

2.3.1 - LANDSCAPE PLAN REQUIRED NOTES:

- Gross area of development is **2.81 acres**
- Total acres of graded area is **2.23 acres**
- Total acres of undisturbed area is **0.58 acres**
- Total amount of open space required = 20% of the gross area of the pad district. Total area of open space provided = **20.1%**
- Landscaped buffer yards - refer to buffer yard chart:
north - existing buffer yard "b"
east (la canada drive) - buffer yard "b"
south (naranja drive) - buffer yard "b"
west - existing buffer yard "b"
- Required building setbacks:
north - 25 feet required, 50.0' feet provided
east - 25 feet required, 41.6' feet provided
south - 20 feet required, 30.2' feet provided
west - 25 feet required, 50.0' feet provided
- Perimeter streets adjacent to site:
La Canada Drive (public 150' r.o.w.)
Naranja Drive (public 150' r.o.w.)
- This project falls under development area D within the El Conquistador Country Club Planned Area Development (PAD) dated August 17, 1983, per 23.9.C.C and 23.4 table 23-2B, the underlying zoning designation is C-N.
- No zoning variances or modifications are applicable to this project.
- Landscape to conform to Oro Valley Landscape Code.
- Mitigation of surveyed plants in the Native Plant Preservation Plan will be incorporated in the landscape design.
- Shrub locations are preliminary.

BUFFER YARD

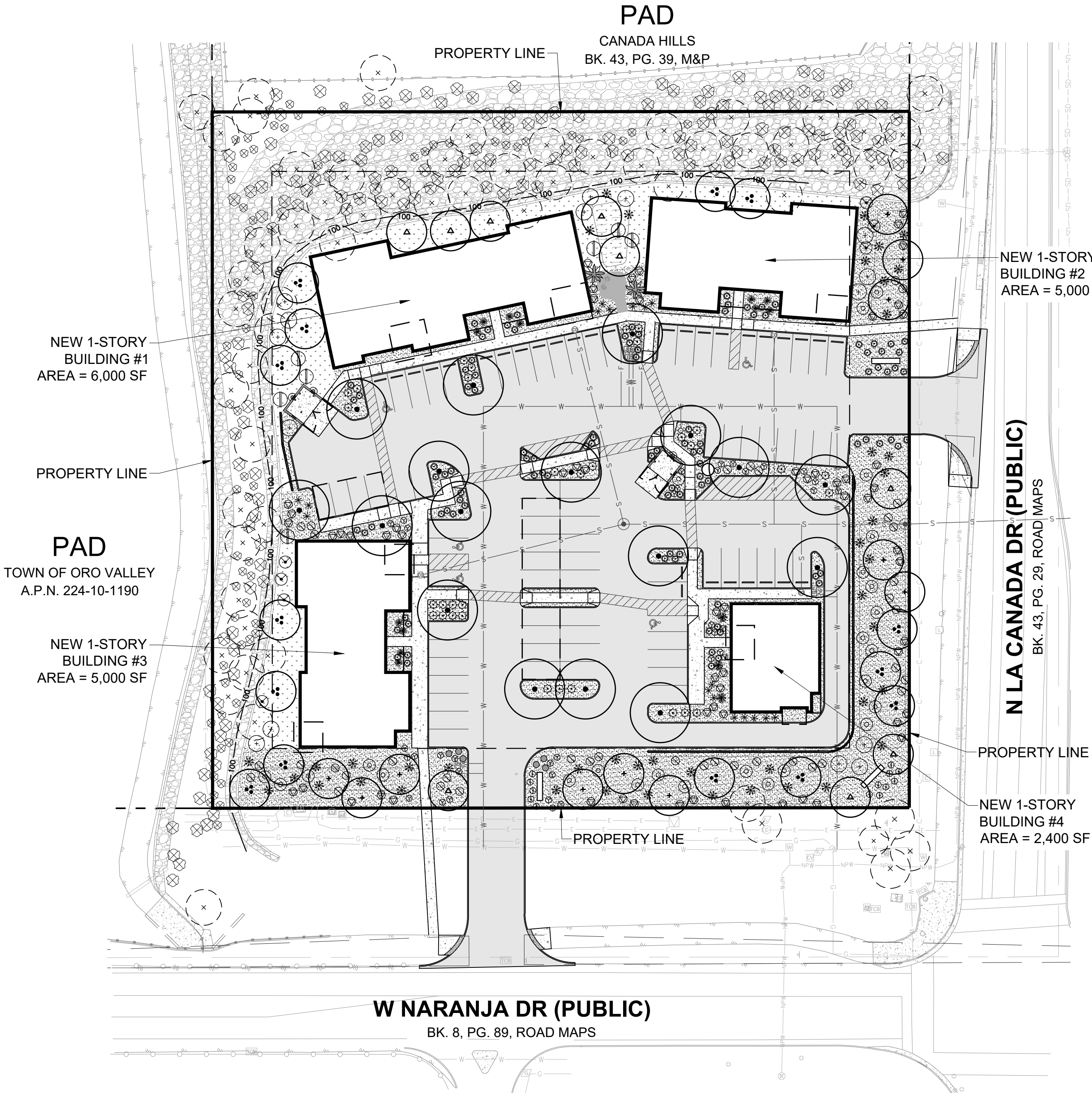
North
30' buffer yard "B" @ 350 LF
required provided
trees 14 14
shrubs 18 18
accents 35 35
utilize screening on adjacent property
(adjacent property screen wall is > 5'
above proposed FFE)

East (La Canada Drive)
30' buffer yard "B" @ 322 LF
required provided
trees 13 13
shrubs 16 16
accents 32 32

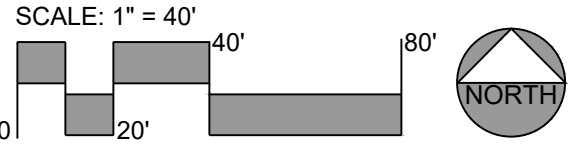
South (Naranja Drive)
30' buffer yard "B" @ 324 LF
required provided
trees 13 13
shrubs 16 16
accents 32 32

West
30' buffer yard "B" @ 350 LF
required provided
trees 14 14
shrubs 18 18
accents 35 35
utilize screening on adjacent property
(adjacent property screen wall is > 5'
above proposed FFE)

CONCEPTUAL LANDSCAPE PLAN for NWC LA CANADA / NARANJA OV_



PROJECT OVERVIEW PLAN



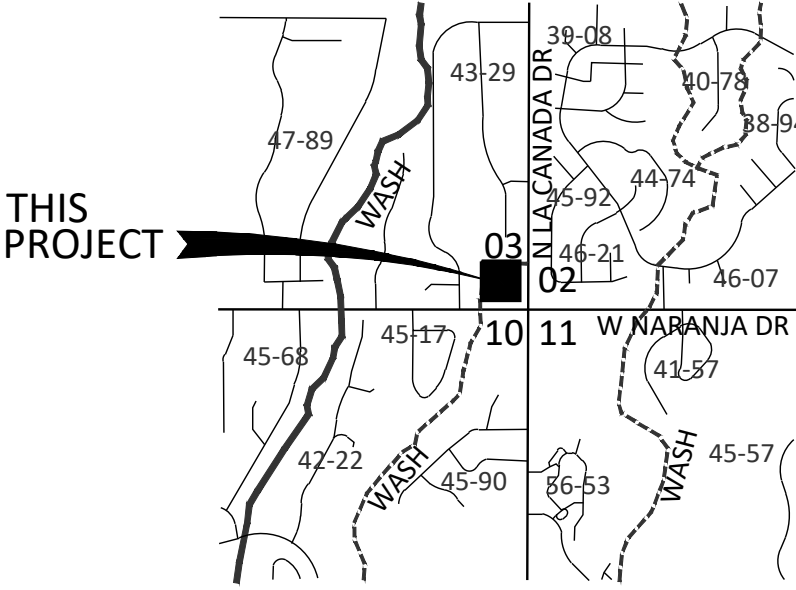
SHEET INDEX
L1.0 Cover sheet
L2.0 Landscape plan

owner/developer:
LA CANADA/NARANJA LLC
PO BOX 57037
TUCSON, ARIZONA 85732
attn: C/O PAUL OLAND
ph: (520) 664-4304
email: gpo@paradigmiland.us

site address:
1440 WEST NARANJA DRIVE
ORO VALLEY, ARIZONA 85737

legal description:
A PORTION OF LAND IN THE SE 1/4 OF THE SE 1/4
OF SECTION 03, T12S, R13E, G&SRB&M, TOWN OF
ORO VALLEY, PIMA COUNTY, ARIZONA
A.P.N. 224-10-002B

project description:
CONCEPTUAL LANDSCAPE PLAN
for NWC LA CANADA / NARANJA



IN THE SE 1/4 OF THE SE 1/4 OF
SECTION 03, T. 12 S., R. 13 E., G.&S.R.M.,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

LOCATION MAP
NORTH
3" = 1 MILE

LINE LEGEND	
PROPERTY LINE	EXISTING SIGN
RIGHT-OF-WAY	EXISTING STREET LIGHT
ROADWAY CENTERLINE	EXISTING FIRE HYDRANT
OTHER PARCEL LINE	EXISTING SEWER MANHOLE
EASEMENT LINE	EXISTING WATER VALVE
EXISTING CONTOURS	EXISTING WATER METER
PROPOSED CONTOURS	EXISTING BACKFLOW PREVENTER
EXISTING CURB	EXISTING TELEPHONE PEDESTAL
EXISTING PAINT STRIPE	EXISTING UNKNOWN UTILITY
EXISTING PAVEMENT EDGE	EXISTING ELECTRIC PULL BOX
EXISTING CONCRETE	EXISTING TRANSFORMER
EXISTING RIPRAP	PROPOSED SIGN
PROPOSED CURB	PROPOSED SEWER CLEANOUT
PROPOSED PAINT STRIPE	PROPOSED WATER METER
PROPOSED ASPHALT	R-2 ZONING DIVISION
PROPOSED CONCRETE	SVT SIGHT VISIBILITY TRIANGLE
PROPOSED RIPRAP	R RADIUS
100-YR FLOOD PLAIN LIMIT	P PAVEMENT (ASPHALT)
PROPOSED RAILING	C CONCRETE
EXISTING UNDERGROUND ELECTRIC	TC TOP OF CURB
EXISTING SEWER	HP HIGH POINT
EXISTING WATER	LP LOW POINT
EXISTING EASEMENT	FFE FINISHED FLOOR ELEVATION
PROPOSED SEWER	R.O.W. RIGHT-OF-WAY
PROPOSED WATER	WATER HARVESTING AREA
PROPOSED FIRE SERVICE	WATERSHED BOUNDARY
PROPOSED DRAIN PIPE	GRADING LIMITS
	SIGHT VISIBILITY TRIANGLE (SVT)

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"1"=800"=STAKE=1" Blue Stake Center

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additional information on policies,
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APPROVED BY:
PLANNING & ZONING ADMINISTRATOR - DATE



ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.882.9655
www.arcstudiosinc.com



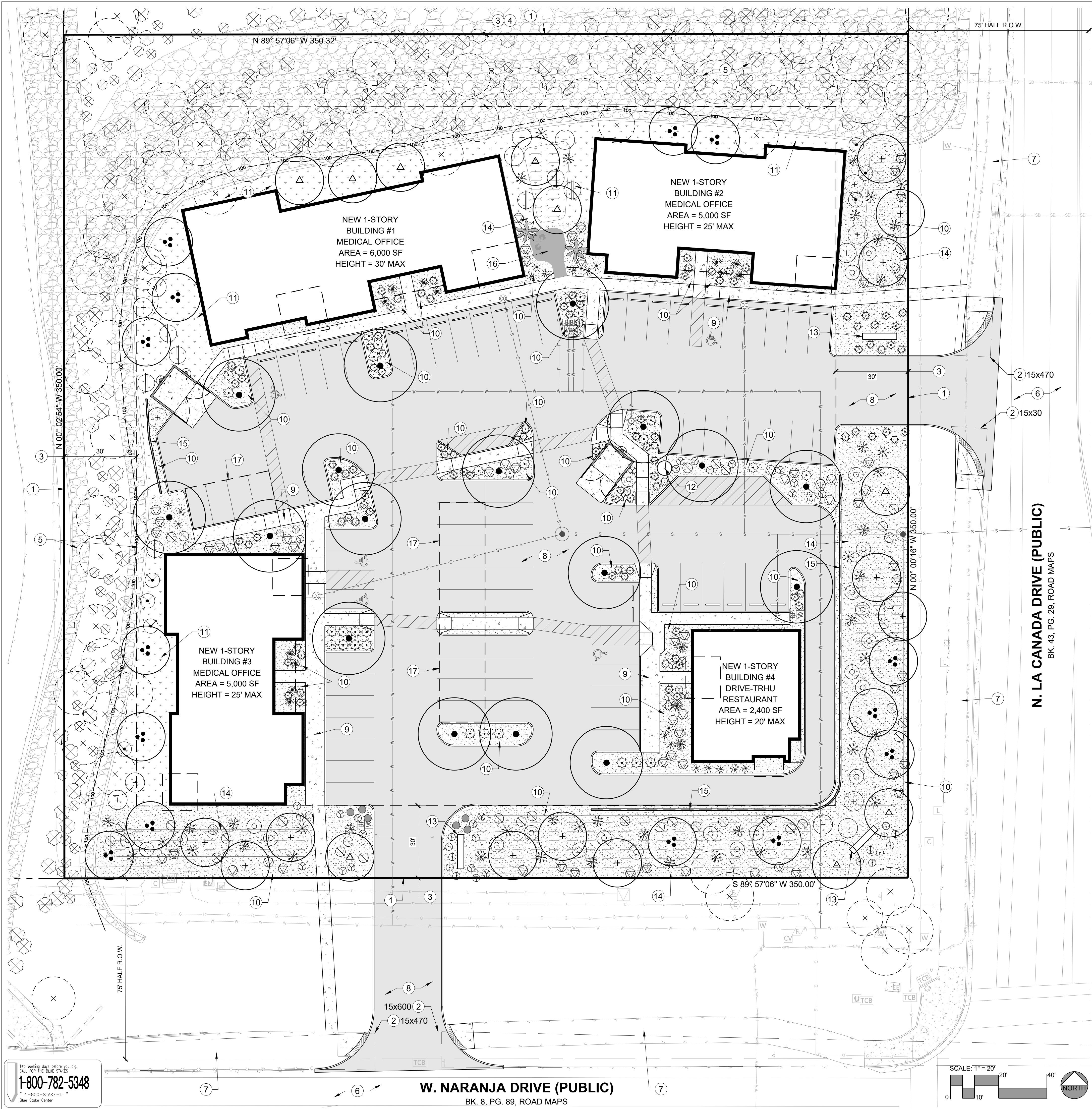
case number:
xx.xx.xx
ref. number:
xx.xx.xx

date:
2021.06.29
project # -
01-20080

COVER
SHEET

L1.0

1 of 2 Sheets



CONCEPTUAL LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Native tree	salvage	3
	48" box	1
	36" box	6
	24" box	4
Native hybrid buffer yard tree	24" box	11
	1.5" caliper	
Native hybrid tree	24" box	9
	1.5" caliper	
Parking lot shade tree	24" box	17
	1.5" caliper	
Existing tree to remain in place		

Shrubs / Ground Covers	Size	Qty
Large native shrub	5 gallon	15
Large native shrub	5 gallon	26
Medium shrub	5 gallon	38
Medium shrub	5 gallon	62
Large native shrub	5 gallon	7
Large native shrub	5 gallon	7
Small ground cover	1 gallon	13
Small ground cover	1 gallon	102
Small ground cover	5 gallon	6

Vines	Size	Qty
Flowering vine	5 gallon	3

Cacti / Succulents	Size	Qty
Large cacti accent	5 gallon	--
Large accent	24" box specimen	3
Medium accent	5 gallon	44
Small accent	5 gallon	36
Medium accent	5 gallon	32
Small accent	5 gallon	12
Small cacti accent	5 gallon	--
Small accent	5 gallon	17
Medium accent	5 gallon	2

LANDSCAPE KEY NOTES

- Property line
- Sight visibility triangle
- 30' buffer yard 'b'
- Existing public 30' drainage easement per bk. 43, pg. 29
- Existing grouted rip rap drainage channel
- Existing pavement
- Existing multi-use path
- Pavement - refer to civil
- Concrete sidewalk - refer to civil
- Decorative rock 01 - all landscape areas, typ.
- Hydro-seed mix 1 - desert seed mix
- Public art - by others
- Monument sign - by others
- Water harvesting basin - 6" depressed landscape area, refer to civil plans for finish grades
- Masonry screen wall
- Courtyard patio - stabilized dg
- Parking shade canopy

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

Decorative rock 01	type: screened rock
	size: 1/2"
	color: coco brown - pioneer materials
	depth: 2"
	notes: install in all landscape planting areas as indicated on plans

Decorative rock 02	type: rip rap
	size: 3 - 6"
	color: santa fe brown
	depth: 6"
	notes: refer to civil paving plans, details and specifications

Decorative rock 03	type: stabilized decomposed granite
	size: 1/4" minus
	color: palomino gold
	depth: 3"
	notes: stabilizer solutions stabilizer® w/ 15lbs of stabilizer® per ton of aggregate

Hydro-seed - mix 1	20 lbs pure live seed - refer to specs.	
Botanical Name	Common Name	lbs/ac
Ambrosia deltoidea	triangle-leaf bursage	2.0
Acacia constricta	whitethorn acacia	1.0
Calliandra eriophylla	fairy duster	1.0
Encelia farinosa	brittlebush	1.0
Baileya multiradiata	desert marigold	1.0
Cassia covesii	desert senna	2.0
Psilostrophe cooperi	paper flower	1.0
Zinnia pumila	desert zinnia	1.0
Aristida purpurea	purple three-awn	1.0
Bouteloua curtipendula	side-oats grama	1.0
Muhlenbergia porteri	bush muhly	2.0
Sporobolus cryptandrus	sand dropseed	1.0
Eschscholzia mexicana	mexican poppy	1.0
Evolvulus arizonicus	arizona blue eyes	1.0
Lupinus sparsiflorus	desert lupine	2.0
Penstemon parryi	parry penstemon	1.0

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landscape architecture · urban design
environmental services · irrigation design

case number:
xx.xx.xx
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**LANDSCAPE
PLAN**

L2.0
2 of 2 Sheets

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