

# Bowman

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## Public Outreach Plan

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**NW Corner: Oracle Rd &  
Conquistador Way**

## AMH Development

**Bowman**

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**I. Development Team**

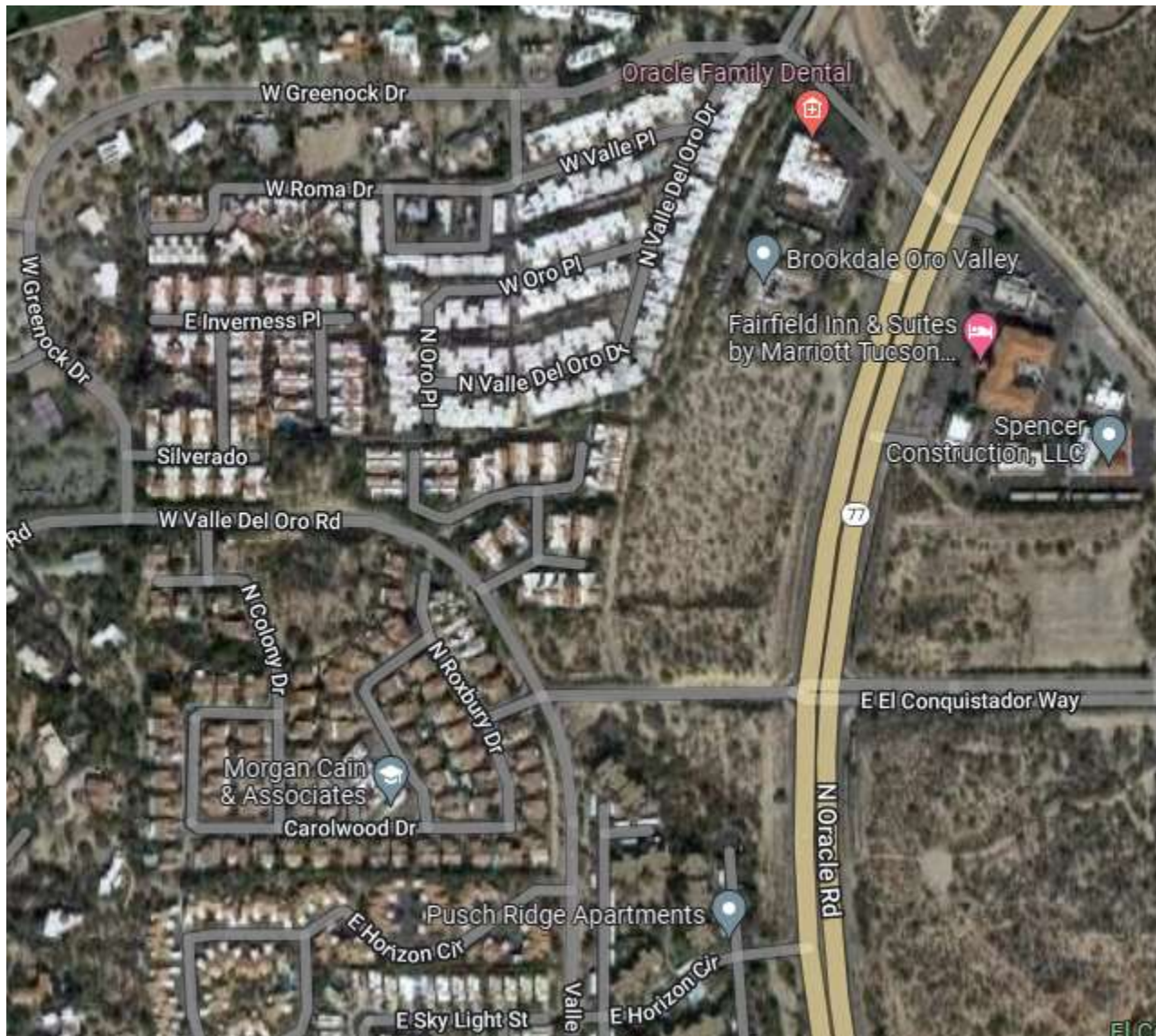
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## II. Project Overview

AMH Development (AMH) is excited about the potential development of new single family residential homes on approximately 9.3 acres at the northwest corner of Oracle Road and El Conquistador Way (the “Future Development”). The Future Development is currently zoned R-6, which permits multi-family, apartments, limited commercial, and single family residential.

### Vicinity Map



The Future Development proposes 41 single family home lots according to the conceptual site plan shown below. Primary access is proposed from El Conquistador Road with secondary access from Valle Del Oro Road. Due to significant elevation changes and steep slopes on the site, a grading exception is being requested in order to promote safe access and to place homes at elevations closer to the adjacent roadways.

## **Conceptual Site Plan**



AMH is committed to creating a quality development that meets the Town's Design Guidelines, and provides an attractive place to live for prospective residents. With the Town's guidance we hope to make the project successful for all those involved.



### **III. Identification of Interested Stakeholders**

Interested stakeholders for this Project are primarily the existing residents west of the Project site and their associated homeowners' associations (HOAs). These include Oro Valley Town Houses, Valle Del Oro Town Homes, and The Colony at Oro Valley. Other stakeholders may include the Brookdale Senior Living Facility located to the north, Pusch Ridge Apartments to the south, and existing businesses to the northeast across Oracle Road. Oracle Road, a major arterial and State right-of-way is located along the east side of the site. The neighborhood notices will be sent to the Town's required notification area, which is all property owners within 600 feet of the Project Property.

### **IV. Proposed Neighborhood Meeting Process**

The proposed neighborhood meeting process shall follow the typical process required by the Oro Valley Zoning Code as presented in Section 22.15.F. An initial neighborhood meeting will be held prior to formal submittal of a development application. A second neighborhood meeting will be held prior to the first formal public hearing (Planning and Zoning Commission).

The proposed neighborhood meetings will serve two purposes. First, they will be an educational session with neighbors, other stakeholders, and the Town's project planner to review and discuss the process and applicable planning and zoning regulations. Second, the meetings will be opportunities to present the Project, solicit feedback, and address issues and concerns.

The overall neighborhood outreach process will meet or exceed the Neighborhood Meeting Requirements per the Town's Zoning Code and will provide valuable feedback for the Project success.