

GENERAL NOTES

1. BASIS OF BEARINGS IS: "CENTERLINE OF EASTERN END OF GREENOCK DRIVE AT THE WESTERLY RIGHT-OF-WAY OF THE TUCSON-FLORENCE HIGHWAY: N41°46'17"W" AS STATED ON A TOPOGRAPHIC SURVEY PREPARED BY JEDINAK, INC. SEALED AND DATED BY ROBERT J. JEDINAK, RLS 15332 ON 10/9/2017.
2. BASIS OF ELEVATIONS IS: "PIMA COUNTY DOT GEODETIC CONTROL POINT T12S, R13E, INDEX CODE E21 ORTHOMETRIC HEIGHT (NAVD88) 2693.76" PER AFOREMENTIONED SURVEY.
3. BASIS OF ELEVATION, BASIS OF BEARINGS, BOUNDARIES, EASEMENTS, TOPOGRAPHIC DATA AND CULTURE SHOWN ARE FROM THE AFOREMENTIONED SURVEY PREPARED BY JEDINAK, INC.
4. GROSS AREA OF DEVELOPMENT IS 103,618.35 SF OR 2.38 ACRES
5. GROSS FLOOR AREA (GFA) FOR PHASE 1 IS 6,473 SF. GFA FOR PHASE 2 BUILDING IS 8,444 SF.
6. MAXIMUM ALLOWED FLOOR AREA RATIO (FAR) IS 0.25.
FAR PROPOSED IS (6,473+8,444)/103,618.35 = 0.14
7. GROSS AREA OF IMPERVIOUS SURFACES IS 57,919 SF.
8. TOTAL MILES OF NEW PUBLIC STREETS IS 0.
9. TOTAL MILES OF NEW PRIVATE STREETS IS 0.
10. THERE ARE NO ZONING VARIANCES, INTERPRETATIONS OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT. AN ALTERNATIVE PARKING RATIO FOR PHASE 1 WAS APPROVED BY TOWN COUNCIL ON JULY 18, 2018.
11. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS

PLANNING GENERAL NOTES

1. THE PHASE 1 USE IS MEDICAL OFFICE. THE PHASE 2 USE IS TO BE DETERMINED BUT WILL BE AN ALLOWED C-1 USE AND IS ASSUMED TO BE MEDICAL OFFICE FOR PARKING CALCULATION PURPOSES.
2. THE MAXIMUM BUILDING HEIGHT IS 25' (MAX 2-STORY) SUBJECT TO THE ORSCOD RESTRICTION OF 18' MAX WITHIN 300' OF ORACLE RD. THE PROPOSED BUILDING HEIGHTS ARE 18'.
3. THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA OF THE ORACLE ROAD SCENIC CORRIDOR DISTRICT (ORSCOD). THE OVERLAY APPLIES TO BOTH LOTS.
4. THIS PROJECT IS NOT INCLUDED IN THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA).
5. THIS PROJECT IS NOT SUBJECT TO THE REQUIREMENTS FOR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
6. MINIMUM OPEN SPACE REQUIREMENT IS 20% OF LOT AREA=20,724 SF. OPEN SPACE PROVIDED IS 40,397 SF.
7. COURTYARD AREA REQUIRED IS 2% OF LOT AREA=2,072 SF. TOTAL AREA OF LANDSCAPED COURTYARDS IS 2,396 SF.
8. NO LANDSCAPE BUFFER YARDS ALONG INTERIOR BORDERS ARE REQUIRED PER OVZCR TABLE 27.7. A MINIMUM 30' BUFFER YARD 'B' IS REQUIRED ALONG THE STREET FRONTAGE PER OVZCR TABLE 27-9. APPROVAL OF A THE REDUCED WIDTH SHOWN IS CONDITIONED UPON SUPPLEMENTAL LANDSCAPING ONSITE WHICH WILL BE REFLECTED ON THE LANDSCAPE PLAN.
9. NO SCREENING ALONG INTERIOR BORDERS IS REQUIRED PER OVZCR TABLE 27-12.
10. SETBACKS:
FRONT REQ'D: 20' (SUBJECT TO ORSCOD 60' MIN OR 4:1 SETBACK TO BUILDING HEIGHT RATIO=4x18'=72').
FRONT PROVIDED: PHASE 1 - 85.40', PHASE 2 - 42'
REAR REQ'D: 25'
REAR PROVIDED: PHASE 1 - 40', PHASE 2 - 185'
SIDES REQ'D: 25'
SIDES PROVIDED: PHASE 1 - 73.97' AND 59.52', PHASE 2 - 47.33' AND 26.10'
11. EXISTING ZONING IS C-1
12. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER OVZCR SECTION 27.3
13. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. DESIGN SPEED IS 5 MPH
2. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL
3. A SEPARATE ADOT HIGHWAY ENCROACHMENT PERMIT IS REQUIRED FOR THE DRIVEWAY CONNECTION TO ORACLE ROAD AND FOR NEW WATERLINES IN THE RIGHT-OF-WAY.
4. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC
5. OWNER WILL COORDINATE PAYMENT OF IN-LIEU FEES TO THE TOWN OF ORO VALLEY FOR CONSTRUCTION OF FUTURE SIDEWALK IMPROVEMENTS IN ORACLE ROAD RIGHT-OF-WAY
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. FINAL SITE PLAN AND IMPROVEMENT PLANS MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

DRAINAGE GENERAL NOTES

1. ALL DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMIT FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGEWAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGEWAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
4. DRAINAGEWAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
5. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
6. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT
7. THE FOLLOWING LOTS ARE AFFECTED BY THE TOWN OF ORO VALLEY FLOODPLAIN REGULATIONS: LOTS 1 AND 2.
8. A FLOODPLAIN USE PERMIT AND/OR FINISHED FLOOR ELEVATION CERTIFICATES ARE REQUIRED FOR THE FOLLOWING LOTS: LOT 2.

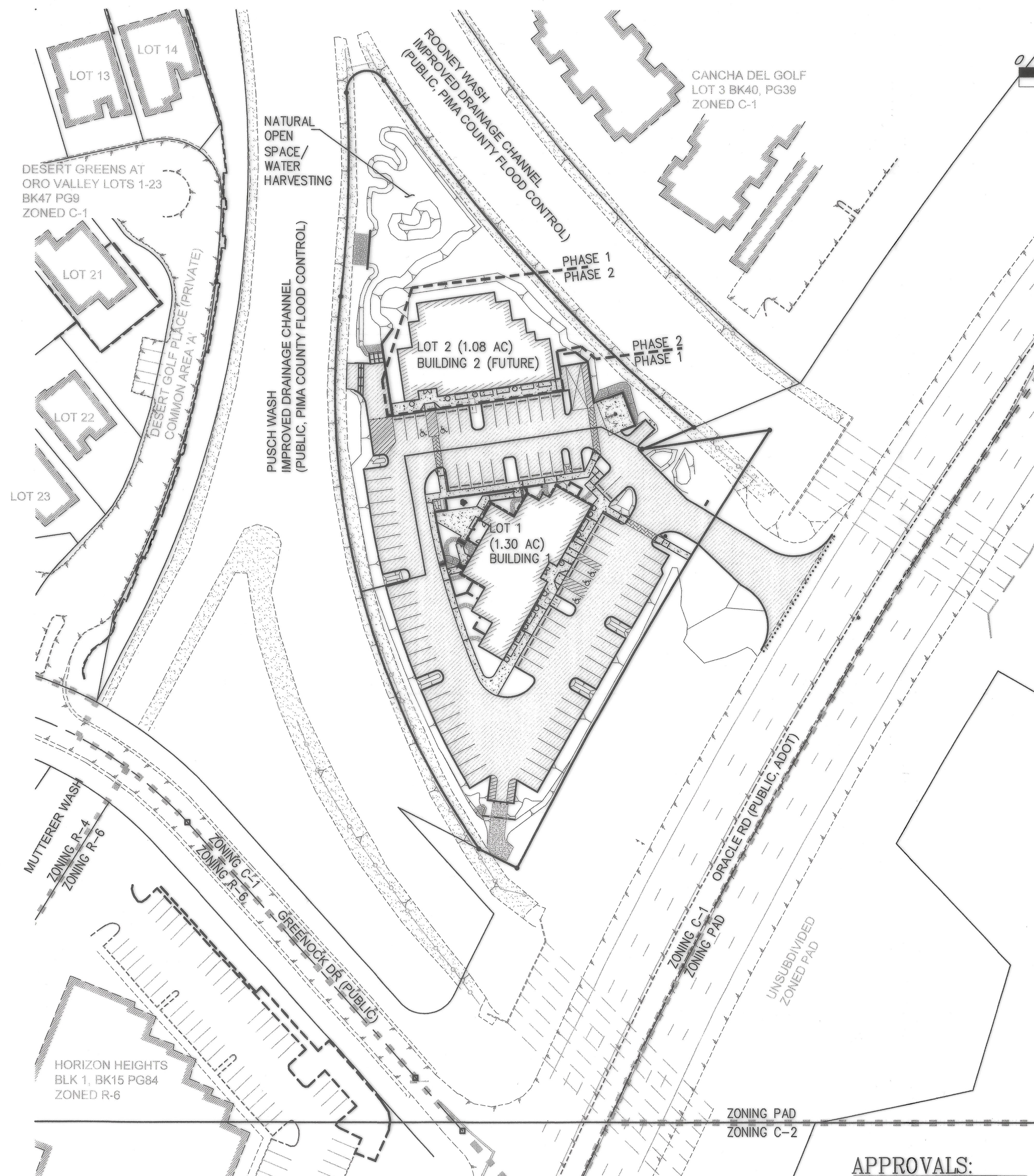
ORO VALLEY WATER UTILITY GENERAL NOTES

1. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
2. ORO VALLEY WATER UTILITY SHALL BE THE WATER PROVIDER.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE
3. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED THROUGHOUT ALL GROUP A, B, E, F, H, I, M, R, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION. APPROVED AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED THROUGHOUT ALL ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES USED AS MODEL HOMES WITH SALES OR CONSTRUCTION OFFICES, AND ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WHICH EXCEED 3,600 SQUARE FEET IN FIRE-FLOW CALCULATION AREA HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM

FINAL SITE PLAN IRONWOOD DERMATOLOGY OV1801101



OVERVIEW MAP

BUILDING CODES

THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- 2006 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
- 2005 NATIONAL ELECTRICAL CODE
- 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES
- 2006 GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- 2008 TOWN OF ORO VALLEY POOL CODE
- 2015 PAG STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
- 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

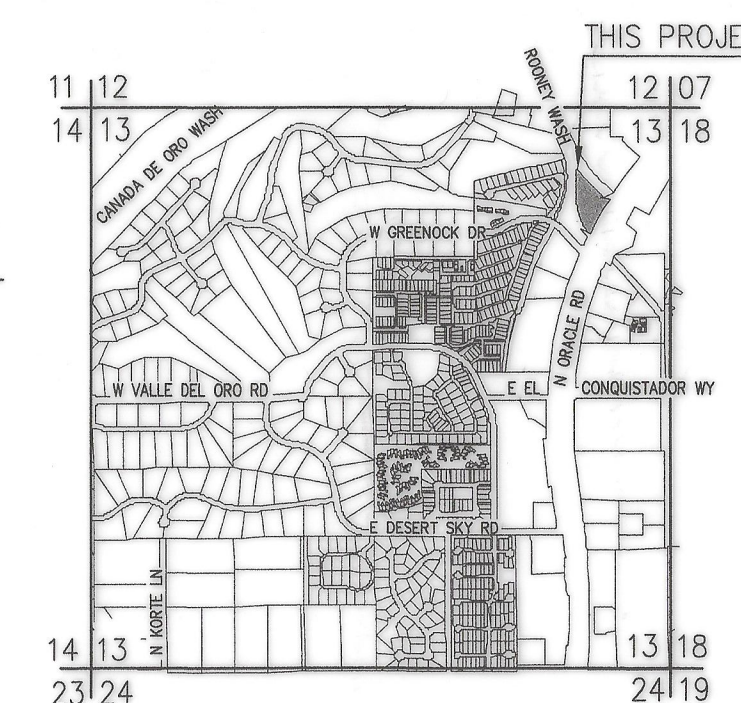
APPROVALS:

	1-19-19
PLANNING & ZONING ADMINISTRATOR	DATE
	1/18/19
TOWN ENGINEER	DATE
	1-16-19
ORO VALLEY WATER UTILITY DIRECTOR	DATE

LOT	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
1	MEDICAL OFFICE	6,473	4.5/1000	29	55	3	3	1 PER 5,000-100,000SF	1	1	0	0	3	4
2	MEDICAL OFFICE	7,111	4.5/1000	32	32	2	2	1 PER 5,000-100,000SF	1	1	0	0	2	2
TOTALS				61	87	5	5		1	1	0	0	5	6



NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE



LOCATION MAP

LOCATED IN THE N.E. 1/4 OF SEC 13, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

LEGEND

	SUBJECT PARCEL BOUNDARY
	ADJACENT PROPERTY/ROW LINE
	EASEMENT LINE
	CENTERLINE
	EXISTING CURB AND EDGE OF ASPHALT PAVEMENT
	EXISTING 5' CONTOUR LINE
	EXISTING 1' CONTOUR LINE
	EXISTING WATERLINE, VALVE, REDUCER & METER
	EXISTING OVERHEAD UTILITY LINE & POLE
	EXISTING UNDERGROUND COMMUNICATIONS
	EXISTING GAS LINE
	EXISTING SEWER, FLOW DIRECTION & MANHOLE
	PROPOSED WATERLINE, VALVE, FH ASSEMBLY & METER
	PROPOSED FIRE SERVICE LINE
	PROPOSED BUILDING CONNECTION SEWER & CLEANOUT
	EXISTING BARRICADE RAILING
	PROPOSED PAVING
	PHASE LINE
	SIGHT VISIBILITY TRIANGLE
	PROPOSED STOP SIGN
	ZONING BOUNDARY LINE
	LINE NUMBER, CURVE NUMBER
	RECORD OR CALCULATED DIMENSION
	FLOODPLAIN FEMA ZONE A
	PANEL 1089, EFFECTIVE 6/6/11
	EXISTING 100-YEAR FLOODPLAIN
	PROPOSED 100-YEAR FLOODPLAIN
	100-YEAR WATER SURFACE ELEVATION (DEVELOPED)

SITE ADDRESS

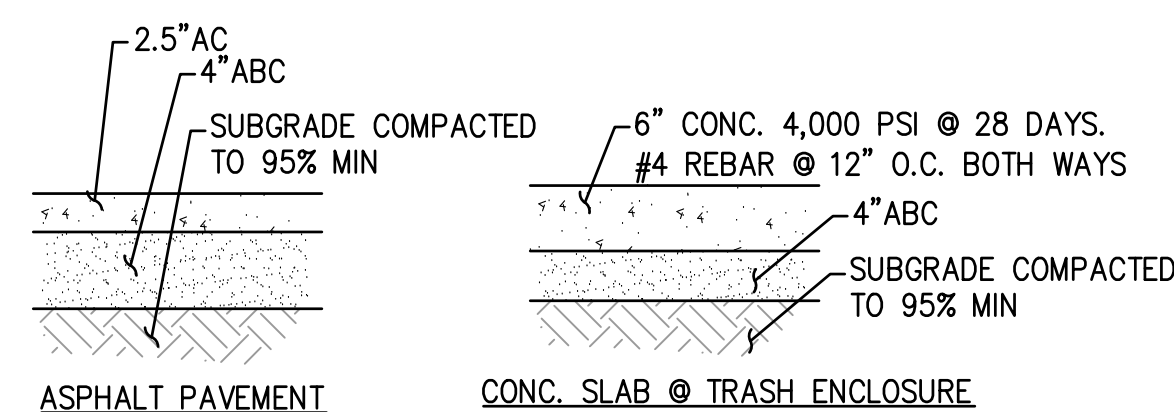
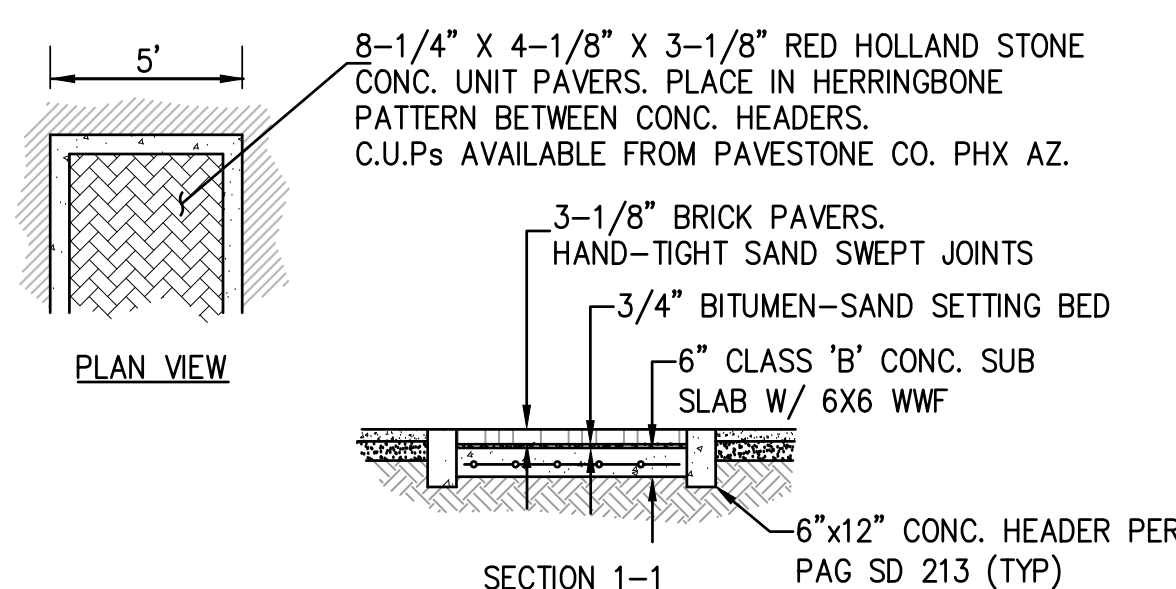
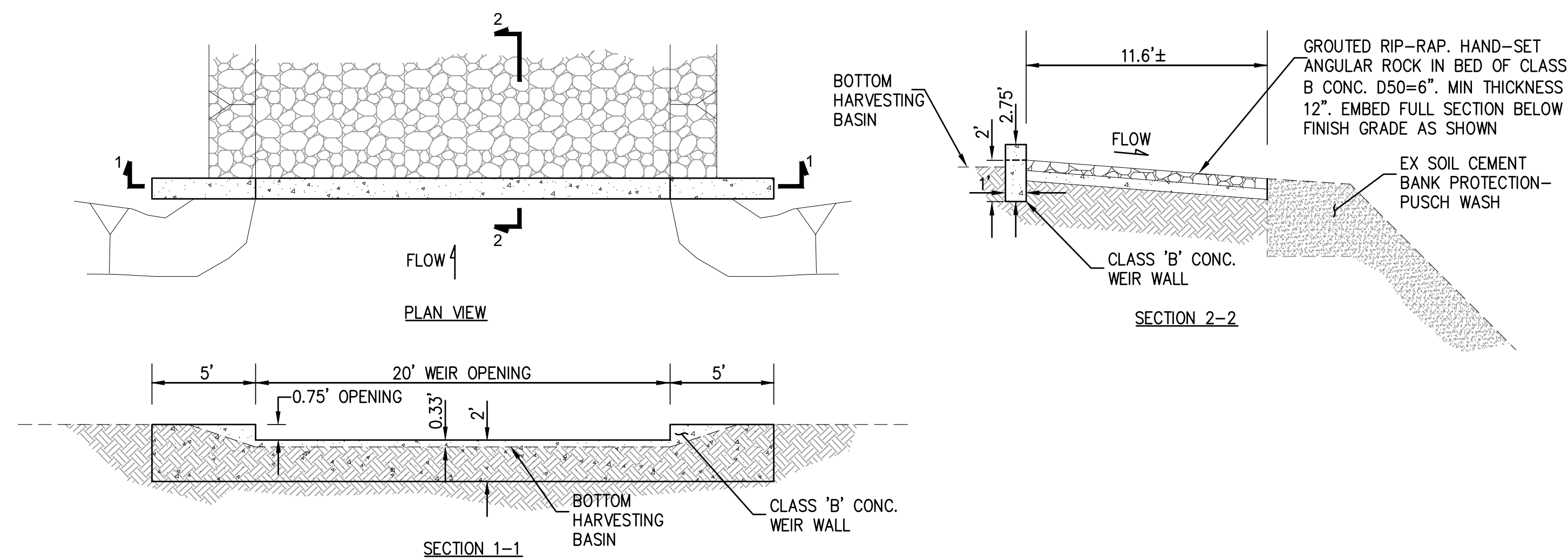
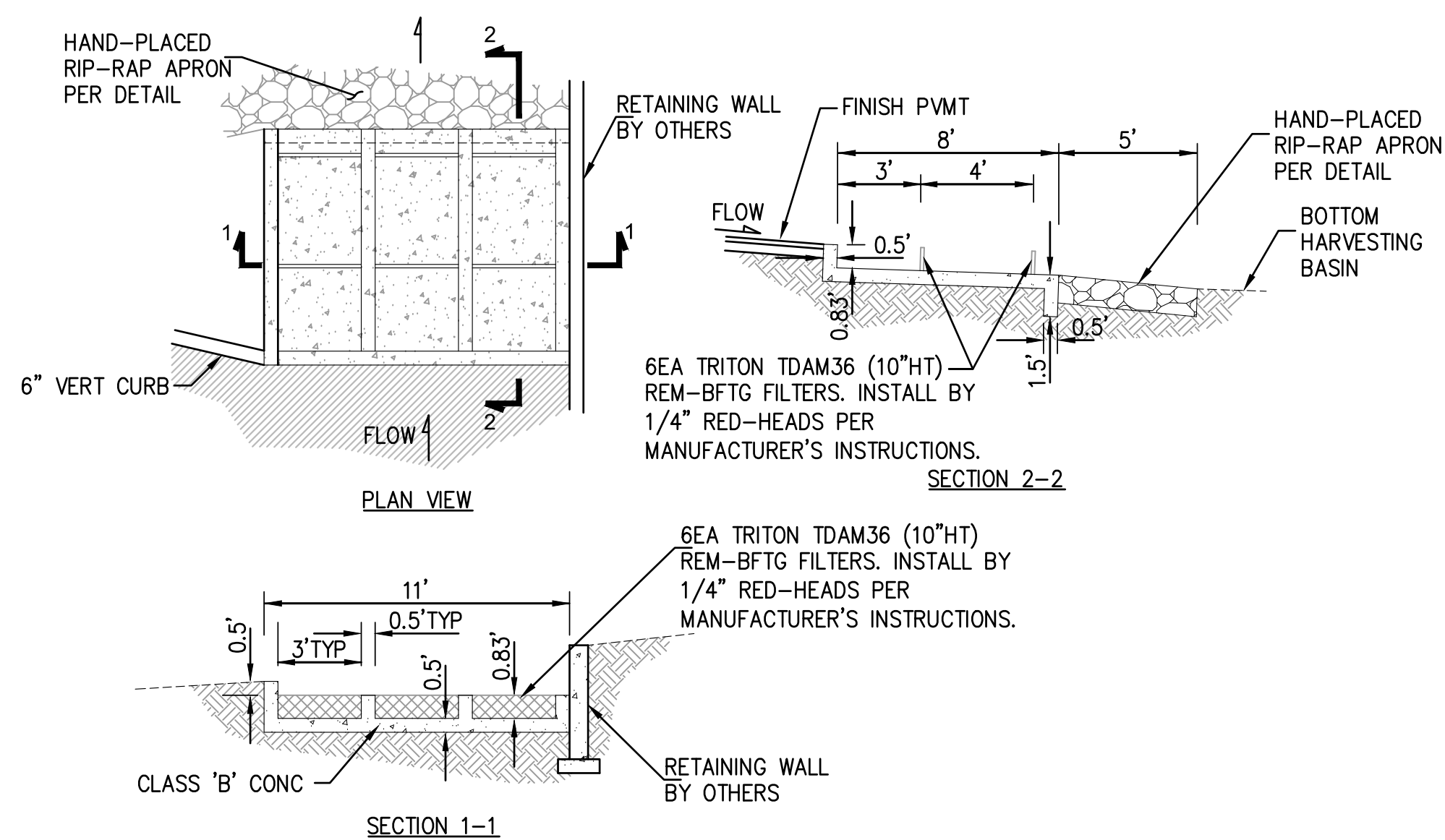
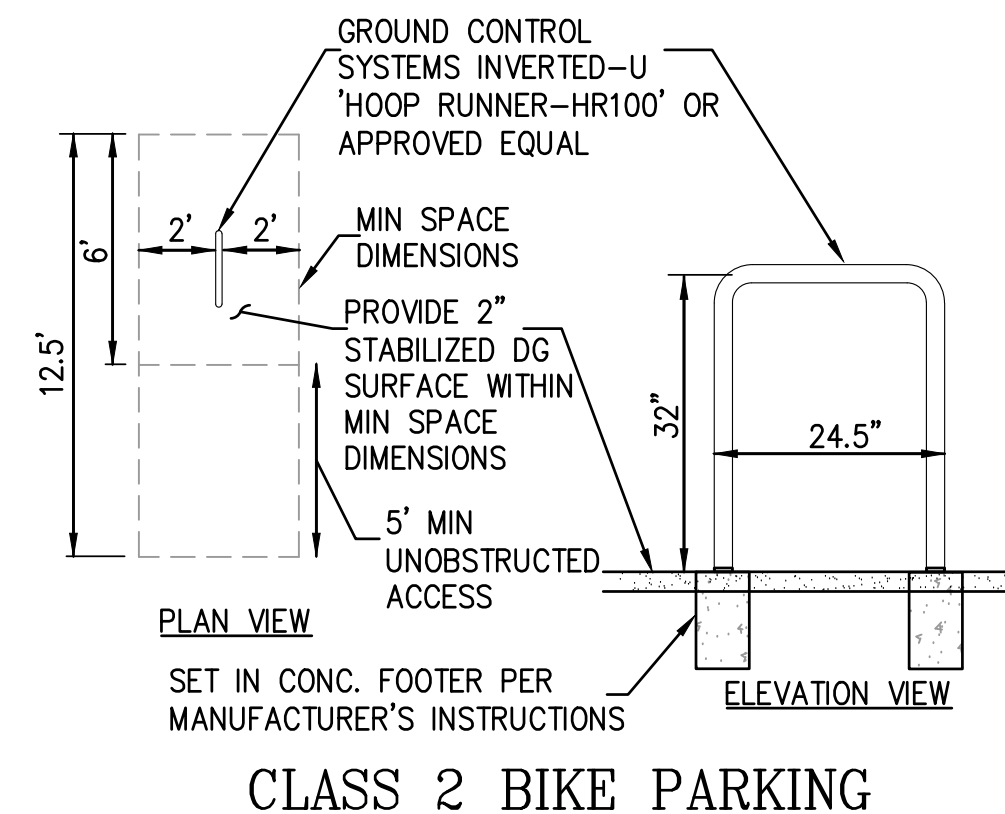
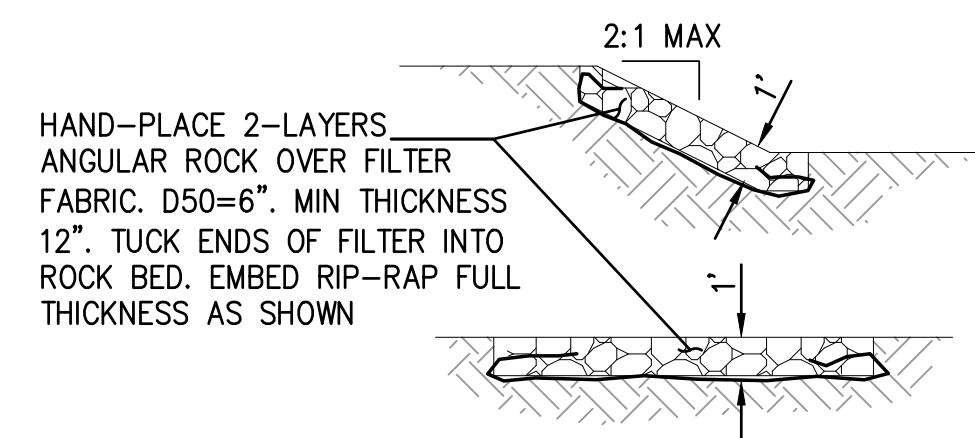
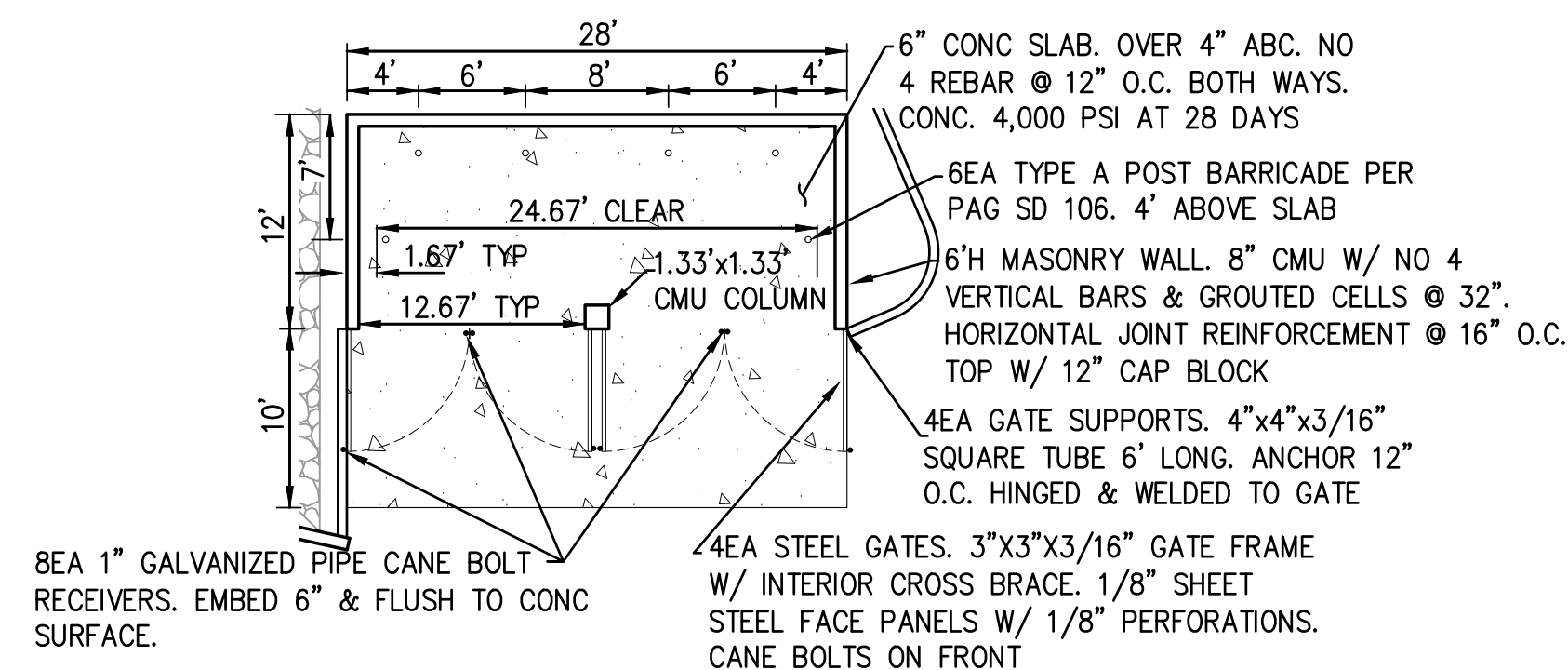
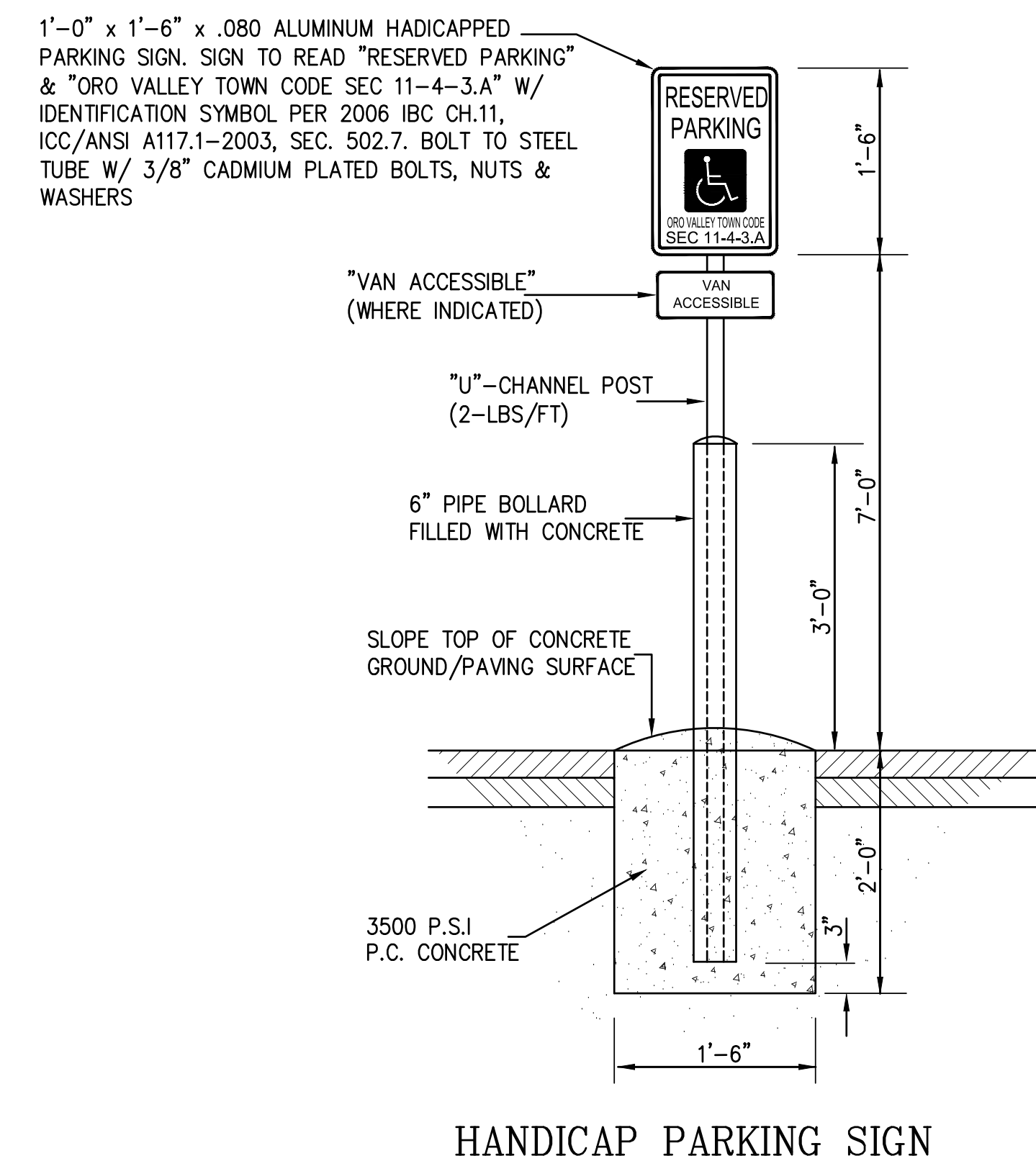
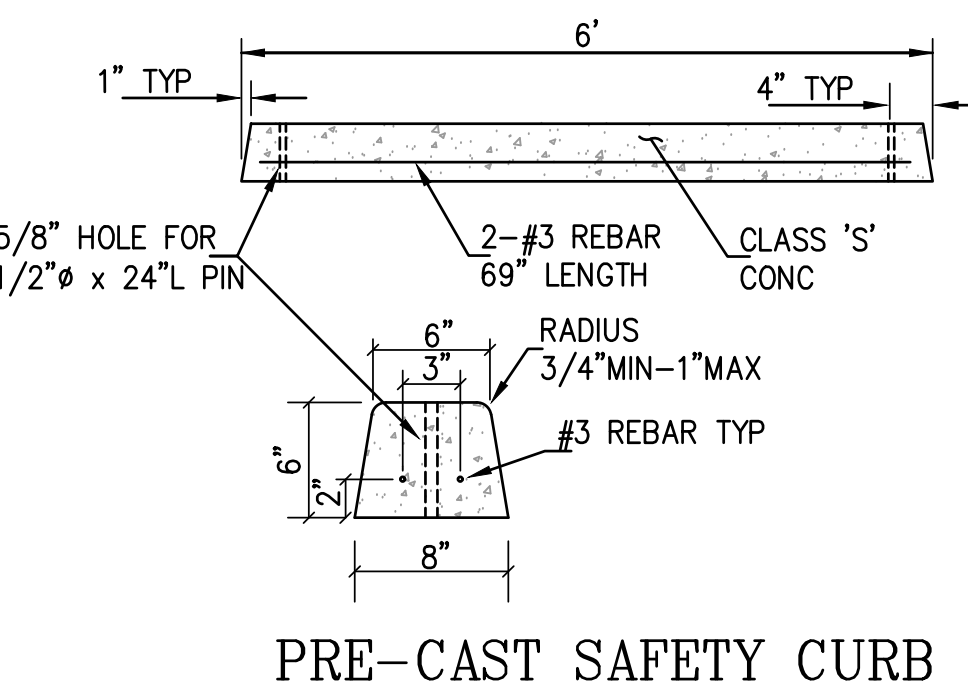
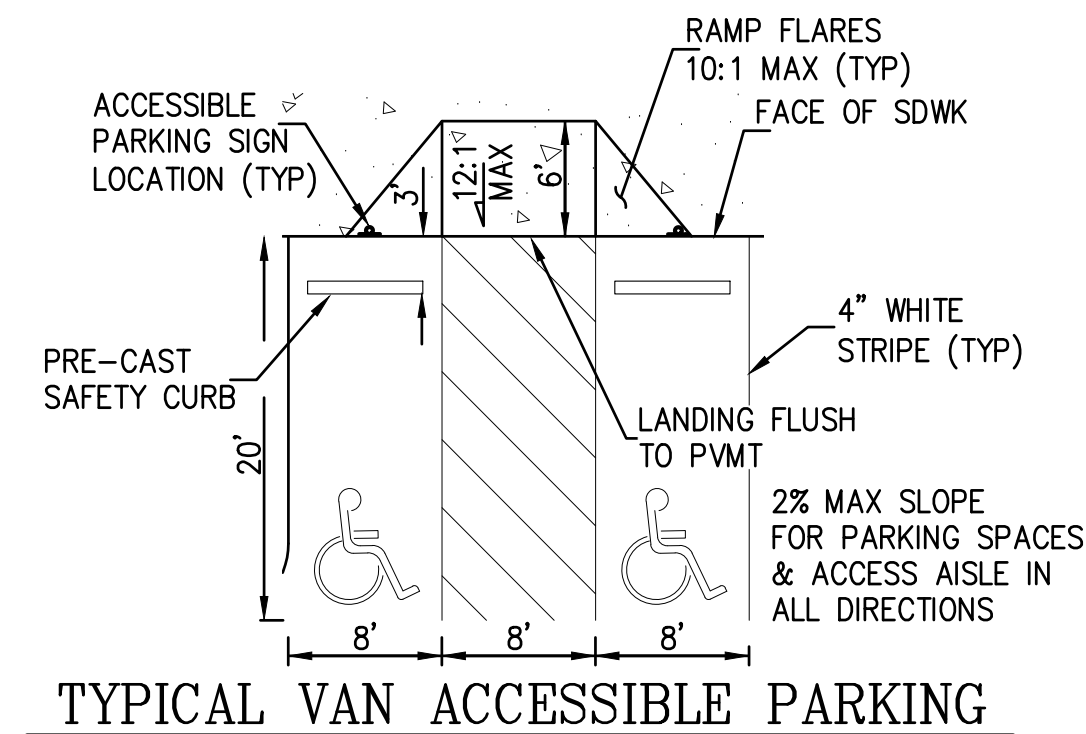
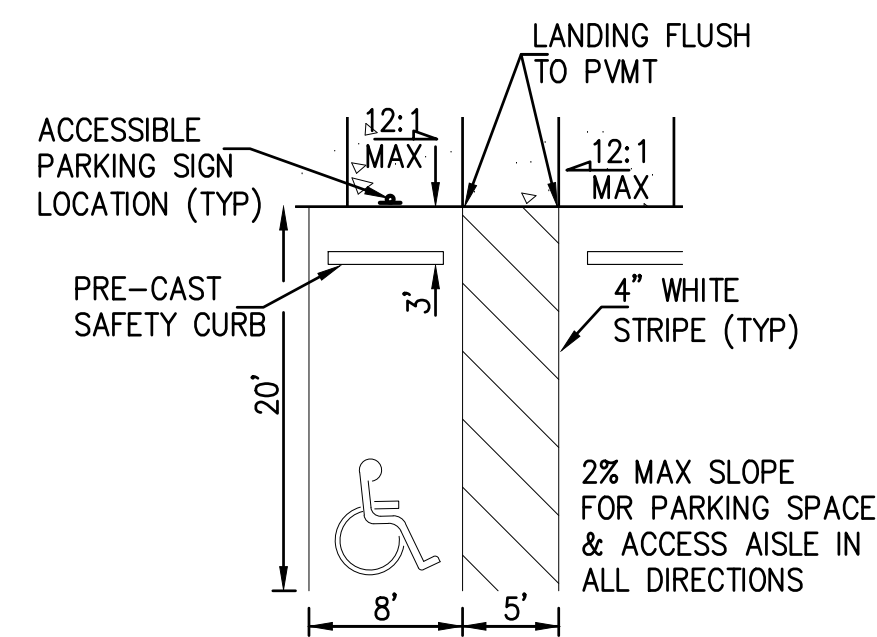
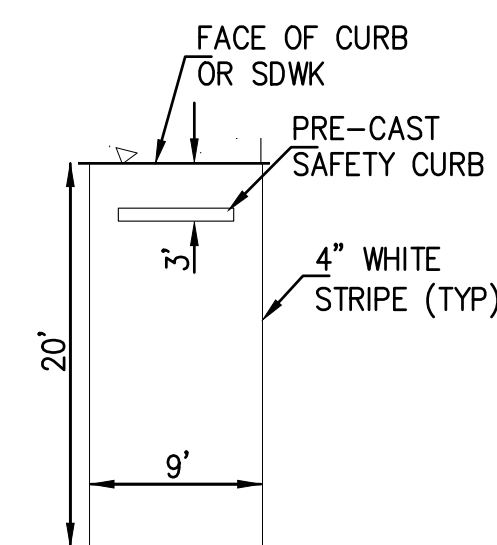
10211 N ORACLE RD
ORO VALLEY, AZ 85737

REF. NO: OV1702703
OV1801330
OV12-86-2
G1802639



FINAL SITE PLAN
IRONWOOD DERMATOLOGY
LOT 2 OF CANCHA DEL GOLF LOTS 1-5, BK40, PG39 M&P
LOCATED IN THE N.E. 1/4 OF SECTION 13, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO: OV1801101
JOB NO. D17012
DATE: JAN, 2019
SCALE HORIZ: 1"=60'
CONTOUR INTERVAL=1'
SHEET 1 OF 4

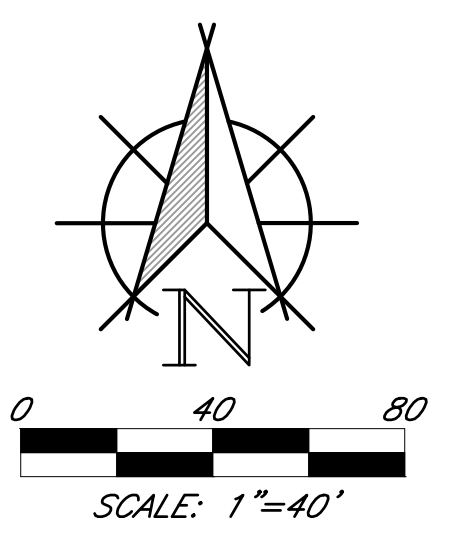
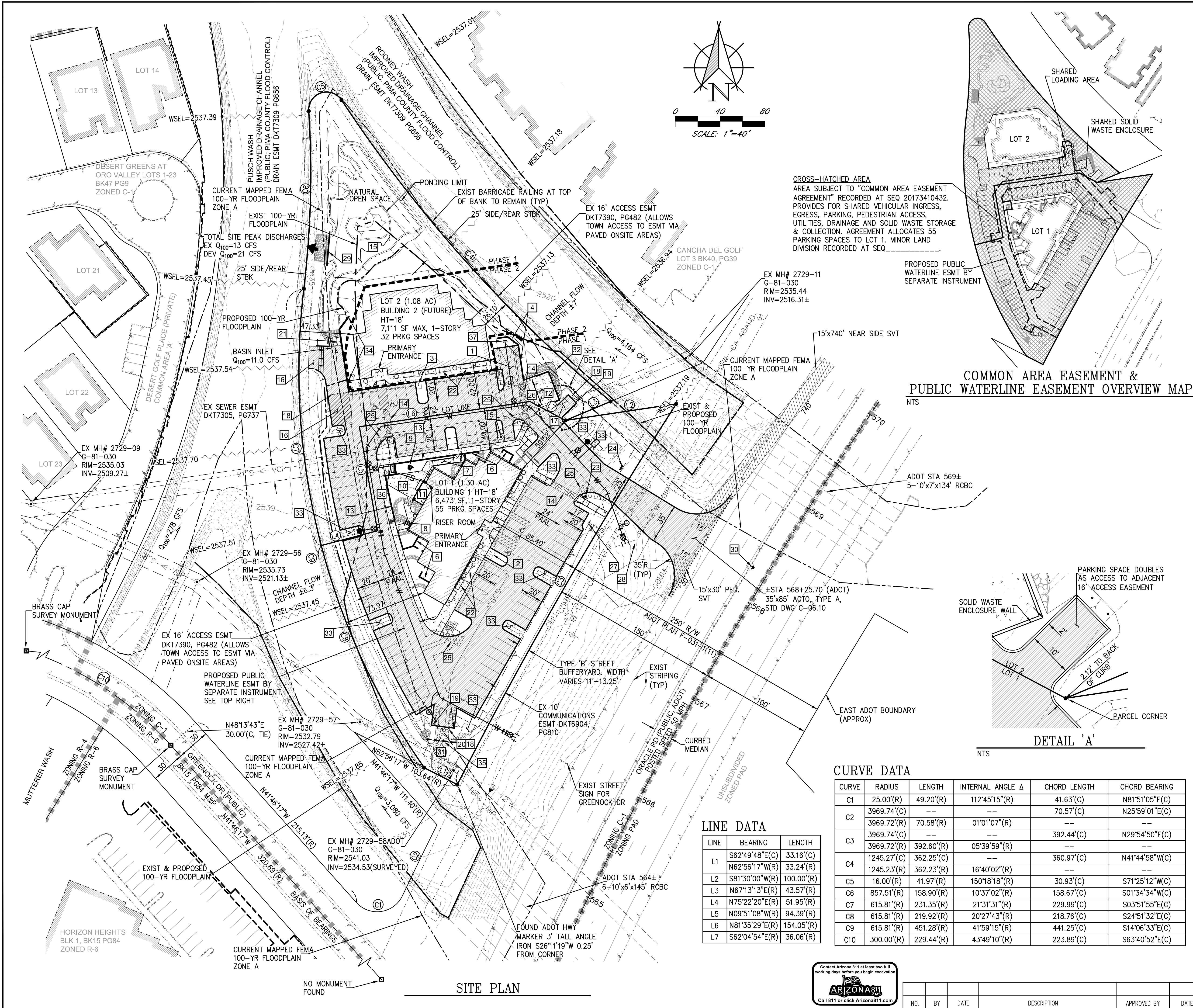


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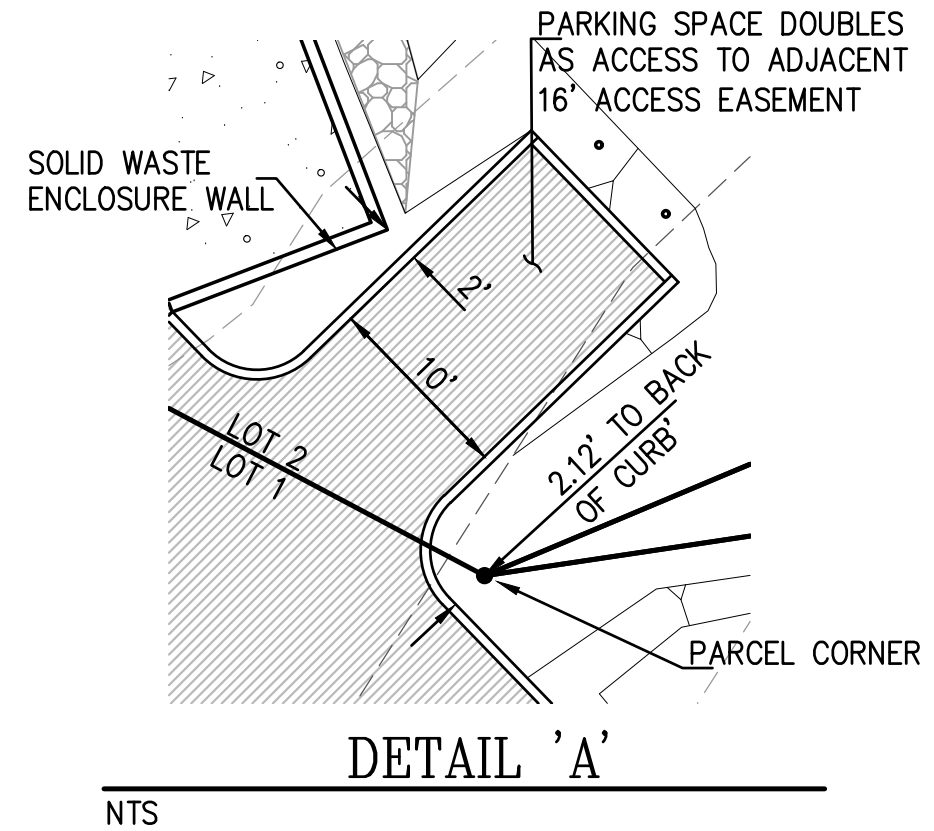
***Dynamic
Civil Designs LLC***
10150 N TALL COTTON DR MARANA AZ 85653
PH: (520) 461-9016 EMAIL: james.mcm@live.com

FINAL SITE PLAN IRONWOOD DERMATOLOGY LOT 2 OF CANCHA DEL GOLF LOTS 1-5, BK40, PG39 M&P LOCATED IN THE N.E. 1/4 OF SECTION 13, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		
OV1801101		
CASE NO:	JOB NO. D17012	SCALE HORIZ: 1"=40'
DATE: JAN. 2019	CONTOUR INTERVAL =1'	SHEET 2 OF 4



CROSS-HATCHED AREA
AREA SUBJECT TO "COMMON AREA EASEMENT AGREEMENT" RECORDED AT SEQ 20173410432. PROVIDES FOR SHARED VEHICULAR INGRESS, EGRESS, PARKING, PEDESTRIAN ACCESS, UTILITIES, DRAINAGE AND SOLID WASTE STORAGE & COLLECTION. AGREEMENT ALLOCATES 55 PARKING SPACES TO LOT 1. MINOR LAND DIVISION RECORDED AT SEQ.

COMMON AREA EASEMENT &
PUBLIC WATERLINE EASEMENT OVERVIEW MAP



CURVE DATA

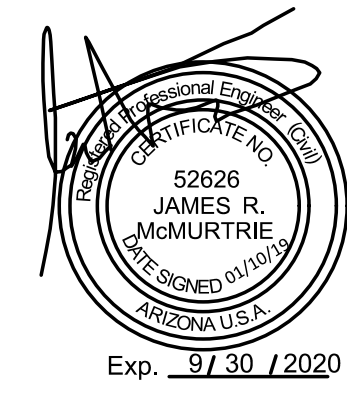
CURVE	RADIUS	LENGTH	INTERNAL ANGLE Δ	CHORD LENGTH	CHORD BEARING
C1	25.00'(R)	49.20'(R)	112°45'15"(R)	41.63'(C)	N81°51'05"E(C)
C2	3969.74'(C)	--	--	70.57'(C)	N25°59'01"E(C)
C3	3969.74'(C)	70.58'(R)	01°01'07"(R)	--	--
C3	3969.74'(C)	--	--	392.44'(C)	N29°54'50"E(C)
C3	3969.72'(R)	392.60'(R)	05°39'59"(R)	--	--
C4	1245.27'(C)	362.25'(C)	--	360.97'(C)	N41°44'58"W(C)
C4	1245.23'(R)	362.23'(R)	16°40'02"(R)	--	--
C5	16.00'(R)	41.97'(R)	150°18'18"(R)	30.93'(C)	S71°25'12"W(C)
C6	857.51'(R)	158.90'(R)	10°37'02"(R)	158.67'(C)	S01°34'34"W(C)
C7	615.81'(R)	231.35'(R)	21°31'31"(R)	229.99'(C)	S03°51'55"E(C)
C8	615.81'(R)	219.92'(R)	20°27'43"(R)	218.76'(C)	S24°51'32"E(C)
C9	615.81'(R)	451.28'(R)	41°59'15"(R)	441.25'(C)	S14°06'33"E(C)
C10	300.00'(R)	229.44'(R)	43°49'10"(R)	223.89'(C)	S63°40'52"E(C)

LINE DATA

LINE	BEARING	LENGTH
L1	S62°49'48"E(C)	33.16'(C)
L1	N62°56'17"W(R)	33.24'(R)
L2	S81°30'00"W(R)	100.00'(R)
L3	N67°13'13"E(R)	43.57'(R)
L4	N75°22'20"E(R)	51.95'(R)
L5	N09°51'08"W(R)	94.39'(R)
L6	N81°35'29"E(R)	154.05'(R)
L7	S62°04'54"E(R)	36.06'(R)

SITE PLAN KEYNOTES

- 12'X35' LOADING SPACE
- CLASS II BIKE RACK LOCATION, PHASE 1. 2 RACKS (4 BIKES)
- CLASS II BIKE RACK LOCATION, PHASE 2. 1 RACK (2 BIKES)
- 6" CMU SCREEN WALL AROUND LOADING ZONE. RETAINS UP TO 1.10' 8" CMU W/ PAINTED STUCCO
- EXIST PUBLIC MANHOLE #2729-10 (G-81-030), EX RIM=2533.60, INV=2514.17±. RIM TO BE ADJUST 6.6"± UNDER PCRWD SMALL ACTIVITY PERMIT. INSTALL NEW CONC. COLLAR PER RWRD SD 212
- MECHANICAL EQUIPMENT SCREEN WALLS. 4'H-8" CMU W/ PAINTED STUCCO
- SIDEWALK RAMP W/ HANDRAILS. COMPLY WITH ICC/ANSI A117.1. 12:1 MAX SLOPE, 2% MAX CROSS-SLOPE.
- STAIR W/ HANDRAILS PER BUILDING CODE. 4 RISERS.
- PUBLIC ARTWORK BY CALL-TO-ARTIST PROCESS
- COURTYARD. 2,396 SF.
- COVERED PATIO W/ SEATING
- DOUBLE SOLID WASTE REFUSE ENCLOSURE. SELF-CLOSING, SELF LATCHING GATES. SEE DETAIL SHEET 2
- COURTYARD RETAINING WALL. RETAINS ±1.5'. 42" MIN WROUGHT IRON FENCE ABOVE FOR CLEAR VIEW OF COURTYARD & ARTWORK
- PAVER CROSSWALK PER DETAILS SHEET 2
- 4" DEEP WATER HARVESTING BASIN. PRESERVE-IN-PLACE TREES SHALL BE GRADED AROUND. REFER TO LANDSCAPE & NATIVE PLANT PRESERVATION PLANS. VOLUME=1,708 CF±
- ACCESS TO 16' ACCESS EASEMENT
- ACCESS TO 16' ACCESS EASEMENT VIA ENLARGED (10' WIDE) PARKING SPACE
- REMOVABLE POST BARRICADES PER PAG SD 106/107
- CONC HEADER PER PAG SD 213 AT END OF PARKING SPACE
- PCRWD ACCESS TO EXIST MH
- 3EA 36"Wx 8'L TRENCH DRAINS W/ TRITON T-DAM FILTERS
- LANDSCAPE PLANTERS/POTS (TYP)
- PROPOSED STOP SIGN
- PROPOSED MONUMENT SIGN. SIGNS ARE BY SEPARATE PERMIT PROCESS.
- 10'X30' PAAL-TO-PAAL SVT
- 14'X40' CLEAR IN FRONT OF EACH SOLID WASTE DUMPSTER
- EXISTING UTILITY POLE GUY WIRE. OFFSET CURB 3' IN THIS AREA TO AVOID CONFLICT. MAINTAIN 17' FROM BACK OF PARKING SPACES TO FACE OF CURB. MAINTAIN 3' CLEAR IN FRONT OF CURB FOR TOTAL PARKING SPACE LENGTH OF 20' PER ZONING CODE/GENERAL DEVELOPMENT STANDARDS SEC. 27.7.H.2.d. (GUY WIRE IS OUTSIDE 20' PARKING SPACE)
- RELOCATE EXIST WATER SYSTEM ARV BY SEPARATE WATER PLANS.
- HARVESTING BASIN OVERFLOW WEIR W/ RIP-RAP OUTLET PER DETAILS SHEET 2
- ONE-WAY SIGN (MUTCD SIGN R6-1R) BY SEPARATE ADOT HWY ENCROACHMENT PERMIT
- MINIMUM 12" WIDE STABILIZED SURFACE FOR PCRWD MAINTENANCE ACCESS PER SD RWRD 111. STABILIZED SURFACE THICKNESS IS 6" MINIMUM AND SHALL CONSIST OF A PORTLAND CEMENT MIX W/ MINIMUM COMPRESSIVE STRENGTH OF 800 PSI. CONTRACTOR TO SUBMIT MIX DESIGN FOR APPROVAL TO THE PCRWD FIELD ENGINEER
- 2:1 HAND-PLACED RIP-RAP SLOPE
- WATER HARVESTING AREA. 4" PONDING DEPTH.
- RETAINING WALL BY OTHERS
- WATER HARVESTING AREA OVERFLOW PIPE. 1-12" CMP CULVERT
- DOUBLE CHECK ASSEMBLY FOR FIRE SERVICE LINE
- FUTURE DOUBLE CHECK ASSEMBLY LOCATION FOR BLDG 2 FIRE SERVICE



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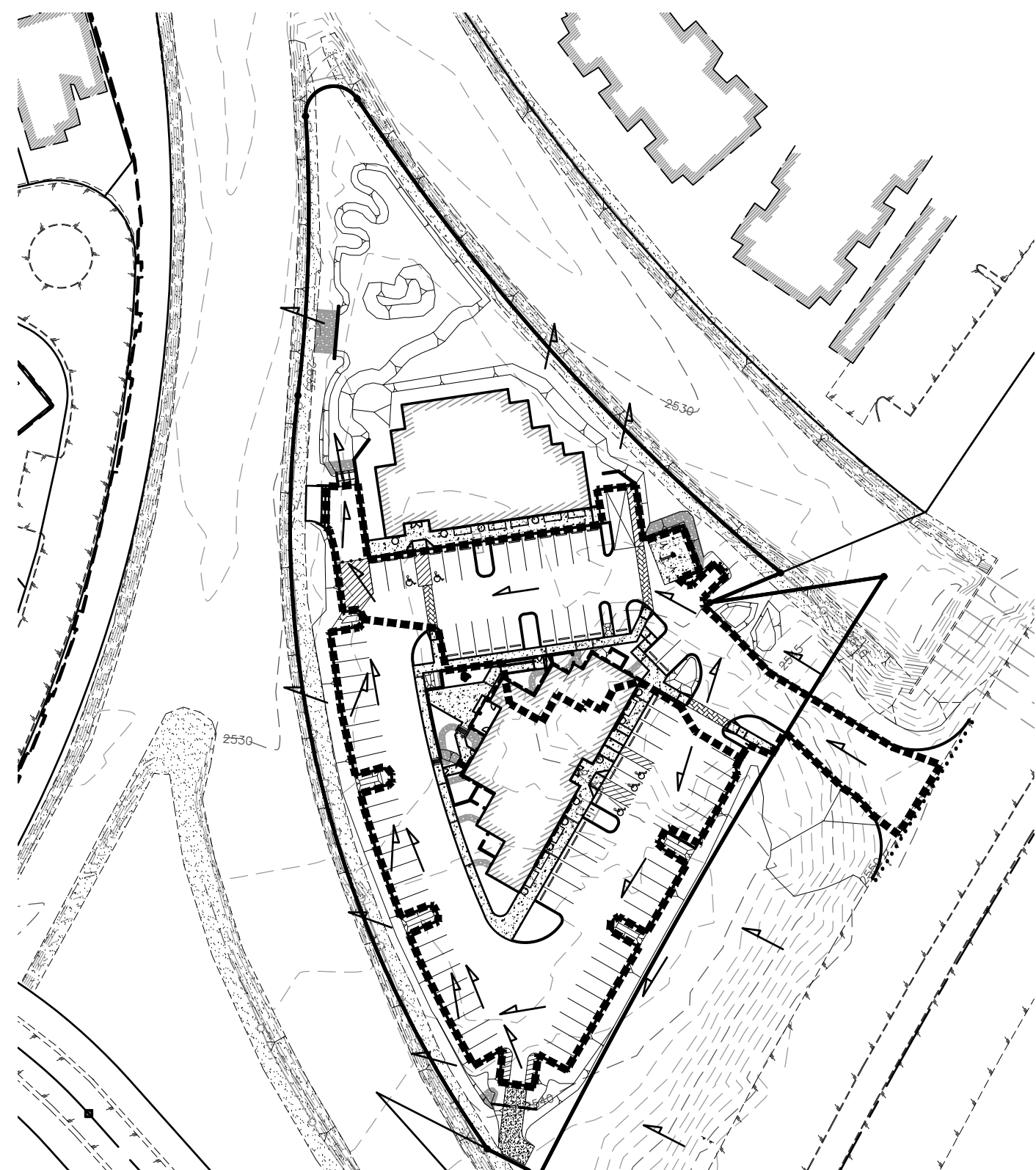
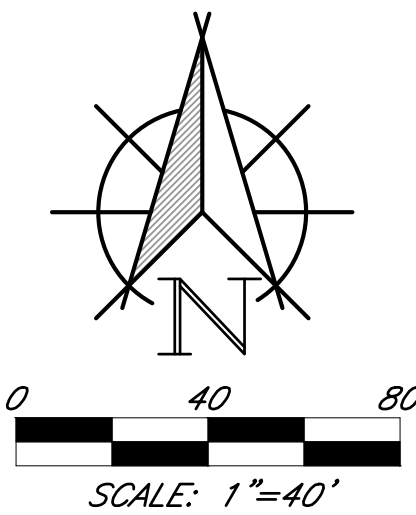
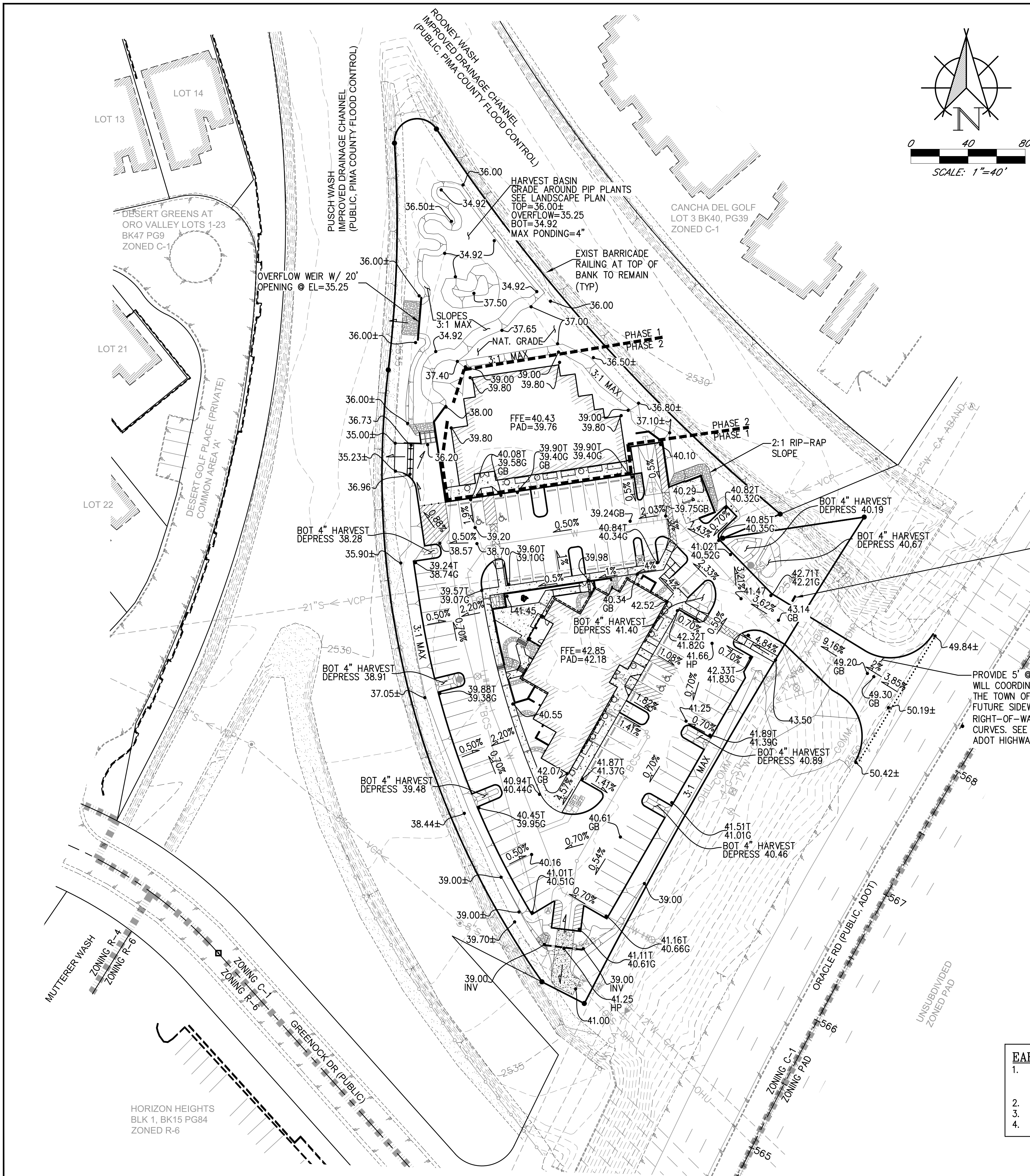
FINAL SITE PLAN
IRONWOOD DERMATOLOGY
LOT 2 OF CANCHA DEL GOLF LOTS 1-5, BK40, PG39 M&P
LOCATED IN THE N.E. 1/4 OF SECTION 13, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO: **OV1801101**

JOB NO. D17012
DATE: JAN, 2019

SCALE HORIZ: 1"=40'
CONTOUR INTERVAL=1'

SHEET 3 OF 4



WATERSHED BOUNDARY MAP

CONCEPT GRADING & DRAINAGE

EARTHWORK

1. EARTHWORK ESTIMATES ARE RAW AND UNADJUSTED FOR SHRINK & ROCK AND ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFFS.
2. DISTURBANCE AREA=86,064 SF
3. RAW CUT VOL=994 CY
4. RAW FILL VOL=3,464 CY



Dynamic
Civil Designs LLC

10150 N TALL COTTON DR HAVANA AZ 85653
PH: (520) 465-6016 EMAIL: james.mcmm@dvu.com

REF. NO: OV1702703
OV1801330
OV12-86-2
G1802639

FINAL SITE PLAN
IRONWOOD DERMATOLOGY
LOT 2 OF CANCHA DEL GOLF LOTS 1-5, BK40, PG39 M&P
LOCATED IN THE N.E. 1/4 OF SECTION 13, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO:		OV1801101	
JOB NO. D17012	SCALE HORIZ: 1"=40'	DATE: JAN, 2019	SHEET 4 OF 4
DATE: JAN, 2019	CONTOUR INTERVAL=1'		



NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE