) L	APRON WIDTH(ft) W1	APRON WIDTH(ft) W2	APRON DEPTH(in) D	RECOMMENDED D ₅₀ (in)
1.5	1-36" RCP	11.0	4.0	9.0	18	9.0

GRADATION	D ₅₀
100	2.0 D ₅₀
85	1.65 D ₅₀
50	1.0 D ₅₀
15	0.5 D ₅₀

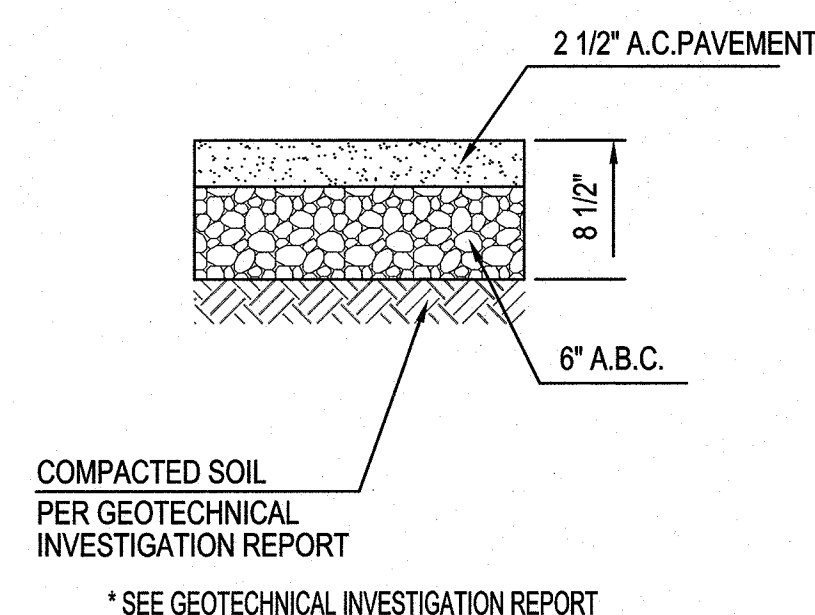
- NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN).
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

6 SPLASH PAD @ STORM DRAIN OUTLETS



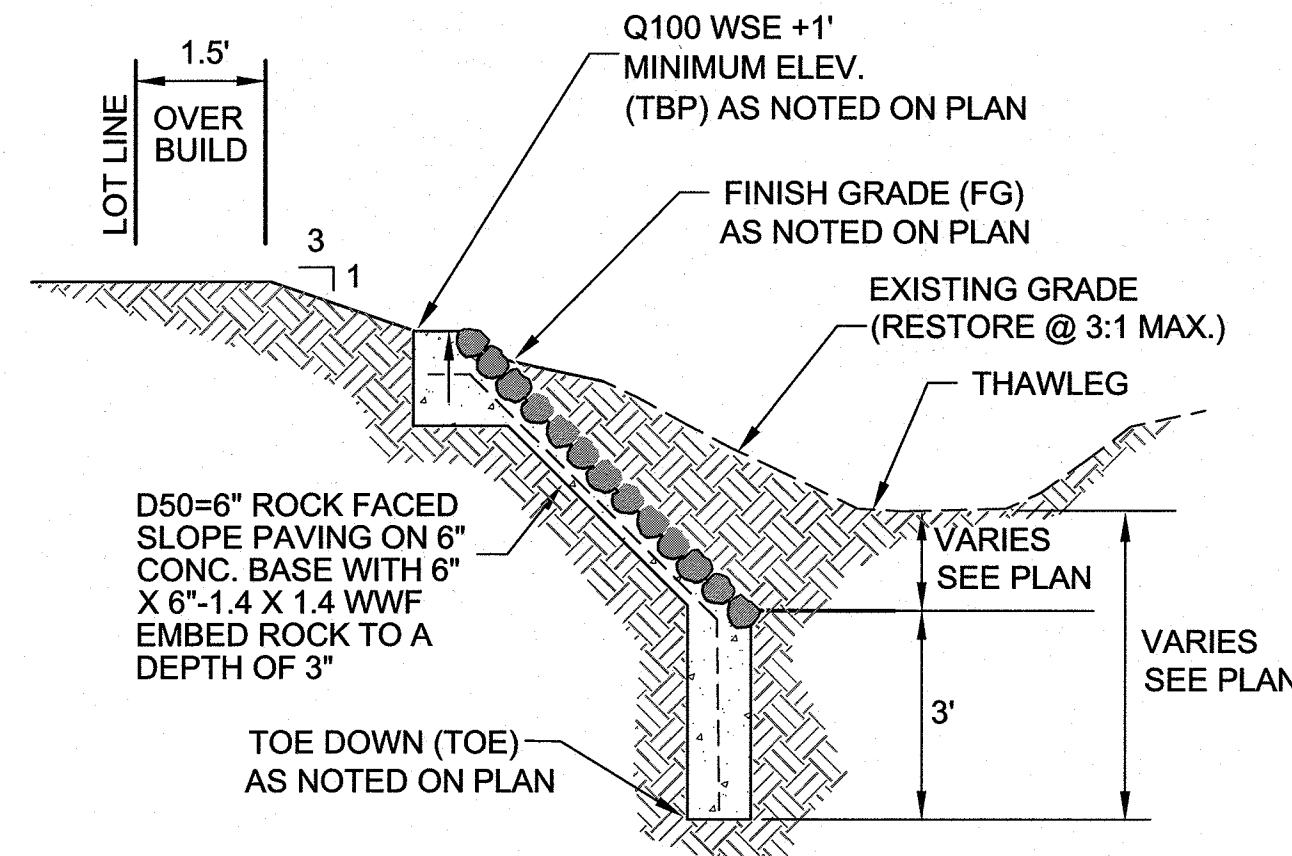
- NOTE:
1. BUILDING SETBACKS: SIDE SETBACKS MINIMUM OF FIVE (5) FEET, MINIMUM FRONT SETBACK IS 15 FEET FOR SIDE-ENTRY GARAGES AND NON-GARAGE AREAS OF THE HOME, AND 20 FEET FOR FRONT-FACING GARAGES. IN NO INSTANCE SHALL A DRIVEWAY LENGTH OF LESS THAN 20 FEET BE PROVIDED.

7 LOT SETBACK DETAIL
(FOR REFERENCE ONLY) N.T.S.



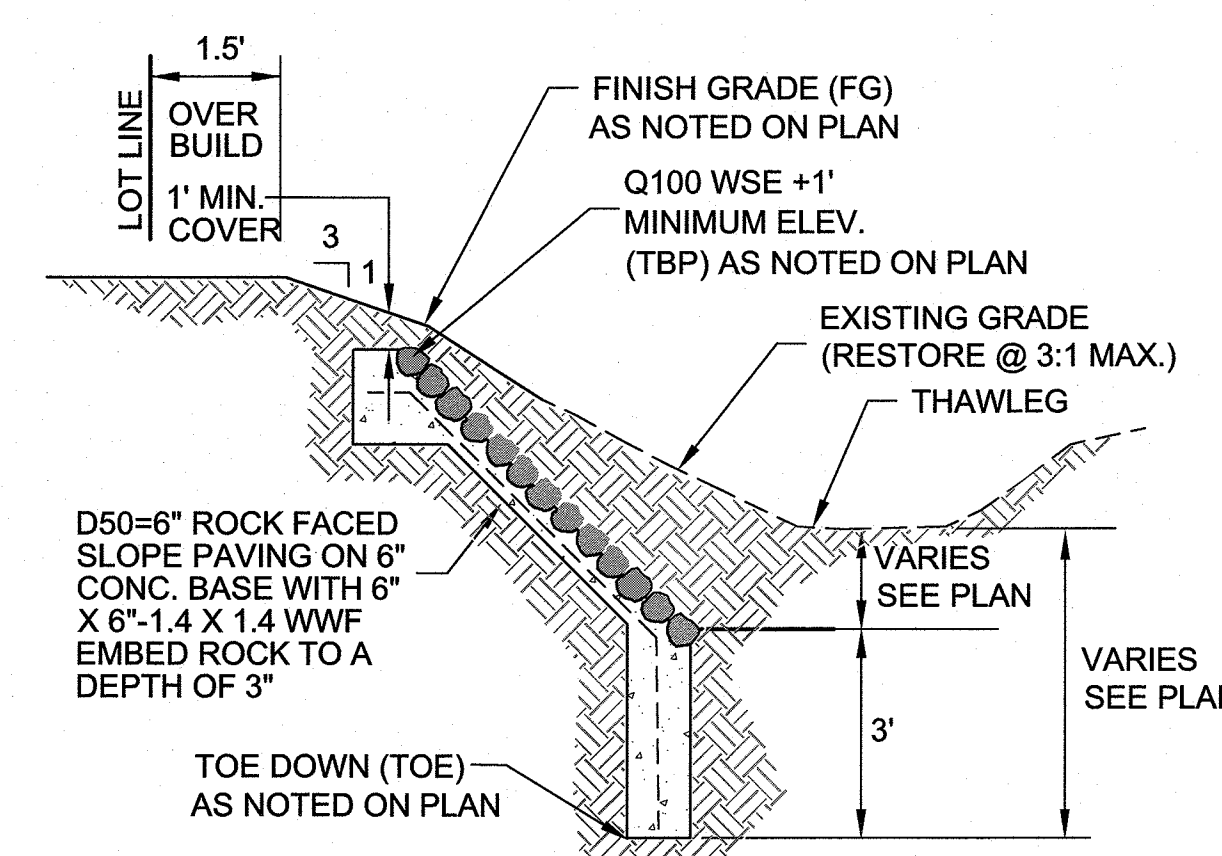
- NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN).
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

8 PAVEMENT STRUCTURE



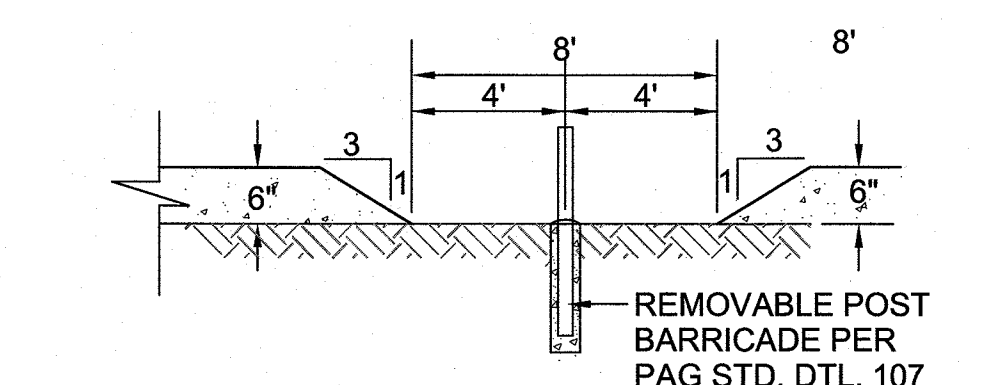
- NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN).
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

9 EXPOSED BANK PROTECTION DETAIL

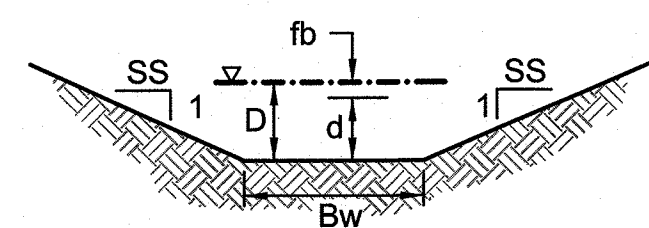
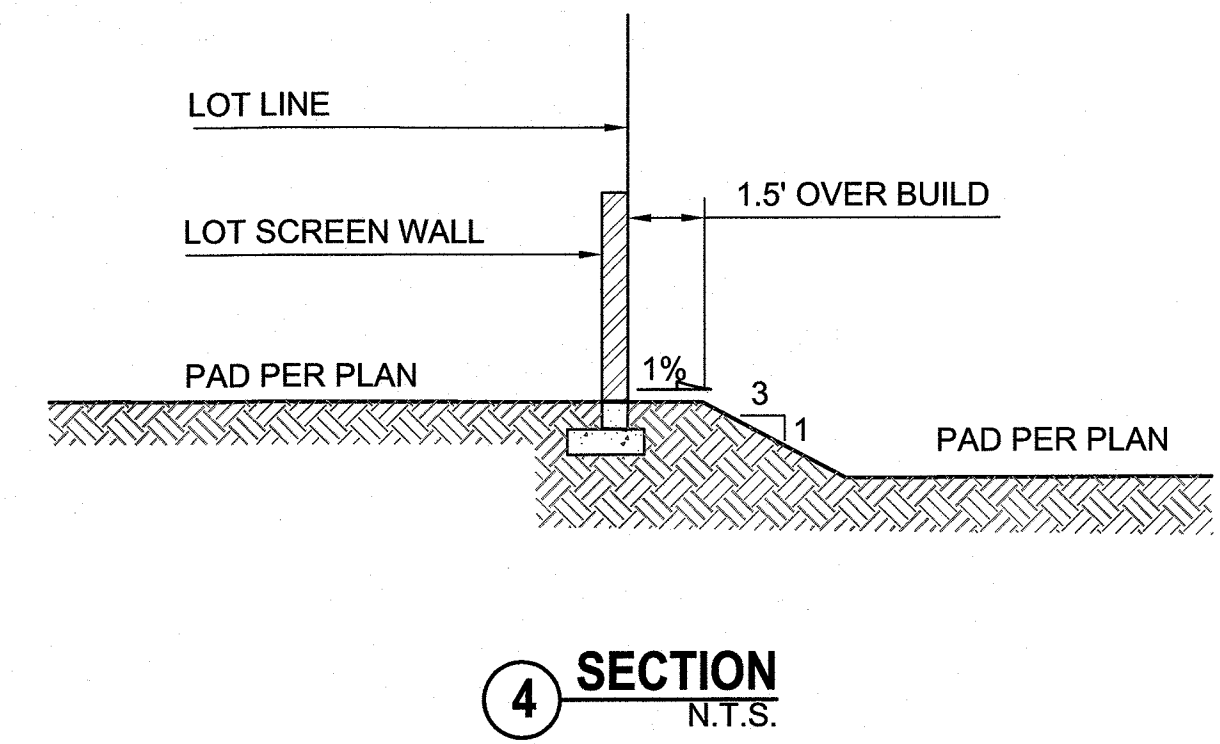
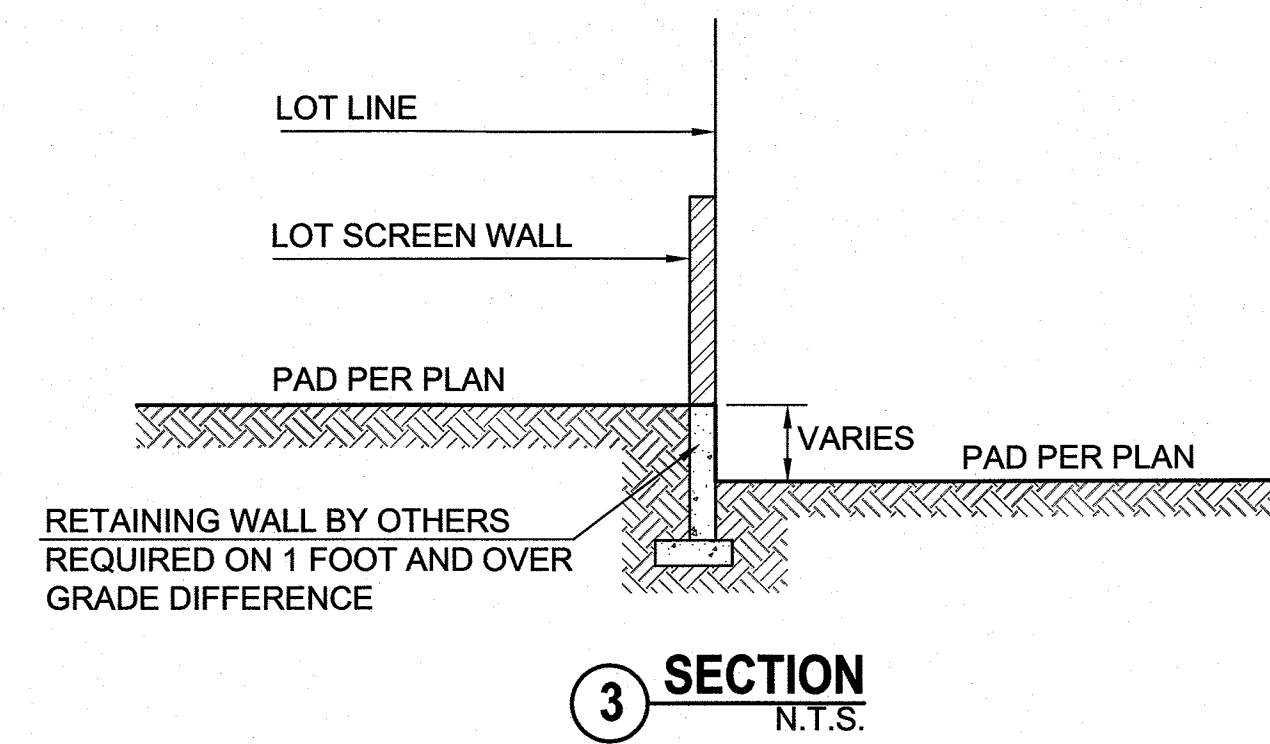
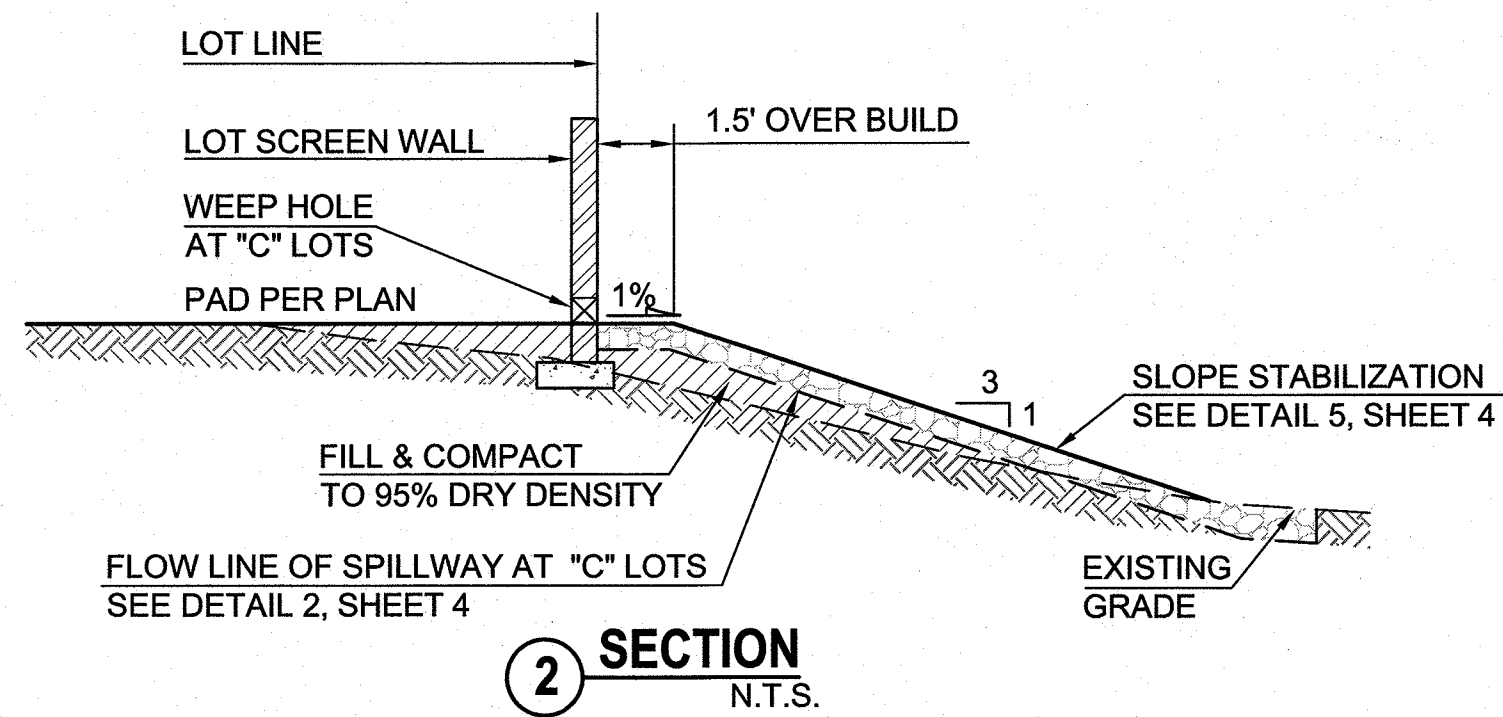
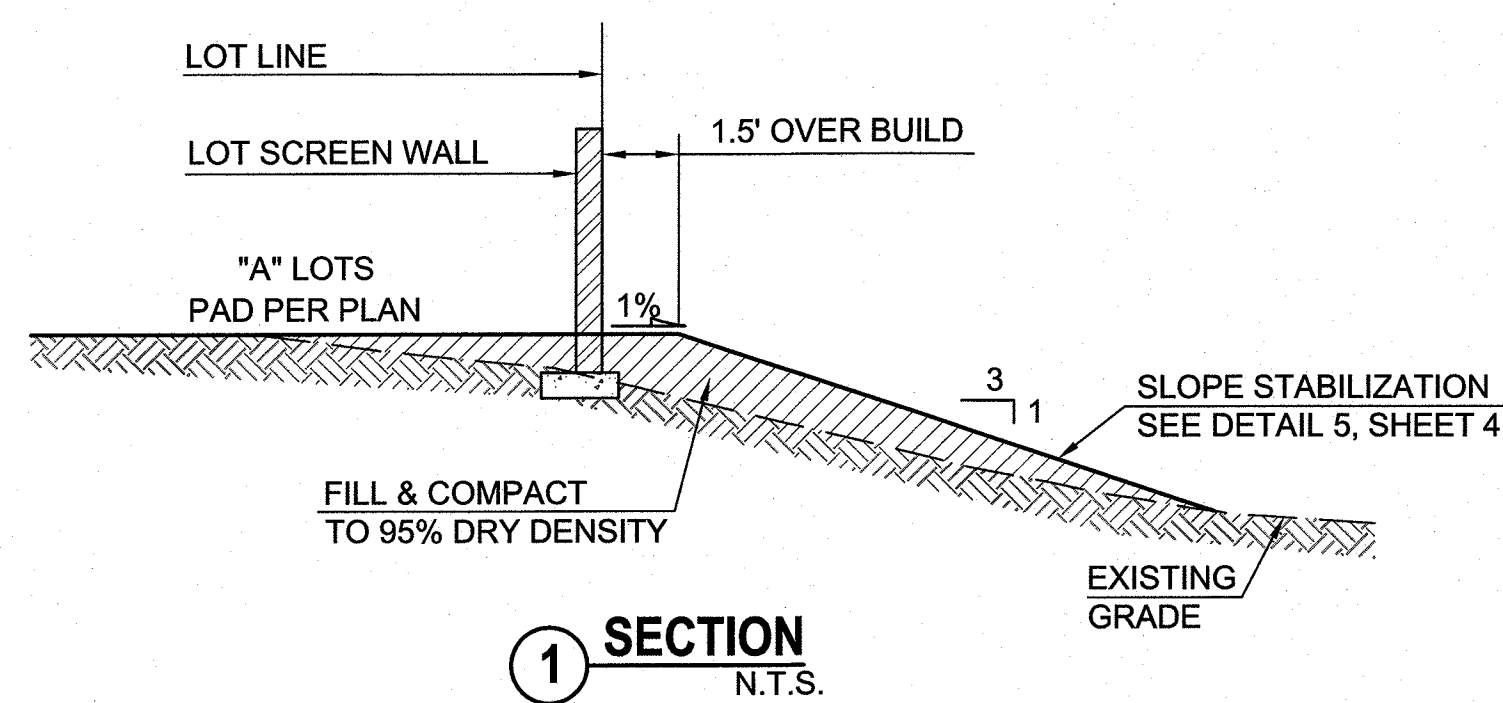


- NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN).
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

10 BURIED BANK PROTECTION DETAIL



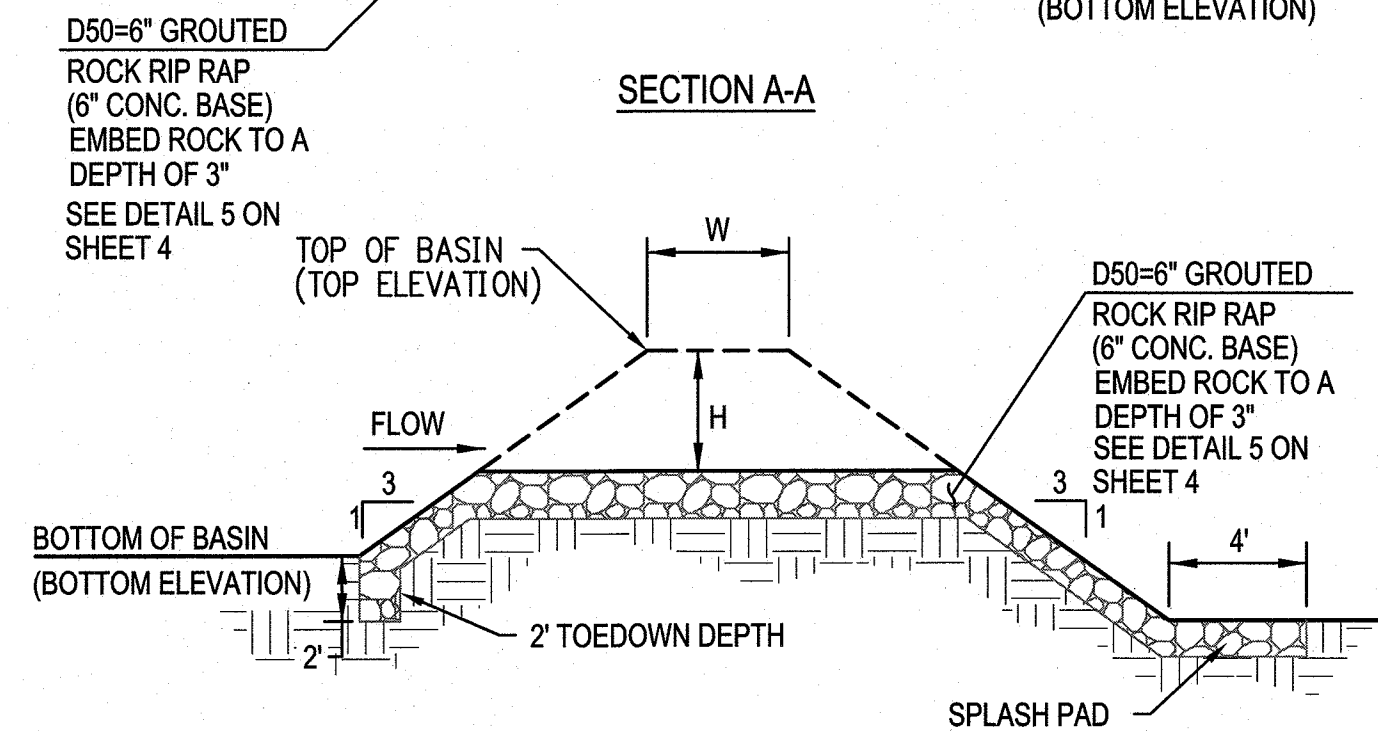
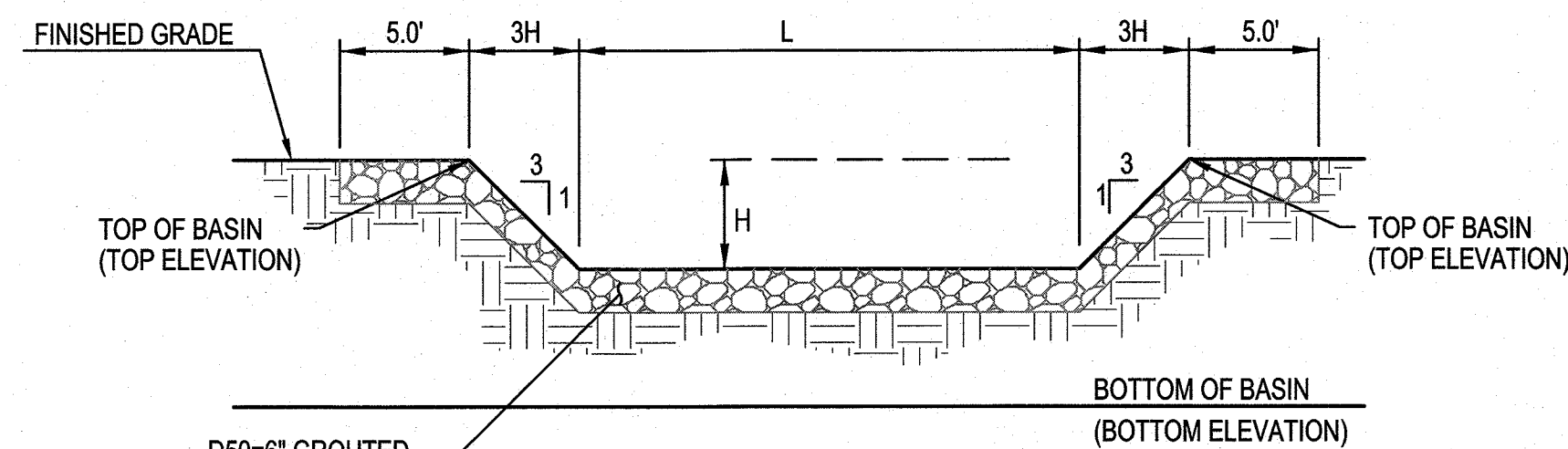
11 DEPRESSED CURB OPENING DETAIL
N.T.S.



X-SEC	Q ₁₀₀ (cfs)	V ₁₀₀ (fps)	fb	d	D	SLOPE(%)	Bw	SS	n
X1.5	42.1	5.81	0.28'	1.15'	1.43'	2.70	4'	2	0.036
X1.6	23.3	4.90	0.20'	0.84'	1.04'	2.70	4'	2	0.036

- SEE CALCULATION SHEETS IN HYDRO REPORT-APPENDIX B FOR MORE INFORMATION
- SIDE SLOPES STEEPER THAN 3:1 SHALL BE RIP-RAP IN ACCORDANCE WITH SLOPE STABILIZATION DETAILS

5 CONSTRUCTED CHANNEL DETAIL N.T.S.



6 GROUDED RIP-RAP WEIR N.T.S.

SEE TABLE OF PROPOSED BASINS AND OUTFLOW STRUCTURES ON THIS SHEET.
NOTE: ALL RIP RAP TO BE EARTHEN COLORED (SHADES OF BROWN)
REFERENCE 2015 P.A.G. STANDARD SPECIFICATIONS SECTION 912 FOR MORE DETAIL.

CONC. POINT	DRAINAGE AREA (AC)	2-YEAR (CFS)	10-YEAR (CFS)	50-YEAR (CFS)	100-YEAR (CFS)
1.0 (HMS)	335.4	129	276	452	539
1.1	6.7	13.3	29.1	45.1	52.0
1.2	5.6	12.1	25.2	38.8	44.6
1.3	3.4	7.4	15.5	23.7	27.3
1.4	3.1	6.8	14.3	21.8	25.1
1.5	5.4	11.3	23.8	36.5	42.1
1.6	2.9	6.9	13.5	20.3	23.3
2.0	1.2	2.2	5.6	8.4	9.5
3.0	23.3	31.1	74.8	127.2	146.5
OST (HMS)	307	121	258	420	501
OS3	15.8	20.9	50.7	86.5	99.5

CP	Q ₁₀₀ IN(cfs)	Q ₁₀₀ OUT(cfs)	Q ₁₀ IN(cfs)	Q ₁₀ OUT(cfs)	Q ₂ IN(cfs)	Q ₂ OUT(cfs)
1.1	13.3	0.0	29.1	5.4	52.0	16.2
1.3	7.4	4.0	15.5	9.2	27.3	16.4

BASIN	Q ₁₀₀ IN (cfs)	Q ₁₀₀ OUT (cfs)	TOTAL VOLUME (CF)	PONDING VOLUME (CF)	100-YR WSEL (FT)	PONDING DEPTH (FT)	TOP ELEVATION (FT)	BOTTOM ELEVATION (FT)	OUTLET STRUCTURE	BLEEDER PIPE (12" PVC)
1.1	52.0	16.2	51,423	36,062	2643.1	2.8	2644.00	2640.70	2' WIDE-2' HIGH BROAD CRESTED WEIR	YES
1.3	27.3	16.4	10,112	10,110	2648.0	2.0	2648.00	2646.00	4' WIDE-1' HIGH BROAD CRESTED WEIR	YES



PROJECT NO:
RELATED CASE #s
OV1601793

The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.
4444 East Broadway
Tucson, Arizona (520) 681-7480

CAPELLA PARCEL M

LOTS 1 THRU 48 AND COMMON AREAS A & B
A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title

DETAILS AND DRAINAGE TABLES
FINAL SITE PLAN, GRADING PLAN,
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File:Q:\110028\A-008 Parcel M Platting\04 Platting\04 FSP\05-CAP_M-DTL.dwg Plot Date:1/31/2020 12:52 PM By:ddame

No.

Date

Item

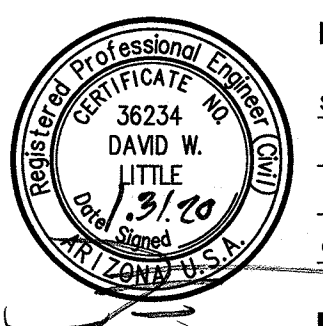
Scale

Job No. 110028-A-008

Date JANUARY 2020

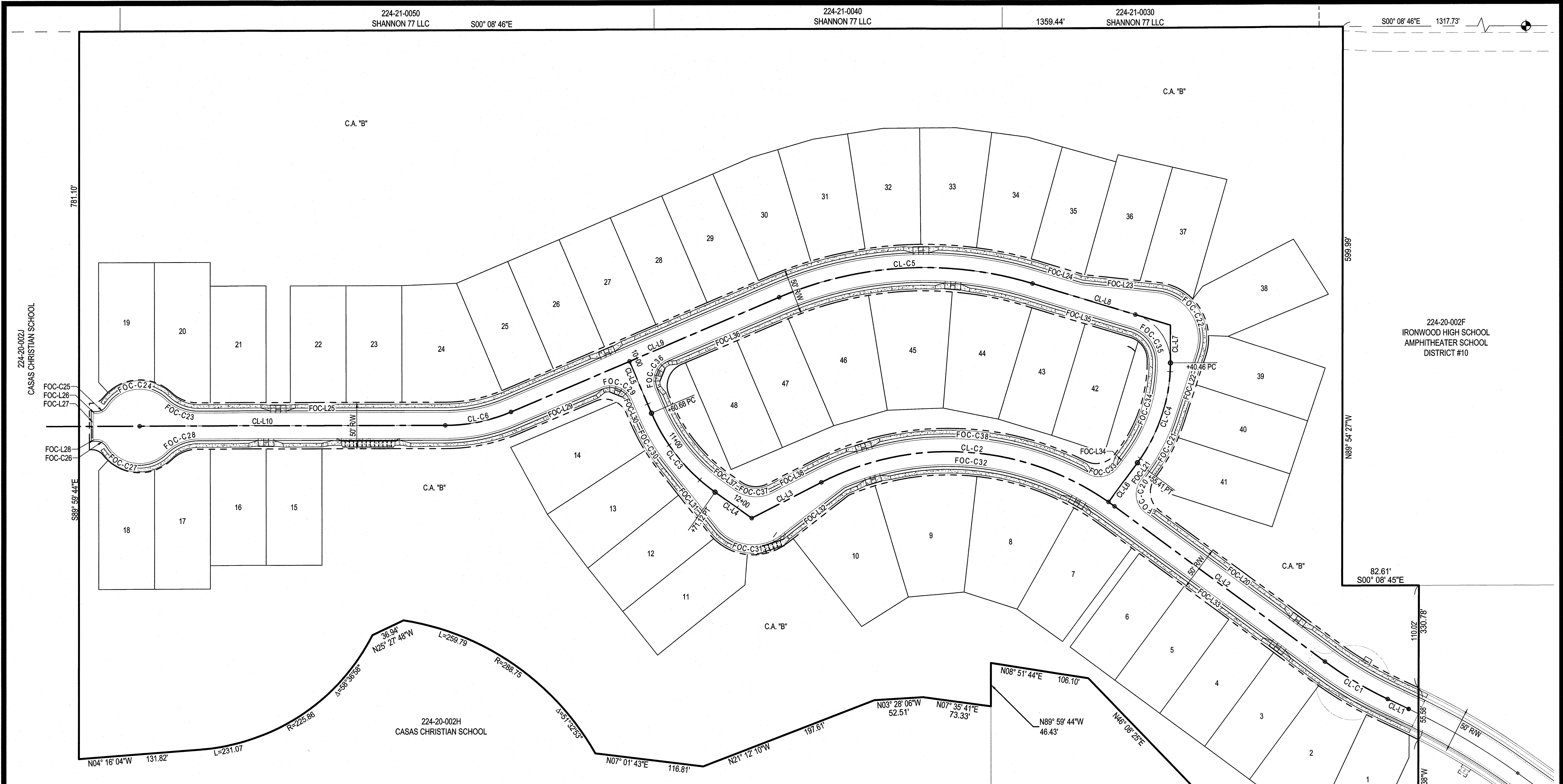
Designed By DWD/GJG

Checked By DWL



Sheet 5

of 12



CENTERLINE LINE TABLE		
LINE #	LENGTH	DIRECTION
CL-L1	24.95'	N25° 12' 35"E
CL-L2	281.36'	N36° 28' 51"E
CL-L3	84.31'	N27° 07' 38"W
CL-L4	48.16'	N35° 18' 07"E
CL-L5	60.68'	N66° 56' 25"E
CL-L6	52.20'	S53° 31' 09"E
CL-L7	40.46'	S89° 54' 27"E
CL-L8	155.00'	N16° 49' 22"E
CL-L9	313.45'	N23° 03' 35"W
CL-L10	428.72'	N0° 03' 07"W

CENTERLINE CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	
CL-C1	78.69	400.00	11°16'17"	
CL-C2	333.05	300.00	63°36'29"	
CL-C3	110.44	200.00	31°38'18"	
CL-C4	114.95	181.00	36°23'18"	
CL-C5	278.43	400.00	39°52'57"	
CL-C6	72.68	181.00	23°00'28"	

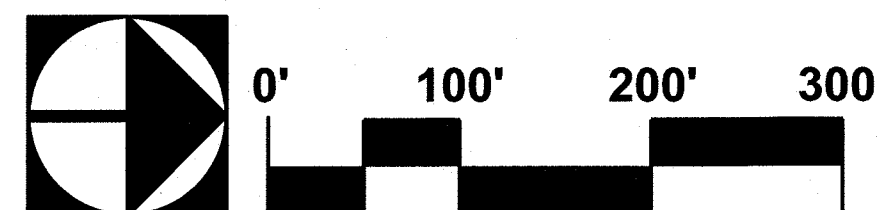
FACE OF CURB LINE TABLE		
LINE #	LENGTH	DIRECTION
FOC-L20	250.34'	N36° 28' 51"E
FOC-L21	13.09'	S53° 31' 09"E
FOC-L22	75.01'	S71° 55' 22"E
FOC-L23	81.74'	N6° 06' 05"E
FOC-L24	51.49'	N16° 49' 22"E
FOC-L25	265.45'	N0° 03' 07"W
FOC-L26	3.27'	N0° 03' 07"W
FOC-L27	28.00'	S89° 56' 53"W
FOC-L28	3.27'	S0° 03' 07"E
FOC-L29	99.48'	S23° 03' 35"E

FACE OF CURB LINE TABLE		
LINE #	LENGTH	DIRECTION
FOC-L30	21.68'	S66° 56' 25"W
FOC-L31	85.85'	S51° 17' 24"W
FOC-L32	85.32'	S37° 50' 55"E
FOC-L33	281.36'	S36° 28' 51"W
FOC-L34	16.36'	N53° 31' 09"W
FOC-L35	115.58'	S16° 49' 22"W
FOC-L36	135.97'	S23° 03' 35"E
FOC-L37	16.04'	N35° 18' 07"E
FOC-L38	52.20'	N27° 07' 38"W

FACE OF CURB CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	
FOC-C20	39.27	25.00	90°00'00"	
FOC-C21	62.63	195.00	18°24'13"	
FOC-C22	87.32	49.00	102°06'26"	
FOC-C23	38.99	50.00	44°40'29"	
FOC-C24	71.81	40.00	102°51'12"	
FOC-C25	15.23	15.00	58°10'43"	
FOC-C26	15.23	15.00	58°10'43"	
FOC-C27	71.81	40.00	102°51'12"	
FOC-C28	38.99	50.00	44°40'29"	
FOC-C29	39.27	25.00	90°00'00"	

FACE OF CURB CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	
FOC-C30	58.45	214.00	15°39'02"	
FOC-C31	76.65	49.00	89°37'46"	
FOC-C32	298.18	286.00	59°44'10"	
FOC-C33	35.79	25.00	82°02'02"	
FOC-C34	107.42	167.00	36°51'22"	
FOC-C35	49.55	39.00	72°48'07"	
FOC-C36	39.27	25.00	90°00'00"	
FOC-C37	42.49	39.00	62°25'45"	
FOC-C38	304.94	314.00	55°38'31"	

224-20-1240
THE ESTATES AT CAPELLA
SEQ# 20151480085



Contact Arizona 911 at least two full working days before you begin excavation
ARIZONA
Call 911 or click Arizona911.com

The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.
4444 East Broadway
Tucson, Arizona (520) 581-7480

CAPELLA PARCEL M
LOTS 1 THRU 48 AND COMMON AREAS A & B
A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title
HORIZONTAL CONTROL PLAN
FINAL SITE PLAN, GRADING PLAN,
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN
File:Q:\110028\A-008 Parcel M Platting\04 Platting\04 FSP\06-CAP_M-HRZ.dwg Plot Date:1/31/2020 12:53 PM By:ddame

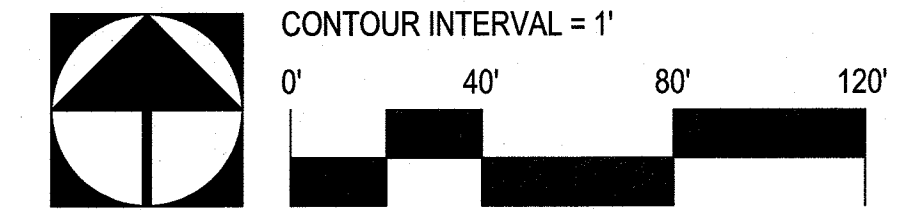
No.	Date	Item

Scale
Job No. 110028-A-008
Date JANUARY 2020
Designed By DWD/GJG
Checked By DWL



PROJECT NO:
RELATED CASE #s
OV1601793

Sheet 6
of 12



(ALL NOTES MAY NOT APPLY TO THIS SHEET)

- 1 P.U.E. PER FINAL PLAT, SEQ NO. DIMENSION PER PLAN.
- 2 PUBLIC WATER EASEMENT PER FINAL PLAT,
SEQ NO.
- 3 30" X 30" PUBLIC SEWER EASEMENT PER FINAL PLAT,
SEQ NO.
- 4 PRIVATE SEWER EASEMENT PER SEPARATE INSTRUMENT.
SEQ NO.
- 5 BUILDING SETBACK LINE, SEE DETAIL 8, SHEET 63
- 6 1' NO ACCESS EASEMENT PER FINAL PLAT,
SEQ NO.
- 7 PUBLIC DRAINAGE EASEMENT PER FINAL PLAT,
SEQ NO.
- 8 PUBLIC DRAINAGE EASEMENT PER SEPARATE INSTRUMENT,
SEQ NO.

(ALL NOTES MAY NOT APPLY TO THIS SHEET)

- (1) INSTALL SURVEY MONUMENT PER PAG STD. DTL. 103.
- (2) CONSTRUCT 2' CONCRETE WEDGE CURB (H=6") PER PAG STD. DTL. 209.
- (3) CONSTRUCT 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
- (4) CONSTRUCT CONCRETE HEADER CURB PER PAG STD. DTL. 213.
- (5) 10' TRANSITION FROM VERTICAL CURB TO WEDGE CURB PER PAG STD. DTL. 210.
- (6) CONSTRUCT CURB ACCESS RAMP PER PAG STD. DTL. 207.
- (7) CONSTRUCT 4' CONCRETE SIDEWALK PER PAG STD. DTL. 200.
- (8) CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211.
- (9) CONCRETE SIDEWALK CONNECT NEW TO EXISTING PER PAG STD. DTL. 203.
- (10) INSTALL HANDRAIL PER PAG STD. DTL. 105.
- (11) INSTALL REMOVABLE POST BARRICADES PER PAG STD. DTL. 107.
- (12) INSTALL STREET NAME SIGN.
- (13) INSTALL 30" X 30" R-1 STOP SIGN.
- (14) RETAINING WALL BY OTHERS (SEPARATE PERMIT).
- (15) SIGHT VISIBILITY TRIANGLE PER DTL. 4 ON SHT. 4.
- (16) SLOPE STABILIZATION PER DTL. 5, SHT. 4 SLOPE AS NOTED.
- (17) WEEP HOLE IN WALL AT FINISHED GRADE TYPICAL WITH ACCOMPANYING DISCHARGE EROSION MITIGATION RIP-RAP.
- (18) CONSTRUCT RIP RAP SPLASH PAD PER DTL. 6, SHT. 4.
- (19) SIDEWALK SCUPPER-TYPE 3 (CELLS PER PLAN) PER PAG STD. DTL. 205.5.
- (20) 4" DIA. (MIN.) PVC IRRIGATION SLEEVES WITH 30" MIN. COVER, SEE IRRIGATION PLANS.
- (21) INSTALL NEW AC PAVEMENT (2.5" AC, 6" ABC).
- (22) SAW CUT TRIM TACK & JOIN
- (23) PROTECTIVE FENCING FOR EXISTING SAGUARO. SEE DETAIL 4, SHT. 5.
- (24) CONSTRUCT TYPE IV CATCH BASIN WITH (4) EF-1 GRATES PER PAG STD. DTL. 309. SEE PROFILE ON SHEET 12.
- (25) JUNCTION STRUCTURE PER SEPARATE STRUCTURAL PLAN.

BANK PROTECTION ELEVATION CONTROL TABLE			
POINT NUMBER	TBP	FG	TOE
1	46.03	46.03	39.50
2	46.03	46.00	39.70
3	46.66	46.60	41.00
4	47.20	46.50	41.00
5	47.80	48.00	41.50
6	49.50	47.00	41.00
7	49.50	45.50	38.00
8	49.50	44.50	37.00
9	44.00	43.50	36.50
10	44.00	44.00	35.00



PROJECT NO:
RELATED CASE #s
OV1601793

**Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.**
**4444 East Broadway
Tucson, Arizona (520) 881-7480**

LOTS 1 THRU 48 AND COMMON AREAS A & B

LOTS 1 THRU 48 AND COMMON AREAS A & B
A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Sheet Title

Street Name

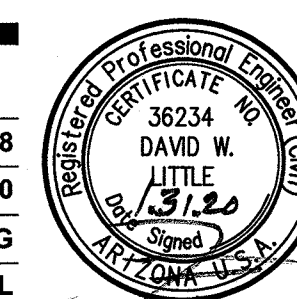
GRADING PLAN

FINAL SITE PLAN, GRADING PLAN,

PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File:Q:\110028\A-008 Parcel M Platting\04 Platting\04 FSP\07-08-CAP M-GRD.dwg Plot Date:1/31/2020 12:54 PM By:ddam

No.	Date	Item	Scale
			Job No. 110028-A-008
			Date JANUARY 2020
			Designed By DWD/GJG
Revisions			Checked By DWL



EX MH# 4685-03
RIM=2642.75

224-20-002J
CASAS
CHRISTIAN
SCHOOL

EX MH# 4685-02
RIM=2640.27

1 MH# 1
STA. 9+19.41, 0.00'
RIM=2638.70

PC
+53.27, 14.00'RT
P=38.68

2660 9+00 10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00 18+60 2660

2650

2640

2630

2620

15' PUBLIC WATER ESMT
PER SEPARATE INSTRUMENT

20' SEWER ESMT
DKT 11260 PG 1294

EX 30" LF 10" PVC
G-97-129

30' SEWER
ESMT

EX 28" LF 10" PVC
G-97-129

PC
+53.27, 14.00'RT
P=38.68

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

PRC
+66.01, 21.09'RT
P=38.77

PRC
+28.12, 28.44'LT
P=40.88

PT
+63.28, 14.00'LT
P=41.22

FFC 43.37
19

FFC 44.27
20

FFC 45.10
21

FFC 46.70
22

FFC 47.42
23

FFC 48.42
24

FFC 49.32
25

FFC 50.22
26

FFC 51.12
27

FFC 52.02
28

FFC 52.92
29

FFC 54.07
30

FFC 55.02
31

FFC 56.02
32

FFC 57.02
33

FFC 58.02
34

FFC 59.02
35

FFC 60.02
36

FFC 61.02
37

FFC 62.02
38

FFC 63.02
39

FFC 64.02
40

FFC 65.02
41

FFC 66.02
42

FFC 67.02
43

FFC 68.02
44

FFC 69.02
45

FFC 70.02
46

FFC 71.02
47

FFC 72.02
48

FFC 73.02
49

FFC 74.02
50

FFC 75.02
51

FFC 76.02
52

FFC 77.02
53

FFC 78.02
54

FFC 79.02
55

FFC 80.02
56

FFC 81.02
57

FFC 82.02
58

FFC 83.02
59

FFC 84.02
60

FFC 85.02
61

FFC 86.02
62

FFC 87.02
63

FFC 88.02
64

FFC 89.02
65

FFC 90.02
66

FFC 91.02
67

FFC 92.02
68

FFC 93.02
69

FFC 94.02
70

FFC 95.02
71

FFC 96.02
72

FFC 97.02
73

FFC 98.02
74

FFC 99.02
75

FFC 100.02
76

FFC 43.37
19

FFC 44.27
20

FFC 45.10
21

FFC 46.70
22

FFC 47.42
23

FFC 48.42
24

FFC 49.32
25

FFC 50.22
26

FFC 51.12
27

FFC 52.02
28

FFC 52.92
29

FFC 54.07
30

FFC 55.02
31

FFC 56.02
32

FFC 57.02
33

FFC 58.02
34

FFC 59.02
35

FFC 60.02
36

FFC 61.02
37

FFC 62.02
38

FFC 63.02
39

FFC 64.02
40

FFC 65.02
41

FFC 66.02
42

FFC 67.02
43

FFC 68.02
44

FFC 69.02
45

FFC 70.02
46

FFC 71.02
47

FFC 72.02
48

FFC 73.02
49

FFC 74.02
50

FFC 75.02
51

FFC 76.02
52

FFC 77.02
53

FFC 78.02
54

FFC 79.02
55

FFC 80.02
56

FFC 81.02
57

FFC 82.02
58

FFC 83.02
59

FFC 84.02
60

FFC 85.02
61

FFC 86.02
62

FFC 87.02
63

FFC 88.02
64

FFC 89.02
65

FFC 90.02
66

FFC 91.02
67

FFC 92.02
68

FFC 93.02
69

FFC 94.02
70

FFC 95.02
71

FFC 96.02
72

FFC 97.02
73

FFC 98.02
74

FFC 99.02
75

FFC 100.02
76

FFC 43.37
19

FFC 44.27
20

FFC 45.10
21

FFC 46.70
22

FFC 47.42
23

FFC 48.42
24

FFC 49.32
25

FFC 50.22
26

FFC 51.12
27

FFC 52.02
28

FFC 52.92
29

FFC 54.07
30

FFC 55.02
31

FFC 56.02
32

FFC 57.02
33

FFC 58.02
34

FFC 59.02
35

FFC 60.02
36

FFC 61.02
37

FFC 62.02
38

FFC 63.02
39

FFC 64.02
40

FFC 65.02
41

FFC 66.02
42

FFC 67.02
43

FFC 68.02
44

FFC 69.02
45

FFC 70.02
46

FFC 71.02
47

FFC 72.02
48

FFC 73.02
49

FFC 74.02
50

FFC 75.02
51

FFC 76.02
52

FFC 77.02
53

FFC 78.02
54

FFC 79.02
55

FFC 80.02
56

FFC 81.02
57

FFC 82.02
58

FFC 83.02
59

FFC 84.02
60

FFC 85.02
61

FFC 86.02
62

FFC 87.02
63

FFC 88.02
64

FFC 89.02
65

FFC 90.02
66

FFC 91.02
67

FFC 92.02
68

FFC 93.02
69

FFC 94.02
70

FFC 95.02
71

FFC 96.02
72

FFC 97.02
73

FFC 98.02
74

FFC 99.02
75

FFC 100.02
76

FFC 43.37
19

FFC 44.27
20

FFC 45.10
21

FFC 46.70
22

FFC 47.42
23

FFC 48.42
24

FFC 49.32
25

FFC 50.22
26

FFC 51.12
27

FFC 52.02
28

FFC 52.92
29

FFC 54.07
30

FFC 55.02
31

FFC 56.02
32

FFC 57.02
33

FFC 58.02
34

FFC 59.02
35

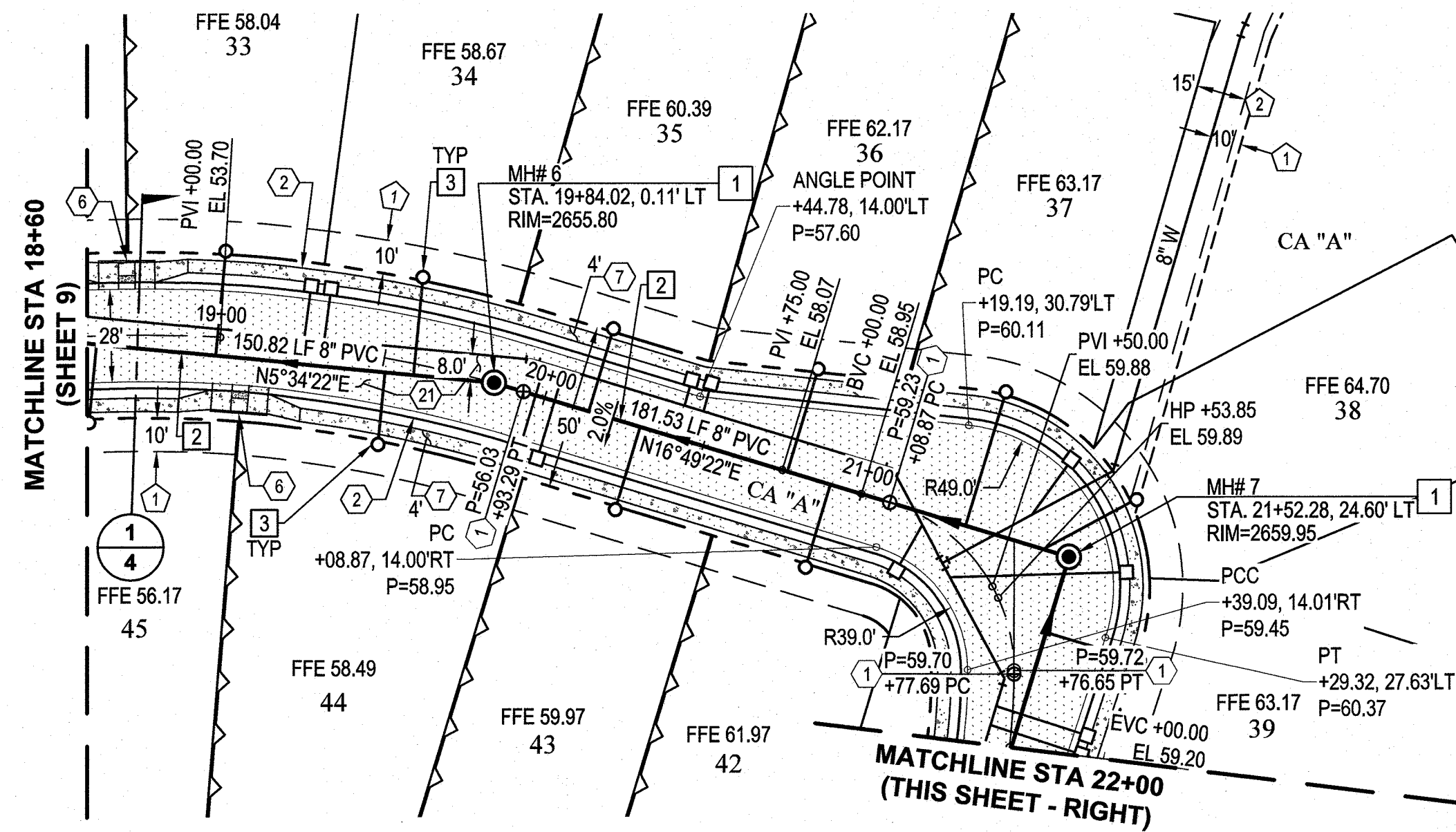
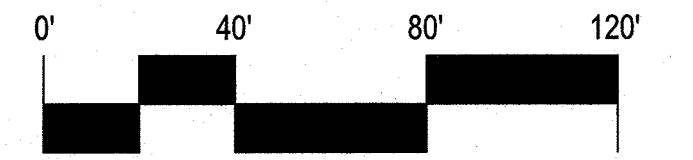
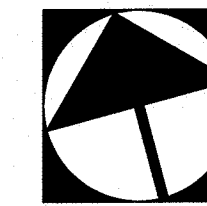
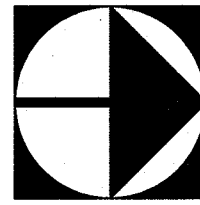
FFC 60.02
36

FFC 61.02
37

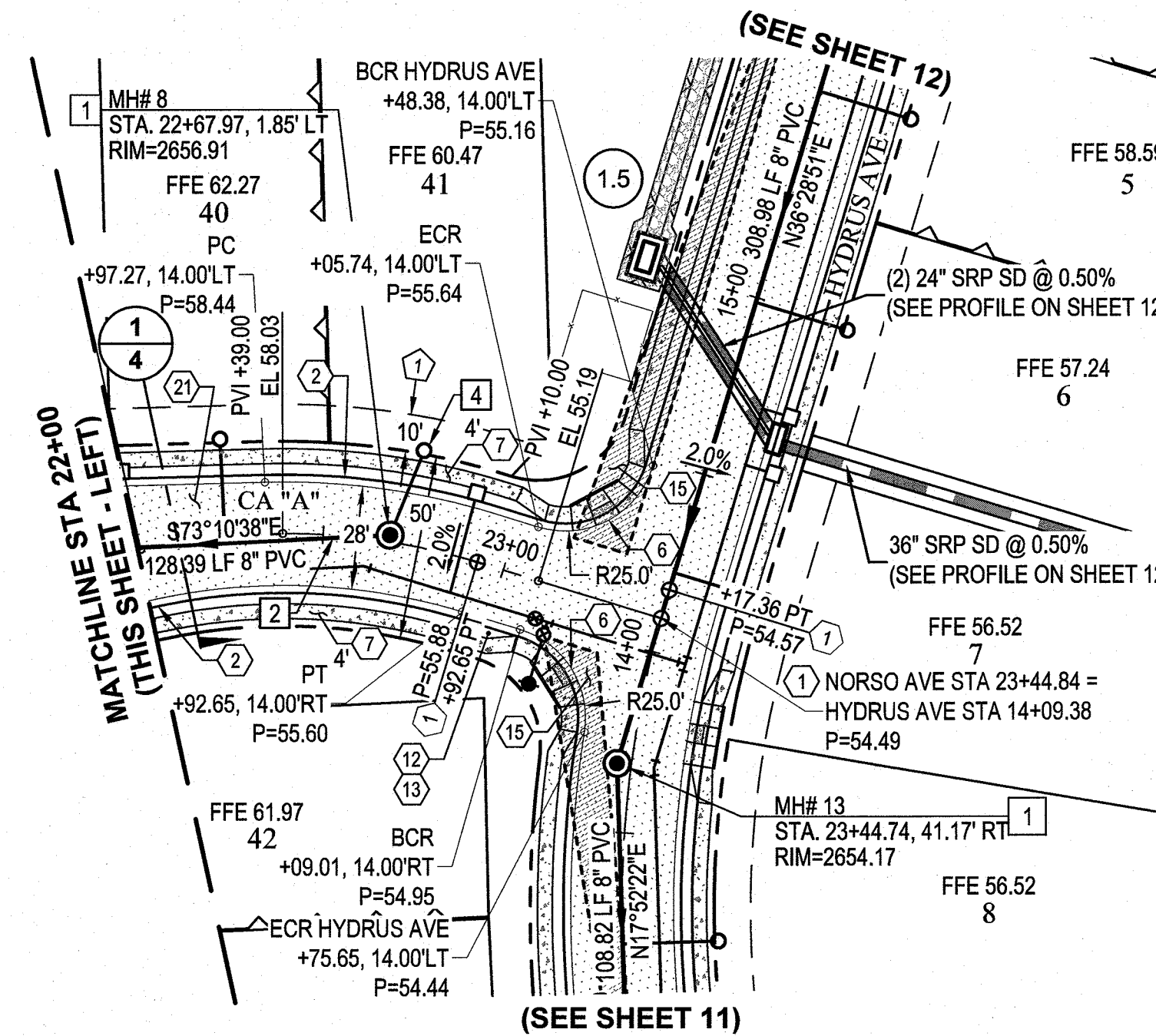
FFC 62.02
38

FFC 63.02
39

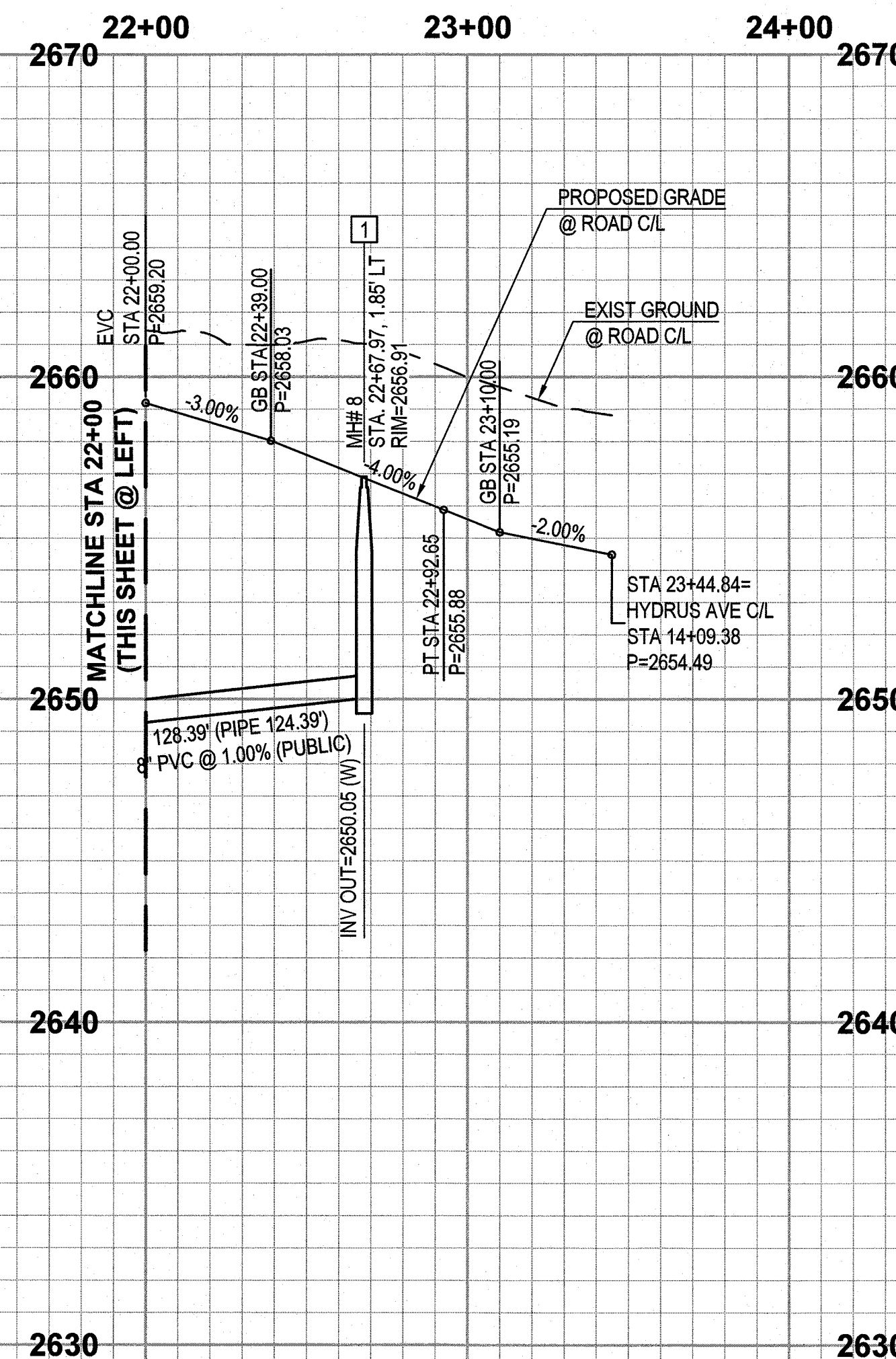
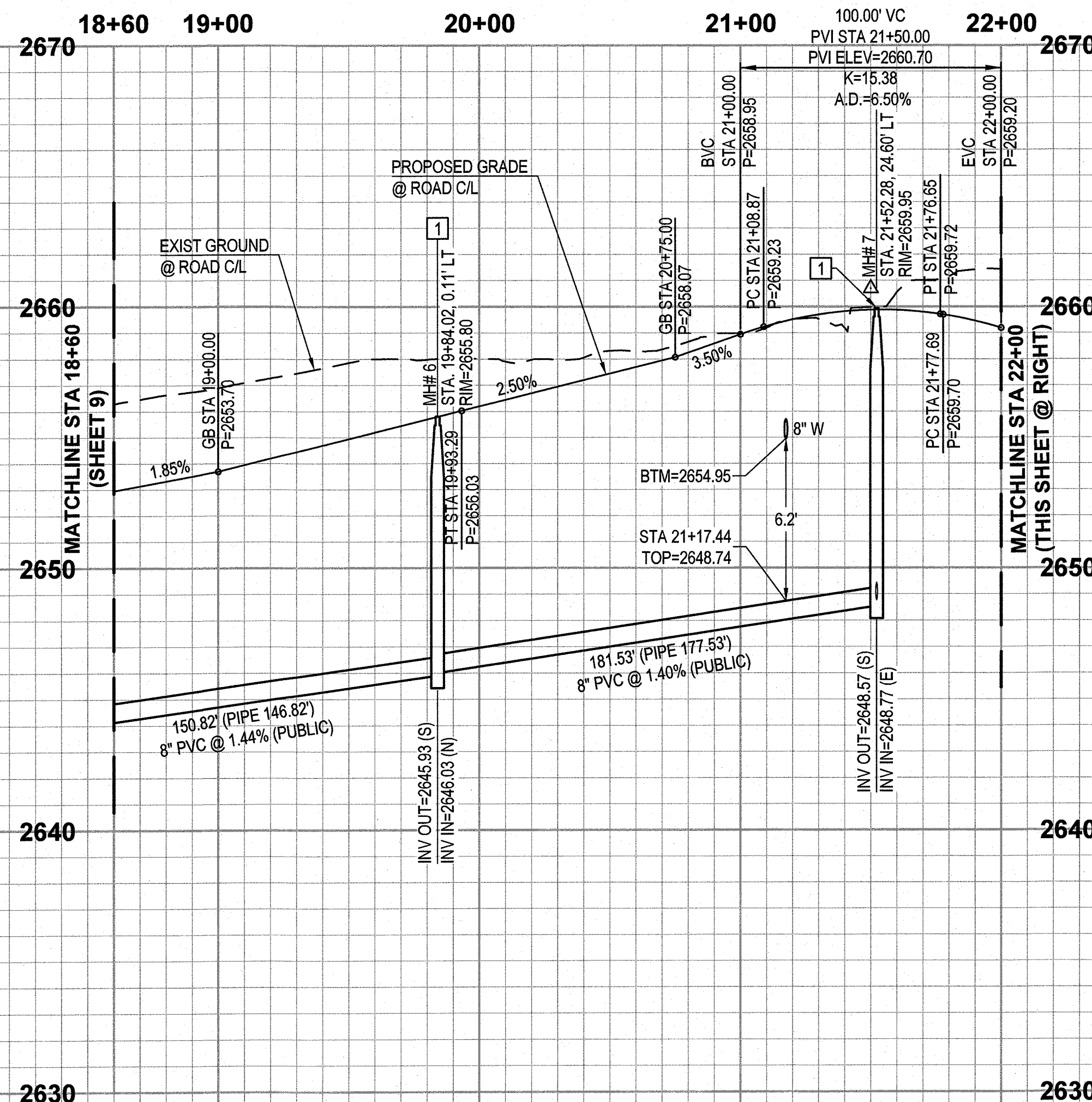
FFC 64.02
40



NORSOR AVE
(PRIVATE)



NORSOR AVE
(PRIVATE)



EASEMENTS AND SETBACKS KEY NOTES

- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
1. P.U.E. PER FINAL PLAT, SEQ. NO. _____, DIMENSION PER PLAN.
 2. PUBLIC WATER EASEMENT PER FINAL PLAT, SEQ. NO. _____.
 3. 30' X 30' PUBLIC SEWER EASEMENT PER FINAL PLAT, SEQ. NO. _____.
 4. PRIVATE SEWER EASEMENT PER SEPARATE INSTRUMENT, SEQ. NO. _____.
 5. BUILDING SETBACK LINE, SEE DETAIL 8, SHEET 63.
 6. 1' NO ACCESS EASEMENT PER FINAL PLAT, SEQ. NO. _____.
 7. PUBLIC DRAINAGE EASEMENT PER FINAL PLAT, SEQ. NO. _____.
 8. PUBLIC DRAINAGE EASEMENT PER SEPARATE INSTRUMENT, SEQ. NO. _____.

CONSTRUCTION KEY NOTES

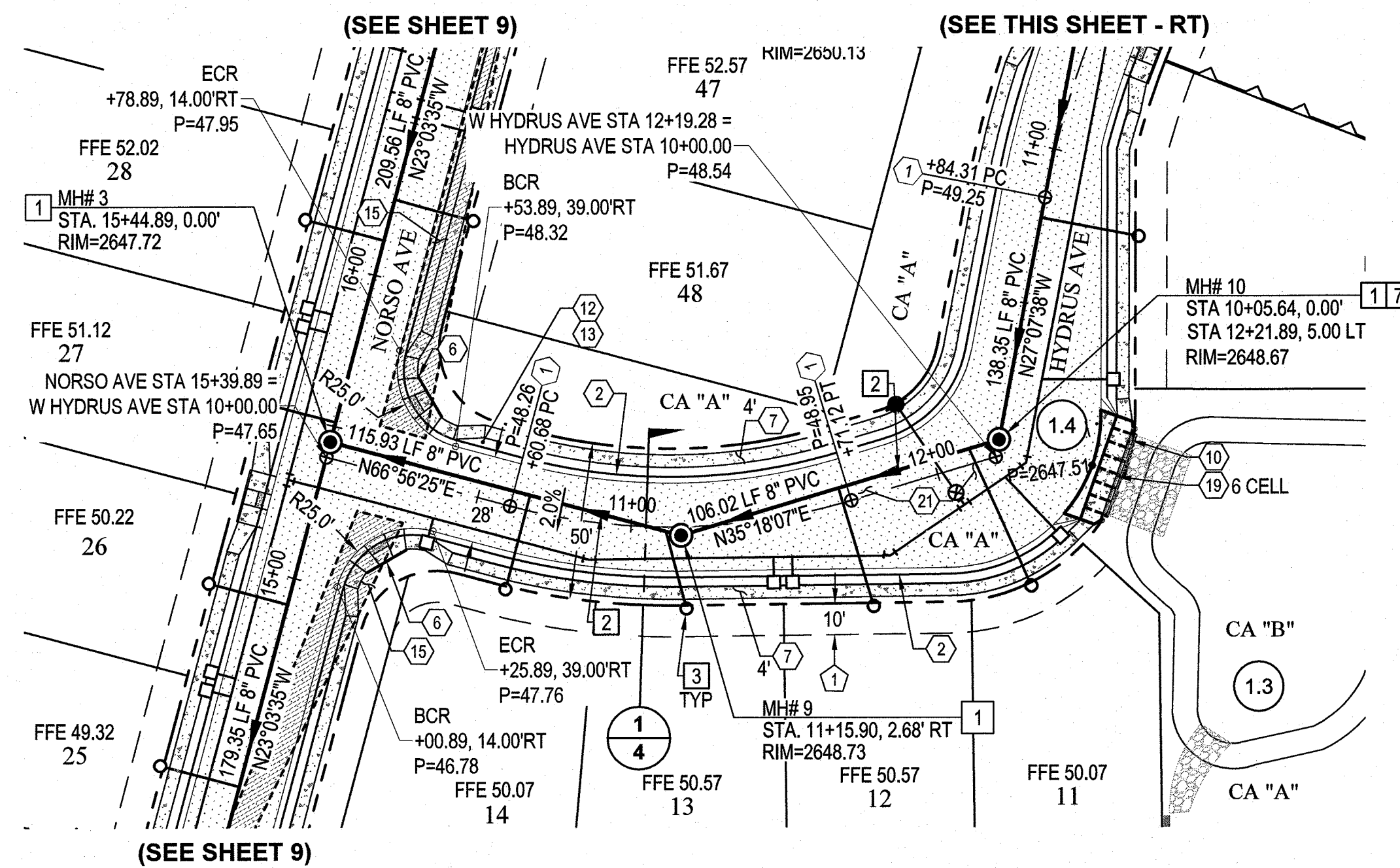
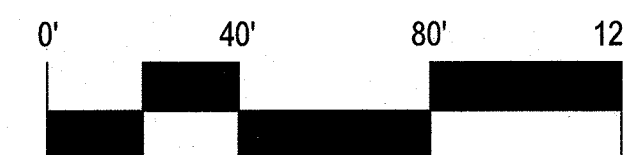
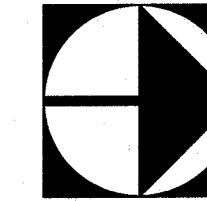
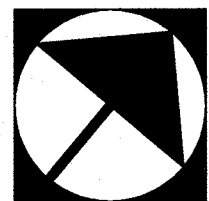
- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
1. INSTALL SURVEY MONUMENT PER PAG. STD. DTL. 103.
 2. CONSTRUCT 2' CONCRETE WEDGE CURB (H=6") PER PAG. STD. DTL. 209.
 3. CONSTRUCT 6" REVEAL VERTICAL CURB TYPE-2 PER PAG. STD. DTL. 209.
 4. CONSTRUCT CONCRETE HEADER CURB PER PAG. STD. DTL. 213.
 5. 10' TRANSITION FROM VERTICAL CURB TO WEDGE CURB PER PAG. STD. DTL. 210.
 6. CONSTRUCT CURB ACCESS RAMP PER PAG. STD. DTL. 207.
 7. CONSTRUCT 4' CONCRETE SIDEWALK PER PAG. STD. DTL. 200.
 8. CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG. STD. DTL. 211.
 9. CONCRETE SIDEWALK CONNECT NEW TO EXISTING PER PAG. STD. DTL. 203.
 10. INSTALL HANDRAIL PER PAG. STD. DTL. 105.
 11. INSTALL REMOVABLE POST BARRICADES PER PAG. STD. DTL. 107.
 12. INSTALL STREET NAME SIGN.
 13. INSTALL 30" X 30" R1-1 STOP SIGN.
 14. RETAINING WALL BY OTHERS (SEPARATE PERMIT).
 15. SIGHT VISIBILITY TRIANGLE PER DTL. 4 ON SHT. 4.
 16. SLOPE STABILIZATION PER DTL. 5, SHT. 4 SLOPE AS NOTED.
 17. WEED HOLE IN WALL AT FINISHED GRADE TYPICAL WITH ACCOMPANYING DISCHARGE EROSION MITIGATION RIP-RAP.
 18. CONSTRUCT RIP RAP SPLASH PAD PER DTL. 6, SHT. 4.
 19. SIDEWALK SCUPPER-TYPE 3 (CELLS PER PLAN) PER PAG. STD. DTL. 205.5.
 20. 4" DIA. (MIN.) PVC IRRIGATION SLEEVES WITH 30" MIN. COVER, SEE IRRIGATION PLANS.
 21. INSTALL NEW AC PAVEMENT (2.5" AC, 6" ABC).
 22. SAWCUT TRIM TACK & JOIN TO EXISTING PAVEMENT.
 23. PROTECTIVE FENCING FOR EXISTING SAGUARO, SEE DETAIL 4, SHT. 5.
 24. CONSTRUCT TYPE IV CATCH BASIN WITH (4) EF-1 GRATES PER PAG. STD. DTL. 309.
 25. JUNCTION STRUCTURE PER SEPARATE STRUCTURE PLAN.

PRIVATE SEWER CONSTRUCTION KEY NOTES

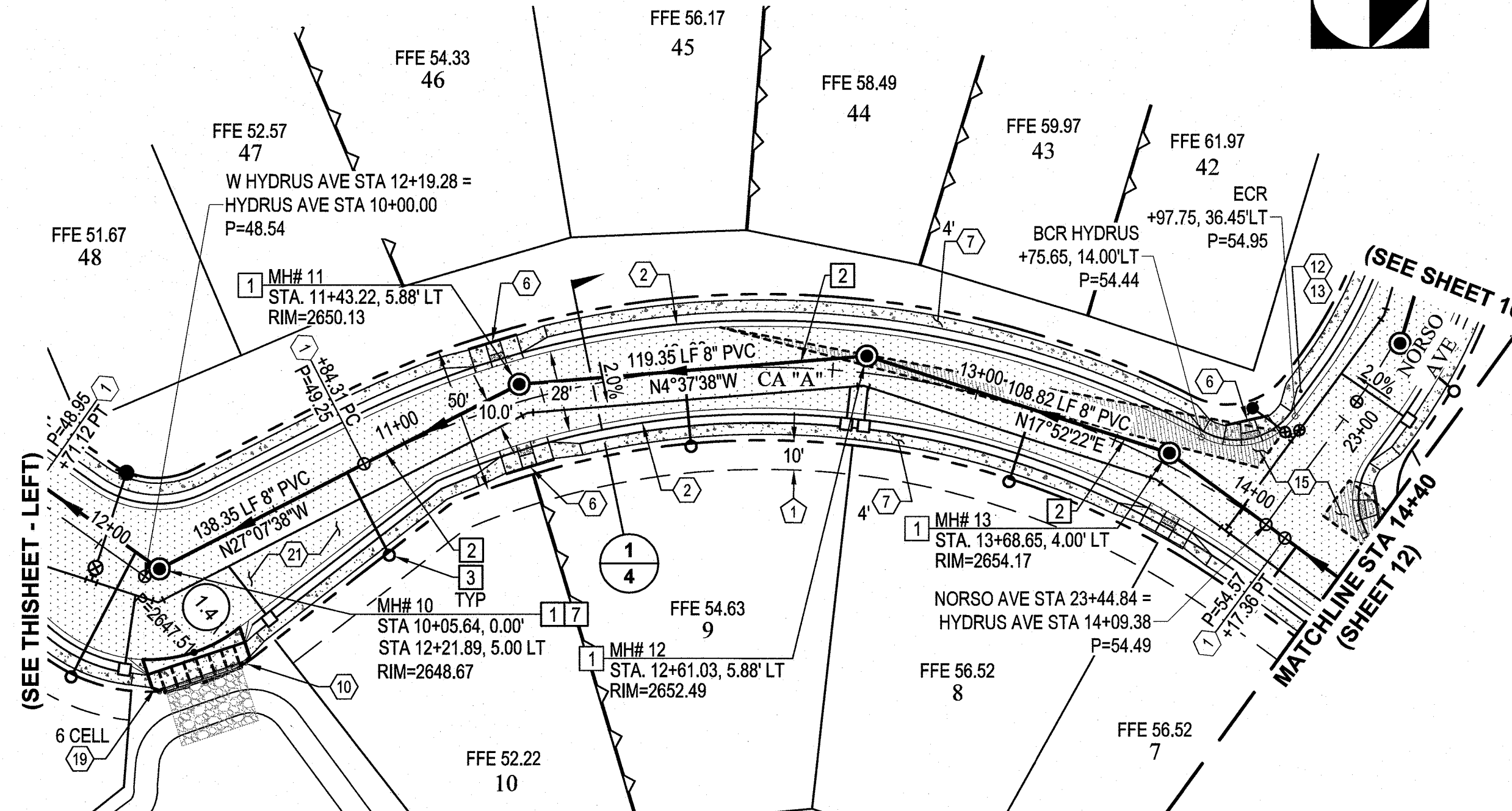
- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
1. 4" DIAMETER MANHOLE PER STD. DTL. RWRD 205 WITH CONCRETE COLLAR FOR PAVED AREA PER STD. DTL. RWRD 211 OR CONCRETE COLLAR FOR UNPAVED AREA PER STD. DTL. RWRD 212.
 2. INSTALL PVC GRAVITY SEWER, SIZE, LENGTH AND SLOPE PER PLAN, TRENCH AND BACKFILL PER STD. DTL. RWRD 104.
 3. HCS CONNECTION TO SEWER LINE PER STD. DTL. RWRD 401.
 4. HCS CONNECTION TO MANHOLE PER STD. DTL. RWRD 402.
 5. SEWER/WATER CROSSING PER STD. DTL. RWRD 108.
 6. INSTALL TEMPORARY PLUG AND SECURE WITH A CHAIN OR CABLE TO A MANHOLE STEP. PLUG TO INCLUDE CONTRACTOR'S COMPANY NAME. THE PLUG TO BE REMOVED AFTER PDEQ'S DISCHARGE AUTHORIZATION AND POST PAVING INSPECTION AS DIRECTED BY THE FIELD ENGINEERING INSPECTOR. PLUG TO BE PLACED DOWNSTREAM OF ALL PROPOSED SERVICE LATERALS.
 7. 24" WATERTIGHT FRAME AND COVER PER STD. DTL. RWRD 214.
 8. STABILIZED SURFACE TREATMENT PER STD. DTL. RWRD 111.
 9. SEWER MAINTENANCE ACCESS SHALL BE MAINTAINED BY RWRD.
 9. NEW MANHOLE OVER EXISTING SEWER LINE PER STD. DTL. RWRD 303.



PROJECT NO:
RELATED CASE #s
OV1601793

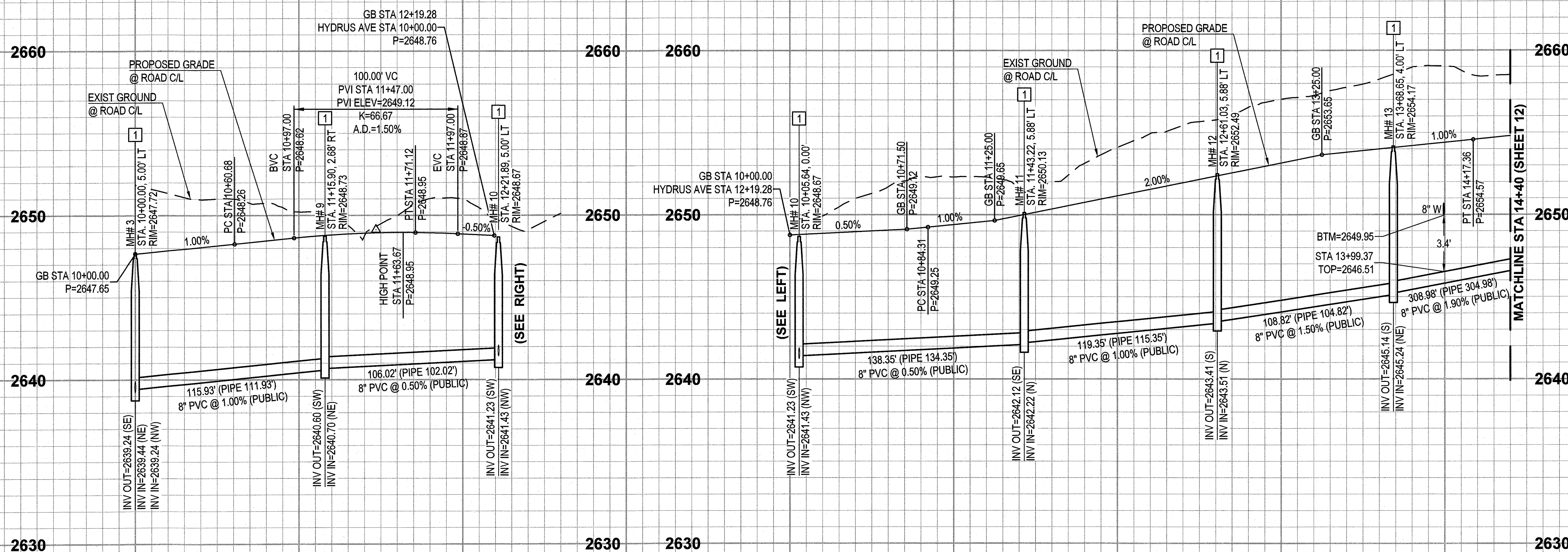


W HYDRUS AVE
(PRIVATE)



HYDRUS AVE
(PRIVATE)

2670 9+60 10+00 11+00 12+00 12+60 2670 2670 9+60 10+00 11+00 12+00 13+00 14+00 14+40 2670



CAPELLA PARCEL M

LOTS 1 THRU 48 AND COMMON AREAS A & B
A PORTION OF SECTION 9, T12S, R13E, G&SRM TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

FINAL SITE PLAN, GRADING PLAN,
PUBLIC SEWER AND PRIVATE STREET IMPROVEMENT PLAN

File: Q:\110028A-008 Parcel M Platting\04 Platting\04 FSP\11-CAP_M_PLN.dwg Plot Date: 1/31/2020 1:13 PM By: gauderian

EASEMENTS AND SETBACKS KEY NOTES

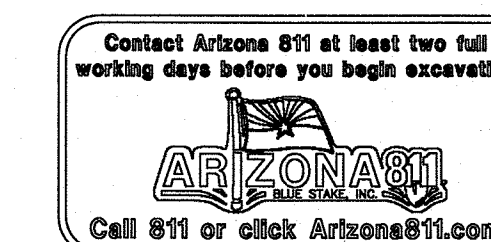
- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
- 1 P.U.E. PER FINAL PLAT, SEQ. NO. _____, DIMENSION PER PLAN.
 - 2 PUBLIC WATER EASEMENT PER FINAL PLAT, SEQ. NO. _____
 - 3 30' X 30' PUBLIC SEWER EASEMENT PER FINAL PLAT, SEQ. NO. _____
 - 4 PRIVATE SEWER EASEMENT PER SEPARATE INSTRUMENT, SEQ. NO. _____
 - 5 BUILDING SETBACK LINE, SEE DETAIL 8, SHEET 63
 - 6 1' NO ACCESS EASEMENT PER FINAL PLAT, SEQ. NO. _____
 - 7 PUBLIC DRAINAGE EASEMENT PER FINAL PLAT, SEQ. NO. _____
 - 8 PUBLIC DRAINAGE EASEMENT PER SEPARATE INSTRUMENT, SEQ. NO. _____

CONSTRUCTION KEY NOTES

- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
- 1 INSTALL SURVEY MONUMENT PER PAG STD. DTL. 103.
 - 2 CONSTRUCT 2' CONCRETE WEDGE CURB (H=6") PER PAG STD. DTL. 209.
 - 3 CONSTRUCT 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
 - 4 CONSTRUCT CONCRETE HEADER CURB PER PAG STD. DTL. 213.
 - 5 10' TRANSITION FROM VERTICAL CURB TO WEDGE CURB PER PAG STD. DTL. 210.
 - 6 CONSTRUCT CURB ACCESS RAMP PER PAG STD. DTL. 207.
 - 7 CONSTRUCT 4' CONCRETE SIDEWALK PER PAG STD. DTL. 200.
 - 8 CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211.
 - 9 CONCRETE SIDEWALK CONNECT NEW TO EXISTING PER PAG STD. DTL. 203.
 - 10 INSTALL HANDRAIL PER PAG STD. DTL. 105.
 - 11 INSTALL REMOVABLE POST BARRICADES PER PAG STD. DTL. 107.
 - 12 INSTALL STREET NAME SIGN.
 - 13 INSTALL 30" X 30" R1-1 STOP SIGN.
 - 14 RETAINING WALL BY OTHERS (SEPARATE PERMIT).
 - 15 SIGHT VISIBILITY TRIANGLE PER DTL. 4 ON SHT. 4.
 - 16 SLOPE STABILIZATION PER DTL. 5, SHT. 4 SLOPE AS NOTED.
 - 17 WEED HOLE IN WALL AT FINISHED GRADE TYPICAL WITH ACCOMPANYING DISCHARGE EROSION MITIGATION RIP-RAP.
 - 18 CONSTRUCT RIP RAP SPLASH PAD PER DTL. 6, SHT. 4.
 - 19 SIDEWALK SCUPPER-TYPE 3 (CELLS PER PLAN) PER PAG STD. DTL. 205.5.
 - 20 4" DIA. (MIN.) PVC IRRIGATION SLEEVES WITH 30" MIN. COVER, SEE IRRIGATION PLANS.
 - 21 INSTALL NEW AC PAVEMENT (2.5" AC, 6" ABC).
 - 22 SAWCUT TRIM TACK & JOIN TO EXISTING PAVEMENT
 - 23 PROTECTIVE FENCING FOR EXISTING SAGUARO, SEE DETAIL 4, SHT. 5.
 - 24 CONSTRUCT TYPE IV CATCH BASIN WITH (4) EF-1 GRATES PER PAG STD. DTL. 309.
 - 25 JUNCTION STRUCTURE PER SEPARATE STRUCTURE PLAN.

PRIVATE SEWER CONSTRUCTION KEY NOTES

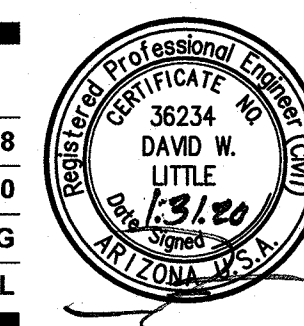
- (ALL NOTES MAY NOT APPLY TO THIS SHEET)
- 1 4' DIAMETER MANHOLE PER STD. DTL. RWRD 205 WITH CONCRETE COLLAR FOR PAVED AREA PER STD. DTL. RWRD 211 OR CONCRETE COLLAR FOR UNPAVED AREA PER STD. DTL. RWRD 212.
 - 2 INSTALL PVC GRAVITY SEWER, SIZE, LENGTH AND SLOPE PER PLAN, TRENCH AND BACKFILL PER STD. DTL. RWRD 104
 - 3 HCS CONNECTION TO SEWER LINE PER STD. DTL. RWRD 401
 - 4 HCS CONNECTION TO MANHOLE PER STD. DTL. RWRD 402
 - 5 SEWER/WATER CROSSING PER STD. DTL. RWRD 108
 - 6 INSTALL TEMPORARY PLUG AND SECURE WITH A CHAIN OR CABLE TO A MANHOLE STEP. PLUG TO INCLUDE CONTRACTOR'S COMPANY NAME, THE PLUG TO BE REMOVED AFTER PDEQ'S DISCHARGE AUTHORIZATION AND POST PAVING INSPECTION AS DIRECTED BY THE FIELD ENGINEERING INSPECTOR. PLUG TO BE PLACED DOWNSTREAM OF ALL PROPOSED SERVICE LATERALS.
 - 7 24" WATERTIGHT FRAME AND COVER PER STD. DTL. RWRD 214
 - 8 STABILIZED SURFACE TREATMENT PER STD. DTL. RWRD 111
 - 9 SEWER MAINTENANCE ACCESS SHALL BE MAINTAINED BY RWRD.
 - 9 NEW MANHOLE OVER EXISTING SEWER LINE PER STD. DTL. RWRD 303.



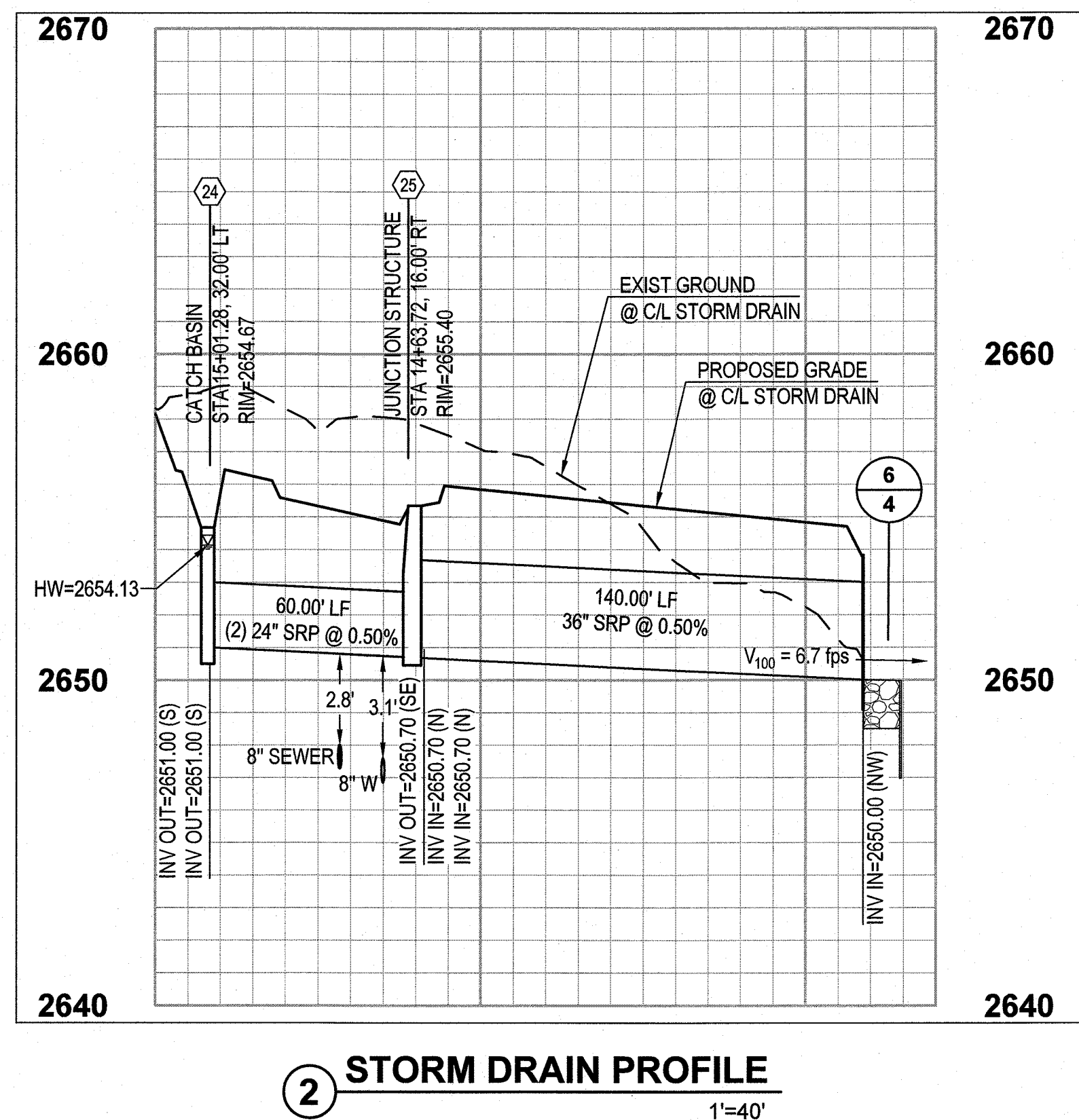
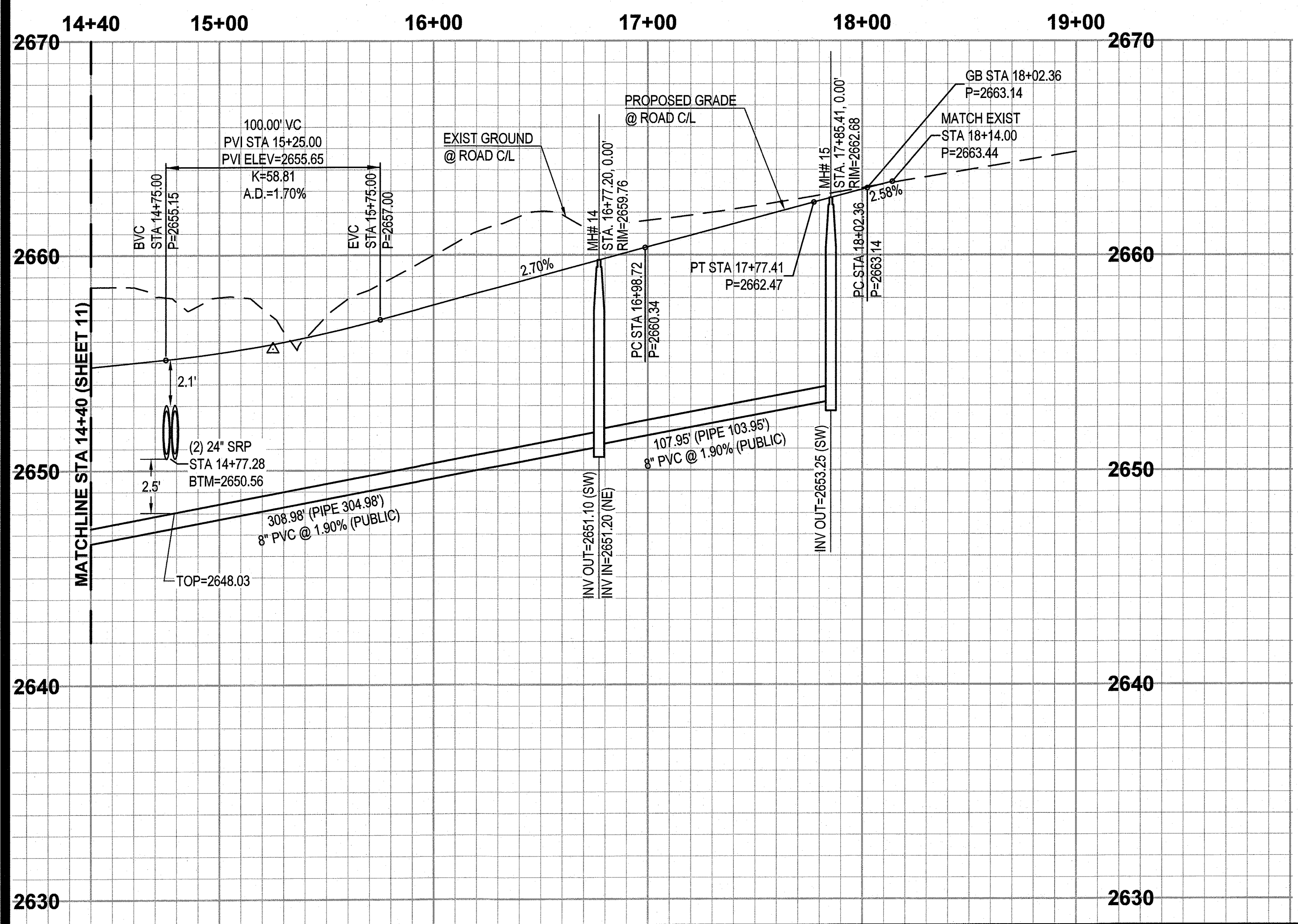
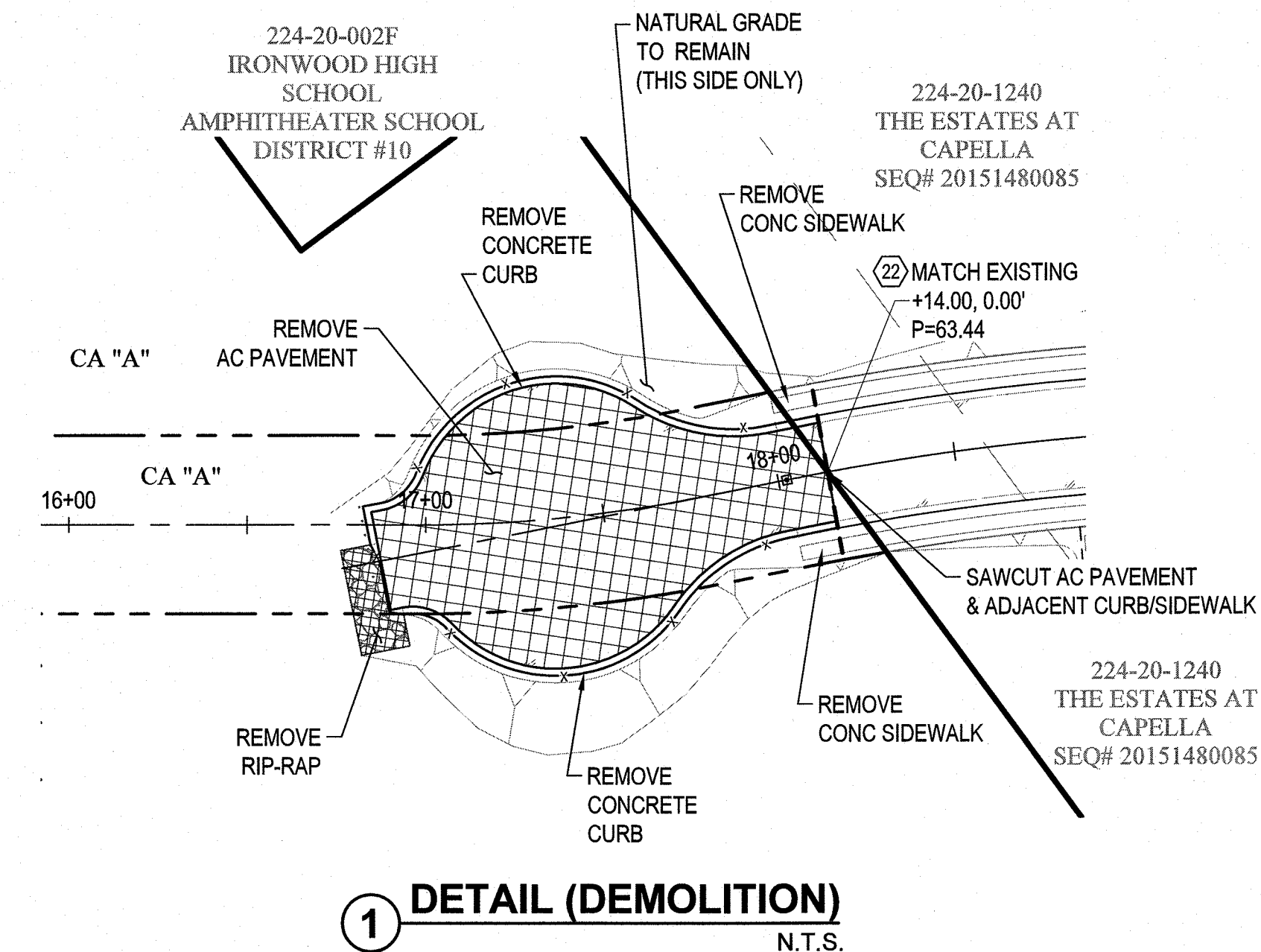
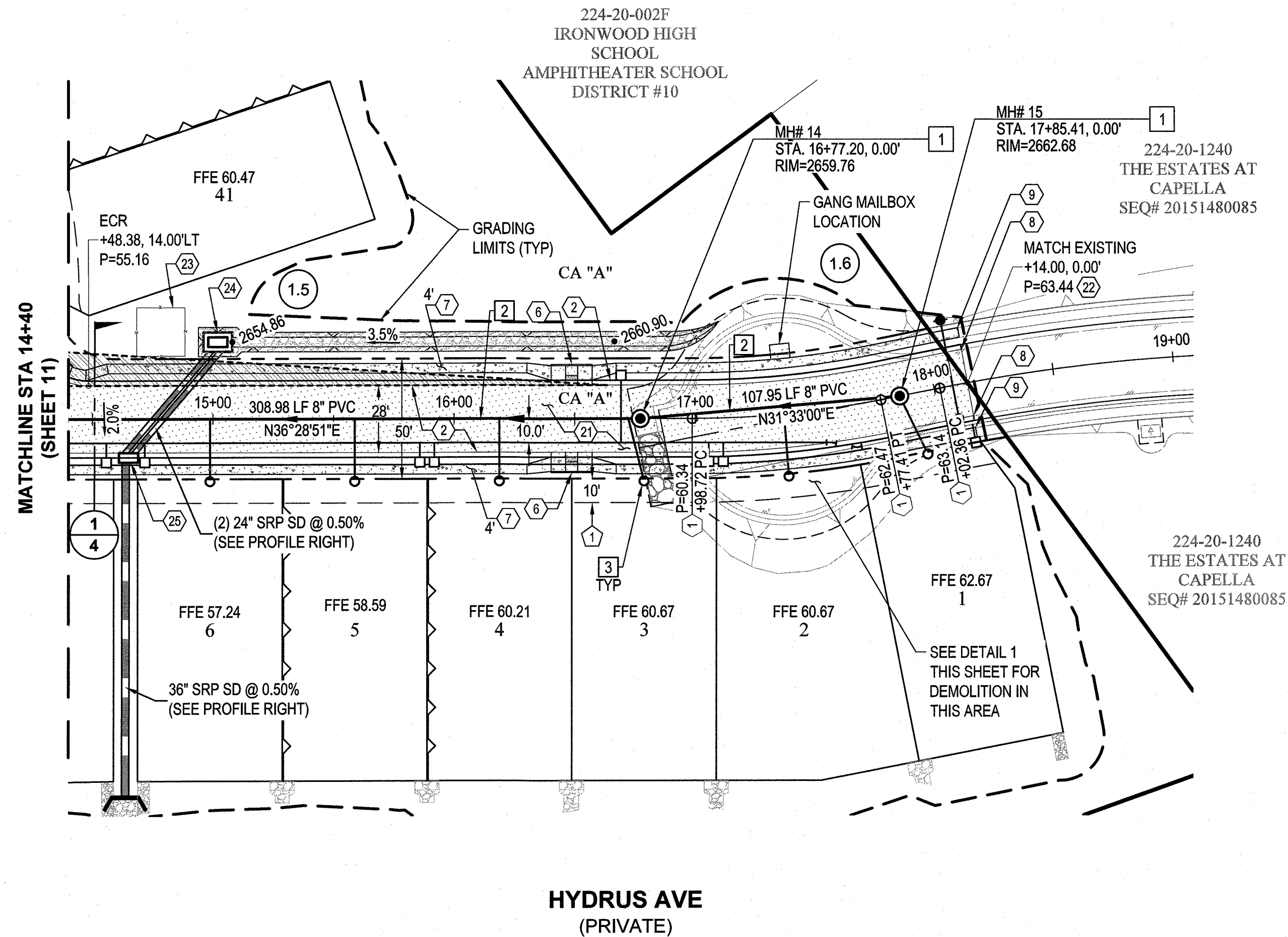
PROJECT NO:
RELATED CASE #s
OV1601793

The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada.
4444 East Broadway
Tucson, Arizona (520) 951-7480



Sheet 11
of 12



- EASEMENTS AND SETBACKS KEY NOTES**
(ALL NOTES MAY NOT APPLY TO THIS SHEET)
- P.U.E. PER FINAL PLAT, SEQ NO. _____, DIMENSION PER PLAN.
 - PUBLIC WATER EASEMENT PER FINAL PLAT, SEQ NO. _____
 - 30' X 30' PUBLIC SEWER EASEMENT PER FINAL PLAT, SEQ NO. _____
 - PRIVATE SEWER EASEMENT PER SEPARATE INSTRUMENT, SEQ NO. _____
 - BUILDING SETBACK LINE, SEE DETAIL 8, SHEET 63
 - 1' NO ACCESS EASEMENT PER FINAL PLAT, SEQ NO. _____
 - PUBLIC DRAINAGE EASEMENT PER FINAL PLAT, SEQ NO. _____
 - PUBLIC DRAINAGE EASEMENT PER SEPARATE INSTRUMENT, SEQ NO. _____
- CONSTRUCTION KEY NOTES**
(ALL NOTES MAY NOT APPLY TO THIS SHEET)
- INSTALL SURVEY MONUMENT PER PAG STD. DTL. 103.
 - CONSTRUCT 2' CONCRETE WEDGE CURB (H=6") PER PAG STD. DTL. 209.
 - CONSTRUCT 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
 - CONSTRUCT CONCRETE HEADER CURB PER PAG STD. DTL. 213.
 - 10' TRANSITION FROM VERTICAL CURB TO WEDGE CURB PER PAG STD. DTL. 210.
 - CONSTRUCT CURB ACCESS RAMP PER PAG STD. DTL. 207.
 - CONSTRUCT 4' CONCRETE SIDEWALK PER PAG STD. DTL. 200.
 - CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211.
 - CONCRETE SIDEWALK CONNECT NEW TO EXISTING PER PAG STD. DTL. 203.
 - INSTALL HANDRAIL PER PAG STD. DTL. 105.
 - INSTALL REMOVABLE POST BARRICADES PER PAG STD. DTL. 107.
 - INSTALL STREET NAME SIGN.
 - INSTALL 30" X 30" R1-1 STOP SIGN.
 - RETAINING WALL BY OTHERS (SEPARATE PERMIT).
 - SIGHT VISIBILITY TRIANGLE PER DTL. 4 ON SHT. 4.
 - SLOPE STABILIZATION PER DTL. 5, SHT. 4 SLOPE AS NOTED.
 - WEEP HOLE IN WALL AT FINISHED GRADE TYPICAL WITH ACCOMPANYING DISCHARGE EROSION MITIGATION RIP-RAP.
 - CONSTRUCT RIP RAP SPLASH PAD PER DTL. 6, SHT. 4.
 - SIDEWALK SCUPPER-TYPE 3 (CELLS PER PLAN) PER PAG STD. DTL. 205.5.
 - 4" DIA. (MIN.) PVC IRRIGATION SLEEVES WITH 30" MIN. COVER, SEE IRRIGATION PLANS.
 - INSTALL NEW AC PAVEMENT (2.5" AC, 6" ABC).
 - SAWCUT TRIM TACK & JOIN TO EXISTING PAVEMENT
 - PROTECTIVE FENCING FOR EXISTING SAGUARO, SEE DETAIL 4, SHT. 5.
 - CONSTRUCT TYPE IV CATCH BASIN WITH (4) EF-1 GRATES PER PAG STD. DTL. 309.
 - JUNCTION STRUCTURE PER SEPARATE STRUCTURE PLAN.
- PRIVATE SEWER CONSTRUCTION KEY NOTES**
(ALL NOTES MAY NOT APPLY TO THIS SHEET)
- 4" DIAMETER MANHOLE PER STD. DTL. RWRD 205 WITH CONCRETE COLLAR FOR PAVED AREA PER STD. DTL. RWRD 211 OR CONCRETE COLLAR FOR UNPAVED AREA PER STD. DTL. RWRD 212.
 - INSTALL PVC GRAVITY SEWER, SIZE, LENGTH AND SLOPE PER PLAN, TRENCH AND BACKFILL PER STD. DTL. RWRD 104
 - HCS CONNECTION TO SEWER LINE PER STD. DTL. RWRD 401
 - HCS CONNECTION TO MANHOLE PER STD. DTL. RWRD 402
 - SEWER/WATER CROSSING PER STD. DTL. RWRD 108
 - INSTALL TEMPORARY PLUG AND SECURE WITH A CHAIN OR CABLE TO A MANHOLE STEP. PLUG TO INCLUDE CONTRACTOR'S COMPANY NAME. THE PLUG TO BE REMOVED AFTER PDEQ'S DISCHARGE AUTHORIZATION AND POST PAYING INSPECTION AS DIRECTED BY THE FIELD ENGINEERING INSPECTOR. PLUG TO BE PLACED DOWNSTREAM OF ALL PROPOSED SERVICE LATERALS.
 - 24" WATERTIGHT FRAME AND COVER PER STD. DTL. RWRD 214
 - STABILIZED SURFACE TREATMENT PER STD. DTL. RWRD 111
 - SEWER MAINTENANCE ACCESS SHALL BE MAINTAINED BY RWRD.
 - NEW MANHOLE OVER EXISTING SEWER LINE PER STD. DTL. RWRD 303.