

GENERAL NOTES

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS 2.81 AC. (122,556.3 S.F.). THE GROSS AREA OF ONSITE DISTURBANCE IS 2.23 AC. (97,224 S.F.). THE GROSS AREA OF OFFSITE DISTURBANCE IS 0.42 AC. (18,213 AC.)
2. THE GROSS FLOOR AREA OF STRUCTURES IS 20,601 SQUARE FEET. BUILDING #1 IS 7,195 SF, BUILDING #2 IS 5,428 SF, BUILDING #3 IS 5,428 SF, BUILDING #4 IS 2,550 SF.
3. MAXIMUM TOTAL BUILDING COVERAGE PER THE PAD IS 80%. PROVIDED LOT COVERAGE IS 16.8%.
4. TOTAL MILES OF NEW PUBLIC STREETS IS 0.0 MILES.
5. TOTAL MILES OF NEW PRIVATE STREETS IS 0.0 MILES.
6. THIS PROJECT FALLS UNDER DEVELOPMENT AREA D WITHIN THE EL CONQUISTADOR COUNTRY CLUB PLANNED AREA DEVELOPMENT (PAD) DATED AUGUST 17, 1983. PER 23.9.C.C AND 23.4 TABLE 23-2B, THE UNDERLYING ZONING DESIGNATION IS C-2.
7. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
8. THE PROPOSED USES FOR THIS PROJECT ARE RESTAURANT, OFFICE AND MEDICAL SERVICE.
9. PER ZONING CODE REQUIREMENTS, CONVENIENCE USES SHALL NOT BE OPEN FOR BUSINESS UNTIL A MINIMUM OF FIFTY PERCENT (50%) OF THE NET FLOOR ARE FOR NON-CONVENIENCE USE STRUCTURES WITHIN THE SHOPPING CENTER HAVE BEEN CONSTRUCTED.
10. THIS PROJECT IS SUBJECT TO THE CONDITIONS OF APPROVAL FROM THE 2006 GRADING EXCEPTION (OV12-06-16A).

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER THE 2006 GRADING EXCEPTION (OV12-06-16A) IS 28'. THE PROPOSED BUILDING HEIGHTS ARE AS FOLLOWS: BUILDING #1 IS 28', BUILDING #2 IS 25', BUILDING #3 IS 25', BUILDING #4 IS 20'. ALL BUILDINGS ARE 1-STORY.
2. THIS PROJECT IS NOT SUBJECT TO SPECIAL OVERLAY ZONES.
3. THIS PROJECT IS NOT SUBJECT TO TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
4. THIS PROJECT DOES NOT CONTAIN ANY RIPARIAN HABITAT WITHIN THE 100-YEAR FLOODPLAIN.
5.
 - a. THE TOTAL AREA OF OPEN SPACE REQUIRED PER ORO VALLEY ZONING CODE TABLE 23-2B (C-2 UNDERLYING ZONING) IS 20% OF THE GROSS AREA OF THE PARCEL. TOTAL AREA OF OPEN SPACE PROVIDED IS 20.03% (LANDSCAPE=9.68%, FRONTAGE=10.35%)
 - b. THE MINIMUM AMOUNT OF LANDSCAPED COURTYARD/PEDESTRIAN MALLS IS 2% OF THE NET LOT AREA (EXCLUDING UN-BUILDABLE WASH AREA) PER 23.8.3.B.c. (97,224 S.F. X 0.02 = 1,944 S.F.). THE TOTAL AMOUNT OF PROVIDED LANDSCAPED COURTYARDS/PEDESTRIAN MALLS IS 2.61% (2,533 S.F.)
 - c. THE REQUIRED LANDSCAPED BUFFER-YARD TYPE B HAS BEEN CHOSEN FOR THE UNDERLYING ZONING DESIGNATION:
STREET = 30'
SIDE = 30'
REAR = 30'
 - d. BUILDING SETBACKS:
STREET (LA CANADA) - 25' REQUIRED; 30.1' (MIN.) PROVIDED
STREET (NARANJA) - 25' REQUIRED; 30.2' (MIN.) PROVIDED
NORTH - 25' REQUIRED; 42.6' (MIN.) PROVIDED
WEST - 25' REQUIRED; 43.5' (MIN.) PROVIDED
6. THE OWNER IS RESPONSIBLE FOR THE OPEN SPACE AND BUFFERYARD MAINTENANCE.
7. THIS PROJECT FALLS UNDER DEVELOPMENT AREA D OF THE EL CONQUISTADOR COUNTRY CLUB PLANNED AREA DEVELOPMENT (PAD). SEE PAD DOCUMENT DATED AUGUST 17, 1983, LATEST REVISION BY ORDINANCE (O) 92-21 DATED DECEMBER 2, 1992.
8. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT AS ADOPTED BY THE TOWN OF ORO VALLEY:
A. INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
B. NATIONAL ELECTRICAL CODE.
C. ADA STANDARDS FOR ACCESSIBLE DESIGN.
D. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS.
E. TOWN OF ORO VALLEY POOL CODE.
F. PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.) STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
G. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
H. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL.
I. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
J. ORO VALLEY TOWN CODE, CURRENT REVISED.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE EAST LINE OF THE S.E. 1/4 OF SECTION 3, T12S, R13E G.&S.R.M., PIMA COUNTY, ARIZONA AS SHOWN ON THIS PLAN AND ON THE "CANADA HILLS - VILLAGE 15" PLAT AS RECORDED IN BOOK 23, PAGE 49, MAPS & PLATS, RECORDS OF PIMA COUNTY, AZ. THE BEARING OF SAID LINE IS N 00°00'16" E.
5. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION "OPUS" CONTROL POINT "12S13E_E17", DESCRIBED AS A 1/2" REBAR TAGGED "PCDOT GPS" 2FT EAST OF AN ELECTRIC TRANSFORMER, APPROX. 201 FT N.W. OF THE INTERSECTION OF LA CANADA DR AND NARANJA DR., THE ELEVATION OF SAID BENCHMARK IS 2,716.67', NAVD 88 DATUM.

ORO VALLEY WATER UTILITY NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE BEFORE ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
4. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
5. ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM. MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FORWARD FLOW TESTS AT A MINIMUM FLOW RATE OF THE SYSTEM DEMAND INCLUDING HOSE ALLOWANCE WHERE APPLICABLE. PROVIDE TEST HEADERS.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
7. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.

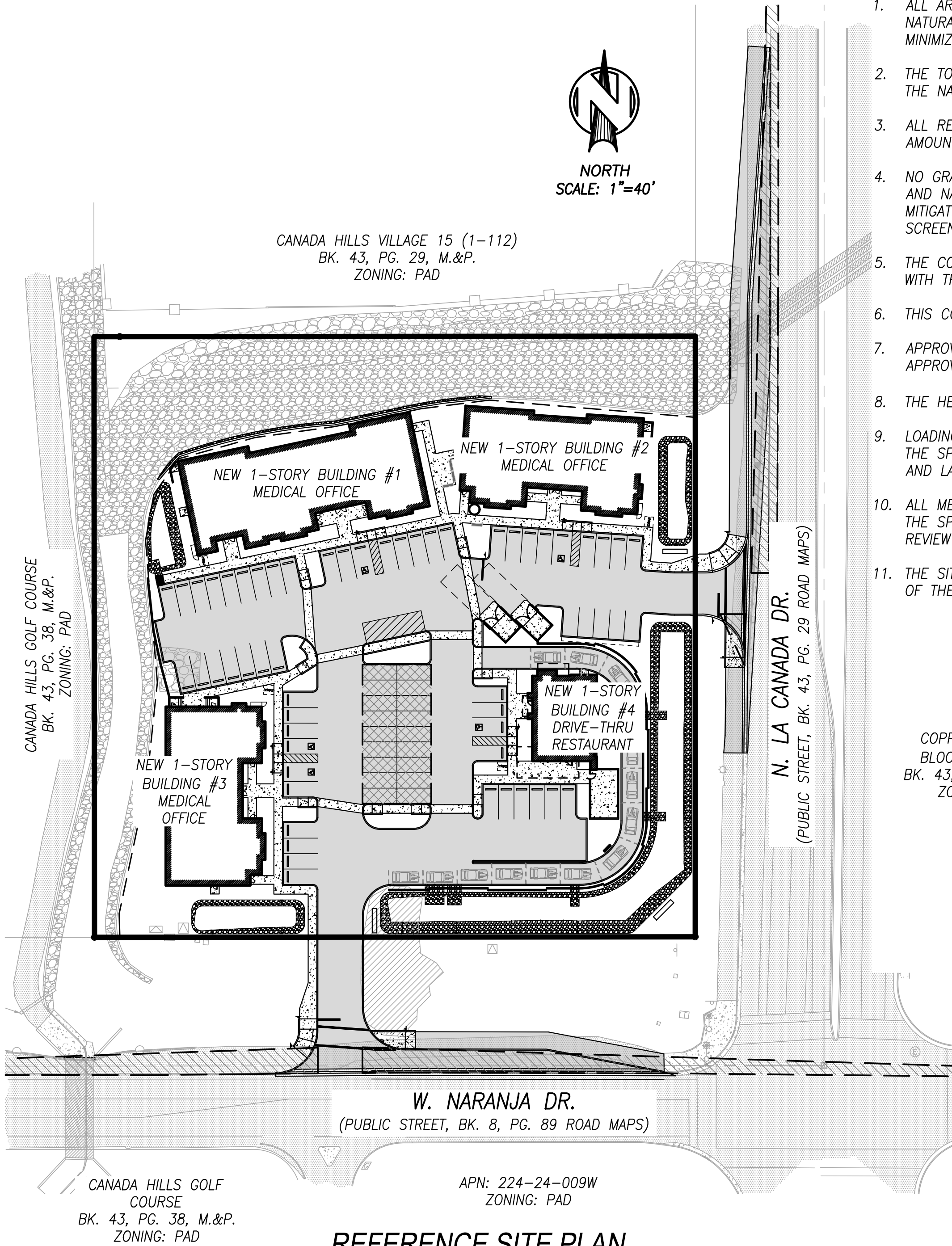
GENERAL UTILITY NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.

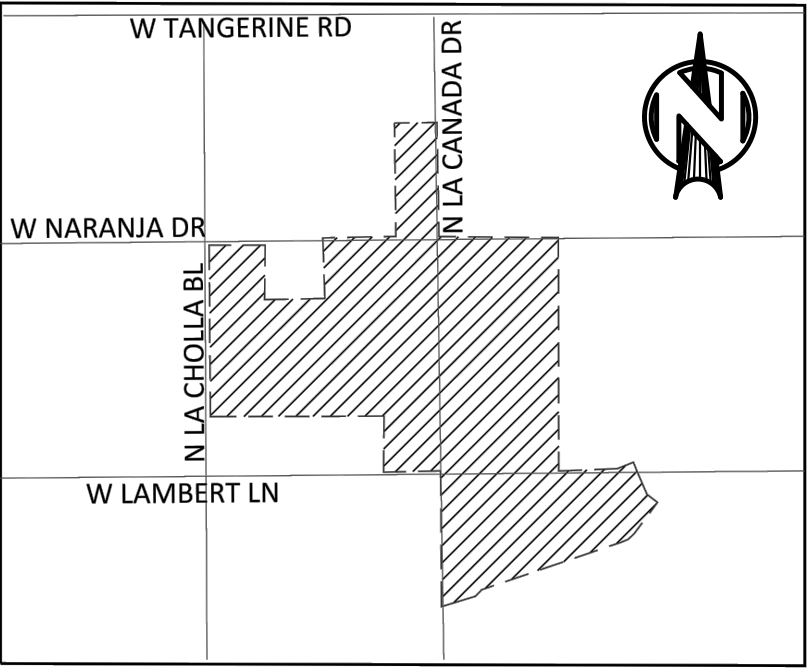
CONCEPTUAL SITE PLAN FOR
NWC LA CANADA / NARANJA
2101733



2006 GRADING EXCEPTION (OV12-06-16A)
CONDITIONS OF APPROVAL

1. ALL AREAS DISTURBED BY GRADING SHALL BE RE-VEGETATED WITH NATURAL ROCK AND PLANT MATERIAL. VEGETATION SHALL BE USED TO MINIMIZE THE VISUAL IMPACTS OF GRADING.
2. THE TOPS AND TOES OF SLOPES SHALL BE ROUNDED TO BLEND WITH THE NATURAL GRADES.
3. ALL RETAINING WALLS SHALL BE DESIGNED TO REDUCE EXCESSIVE AMOUNT OF SLOPE AREA AND PRESERVE EXISTING VEGETATION.
4. NO GRADING DISTURBANCES SHALL BE VISIBLE FROM LA CANADA DRIVE AND NARANJA DRIVE. ANY AREAS OF VISIBLE DISTURBANCE SHALL BE MITIGATED WITH THE ABOVE METHODS OR SHALL HAVE VEGETATIVE SCREENING.
5. THE COLOR AND TEXTURE OF RETAINING WALLS SHALL BE CONSISTENT WITH THE CHARACTER OF SURROUNDING NATURAL AREAS.
6. THIS CONDITION HAS BEEN REMOVED PER CASE NUMBER _____.
7. APPROVAL OF THE GRADING EXCEPTION DOES NOT CONSTITUTE APPROVAL OF THE PROPOSED CONCEPTUAL PLAN.
8. THE HEIGHT OF THE BUILDING(S) SHALL BE LIMITED TO (28').
9. LOADING ZONES SHALL BE ADEQUATELY SCREENED ON ALL FIVE SIDES. THE SPECIFICS MUST BE ADDRESSED AS PART OF THE DEVELOPMENT AND LANDSCAPE PLAN PROCESS.
10. ALL MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL FIVE SIDES. THE SPECIFICS MUST BE ADDRESSED AS PART OF THE ARCHITECTURAL REVIEW PROCESS.
11. THE SITE DESIGN MUST NOT INCORPORATE A LOOP ROAD AT THE BACK OF THE BUILDINGS ADJACENT TO THE DRAINAGEWAYS.

COPPER CREEK 1,
BLOCK 1 (38-87)
BK. 43, PG. 29, M.&P.
ZONING: R-4

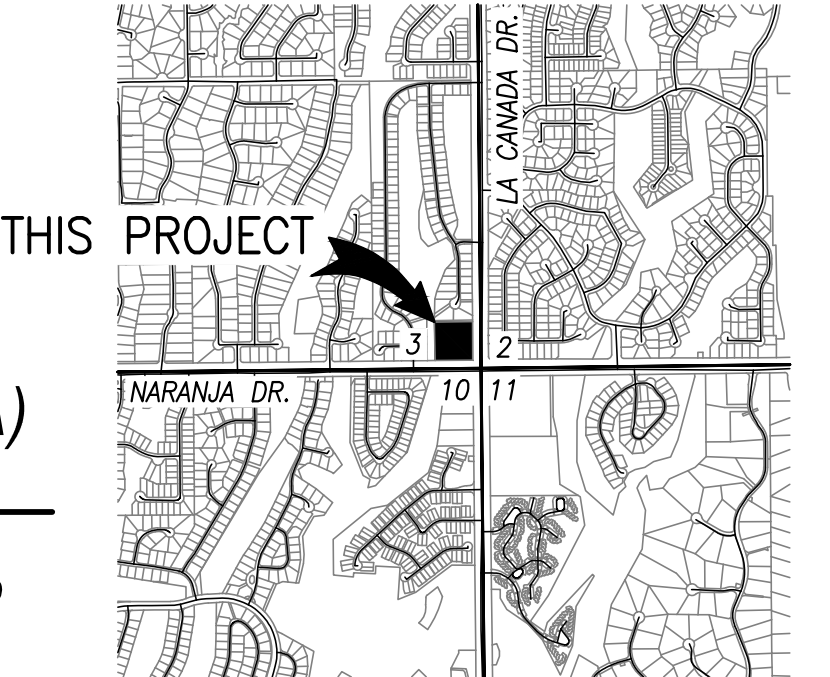


PAD DISTRICT PLAN

REFERENCE SITE PLAN

PARKING, LOADING, AND BICYCLE STORAGE CALCULATIONS

BUILDING NUMBER	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO (PER PAD)	TOTAL PARKING		ACCESSIBLE PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
1	OFFICE/MEDICAL SERVICE	7,195	1:300	24	24	1	1		0	0	1	1	1	2
2	OFFICE/MEDICAL SERVICE	5,428	1:300	19	19	1	1		0	0	1	1	1	2
3	OFFICE/MEDICAL SERVICE	5,428	1:300	19	19	1	2		0	0	1	1	1	2
4	DRIVE-THRU RESTAURANT	2,055	1:200	11	13	1	1	0	0	0	0	0	1	2
TOTALS		20,106		73	75	4 (1 VAN)	5 (4 VAN)	1:5,000-24,999	1	1	3	3	4	8



LOCATION MAP

SCALE: 3" = 1 MILE
A PORTION OF SECTION 3, T-12-S,
R-13-E, GLA AND SALT RIVER MERIDIAN,
PIMA COUNTY, ARIZONA

SHEET INDEX

- 1 - C1.0 COVER SHEET
- 2 - C1.1 LEGEND & ABBREVIATIONS
- 3 - C2.0 SITE PLAN
- 4 - C3.0 GRADING PLAN
- 5 - C4.0 PRIVATE UTILITY PLAN

OWNER/DEVELOPER

LA CANADA/NARANJA LLC
CONTACT : PAUL OLAND
ADDRESS : P.O. BOX 57037
TUCSON, AZ 85732
PHONE : (520) 664-4304
EMAIL : gpo@paradigmiland.us

CIVIL ENGINEER

GRENIER ENGINEERING, INC.
CONTACT : JASON MORSE, P.E.
ADDRESS : 6300 E. EL DORADO PLAZA,
SUITE A120, TUCSON, AZ 85715
PHONE : (520) 326-7082
EMAIL : jrmorse@greniereng.com

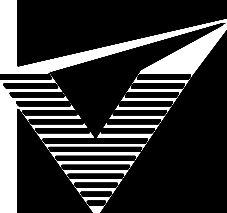
ARCHITECT

GANSLINE & ASSOCIATES
CONTACT : BILL GANSLINE
ADDRESS : 1795 E. SKYLINE DRIVE SUITE 193
TUCSON, AZ 85718
PHONE : (250) 903-4042
EMAIL : gansline@usa.net

LANDSCAPE ARCHITECT

ARC STUDIOS
CONTACT : ERIC BARRETT
ADDRESS : 3117 E. FLOWER STREET
TUCSON, AZ 85716
PHONE : 520-882-9655
EMAIL : ERB@ARCSTUDIOSINC.COM
REGISTRATION NO. 39813

REFERENCE CASE NUMBERS:
2101748, 2100814, OV1602760, OV1206-16A, IP1912-06,
G1300016, G1400034, G1500014, G1702595, OV1204-19

Rev #	Date	Description
 GRENIER ENGINEERING, Inc. Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508		
Sheet Name COVER SHEET		
Project CONCEPTUAL SITE PLAN FOR NWC LA CANADA / NARANJA PROJECT NAME A PORTION OF SECTION 3, T12S, R13E, G&SRM, PIMA COUNTY, ARIZONA		
Job Number: 21164 Designed By: AR/JEG Drawn By: AR Checked By: JM Date: 10/13/2022 Scale: Vt: N/A Ht: AS NOTED Sheet Number: C1.0 Sheet 1 of 5		

LEGEND

FEATURE	NEW	EXISTING
SURVEY MONUMENT		
BOUNDARY LINE		
EASEMENT LINE		
MONUMENT LINE		
CONTOUR LINE – MAJOR		
CONTOUR LINE – MINOR		
A.C. PAVEMENT		
CONCRETE CURB		
CONCRETE CURB & GUTTER		
CONCRETE SIDEWALK/PAD		
BUILDING EXTERIOR WALL		
UNDERGROUND ELECTRIC LINE		
ELECTRICAL TRANSFORMER		
ELECTRICAL JUNCTION BOX		
ELECTRICAL CONTROL BOX		
ELECTRICAL METER		
ELECTRICAL MANHOLE		
TRAFFIC SIGNAL		
LARGE STREET LIGHT		
TRAFFIC CONTROL BOX		
STREET LIGHT BOX		
UNDERGROUND TELEPHONE LINE		
TELEPHONE MANHOLE		
UTILITY BOX/CABINET		
FIBER OPTIC MARKER		
COMMUNICATIONS BOX		
CABLE TELEVISION PEDESTAL		
GAS LINE		
GAS MARKER		
UNKNOWN UTILITY		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
STORM DRAIN LINE		
STORM DRAIN MANHOLE		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
WATER LINE		
WATER METER		
BACKFLOW PREVENTOR		
WATER VALVE		
WATER STAMP ON CURB		
SLOPE ARROW		
GRADE POINT		
SIGN		
MAILBOX		
GUARDRAIL		
DRAINAGE FLOW LINE		
GRADING LIMITS		
100YR FLOODPLAIN LIMITS		
RIPRAP		

ABBREVIATIONS

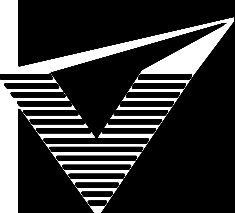
ABC	AGGREGATE BASE COARSE	ME	MATCH EXISTING
AC	ASPHALTIC CONCRETE	MIN	MINIMUM
ADEQ	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY	N	NORTH
		NAVD	NORTH AMERICAN VERTICAL DATUM
ALT	ALTERNATE	NE	NORTHEAST
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	NO	NUMBER
APC	AUTOMATED PLASTIC CONTAINER	NOI	NOTICE OF INTENT
		NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	NW	NORTHWEST
ARS	ARIZONA REVISED STATUTES	OC	ON CENTER
		PC/COT	PIMA COUNTY/CITY OF TUCSON
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	P	PAVEMENT
AZPDES	ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM	PCC	PORTLAND CEMENT CONCRETE
		PDSD	PLANNING & DEVELOPMENT SERVICES
BC	BACK OF CURB		
BCS	BUSINESS CONNECTION	PE	POLYETHYLENE
		PG	PAGE
BK	BOOK	PN	PLAN NUMBER
BLDG	BUILDING	PSI	POUNDS PER SQUARE INCH
BLVD	BOULEVARD	PUE	PUBLIC UTILITY EASEMENT
C	CONCRETE, COMPUTED	PVC	POLYVINYL CHLORIDE
CF	CUBIC FEET	PVMT	PAVEMENT
CFS	CUBIC FEET PER SECOND	R	RANGE, RADIUS, RECORD
CI	CAST IRON	RCP	REINFORCED CONCRETE PIPE
CLR	CLEAR	RD	ROAD
CMU	CONCRETE MASONRY UNIT	RLS	REGISTERED LAND SURVEYOR
CONC	CONCRETE	ROW	RIGHT-OF-WAY
COT	CITY OF TUCSON	RWRD	REGIONAL WASTEWATER RECLAMATION DEPARTMENT
CY	CUBIC YARDS		
DIP	DUCTILE IRON PIPE	S	SLOPE, SOUTH, SECTION
DKT	DOCKET	SE	SOUTHEAST
DTL	DETAIL	SEQ	SEQUENCE
DR	DRIVE	SF	SQUARE FEET
E	EAST	SSPI	STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
EG	EXISTING GRADE	STD	STANDARD
ELEV	ELEVATION	SVT	SIGHT VISIBILITY TRIANGLE
EQUIV	EQUIVALENT	SW	SIDEWALK, SOUTHWEST
EX	EXISTING	SWR	SEWER
EXIST	EXISTING	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
FC	FACE OF CURB	T	TOWNSHIP
FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
		TYP	TYPICAL
FG	FINISHED GRADE	TW	TOP OF WALL
FL	FLOW LINE	UDC	UNIFIED DEVELOPMENT CODE
FT	FEET	UNO	UNLESS NOTED OTHERWISE
G	GUTTER	VCP	VITRIFIED CLAY PIPE
G&SRM	GILA & SALT RIVER MERIDIAN	VERT	VERTICAL
		W	WEST, WIDTH
GA	GAUGE	WK	WEEK
GAL	GALLONS	WSEL	WATER SURFACE ELEVATION
GFA	GROSS FLOOR AREA	WTR	WATER
HDPE	HIGH-DENSITY POLYETHYLENE	WWF	WELDED WIRE FABRIC
		YR	YEAR
IBC	INTERNATIONAL BUILDING CODE		
ICC	INTERNATIONAL CODE COUNCIL		
INV	INVERT		
L	LENGTH		
LBS	POUNDS		
LF	LINEAR FEET		
LP	LOOP		
M	MEASURED		
M&P	MAPS & PLATS		
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS		
MAX	MAXIMUM		

REFERENCE CASE NUMBERS:
2101748, 2100814, OV1602760, OV1206-16A, IP1912-06,
G13000016, G1400034, G1500014, G1702595, OV1204-19

Rev #

Date

Description



GRENIER

ENGINEERING, Inc.

Structural & Civil Engineering Consultant

6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715

Phone: 520.326.7082 ~ Fax: 520.326.7508

Sheet Name

LEGEND & ABBREVIATIONS

Project

CONCEPTUAL SITE PLAN FOR
NWC LA CANADA / NARANJA
PROJECT NAME
A PORTION OF SECTION 3, T12S, R13E,
G&SRM, PIMA COUNTY, ARIZONA

Job Number:

21164

Designed By:

AR/JEG

Drawn By:

AR

Checked By:

JM

Date:

10/13/2022

Scale Vt:

N/A

Hz:

N/A

Sheet Number:


C1.1

Sheet

2

of

5



Job Number:

21164

Designed By:

AR/JEG

Drawn By:

AR

Checked By:

JM

Date:

10/13/2022

Scale Vt:

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Sheet Number:

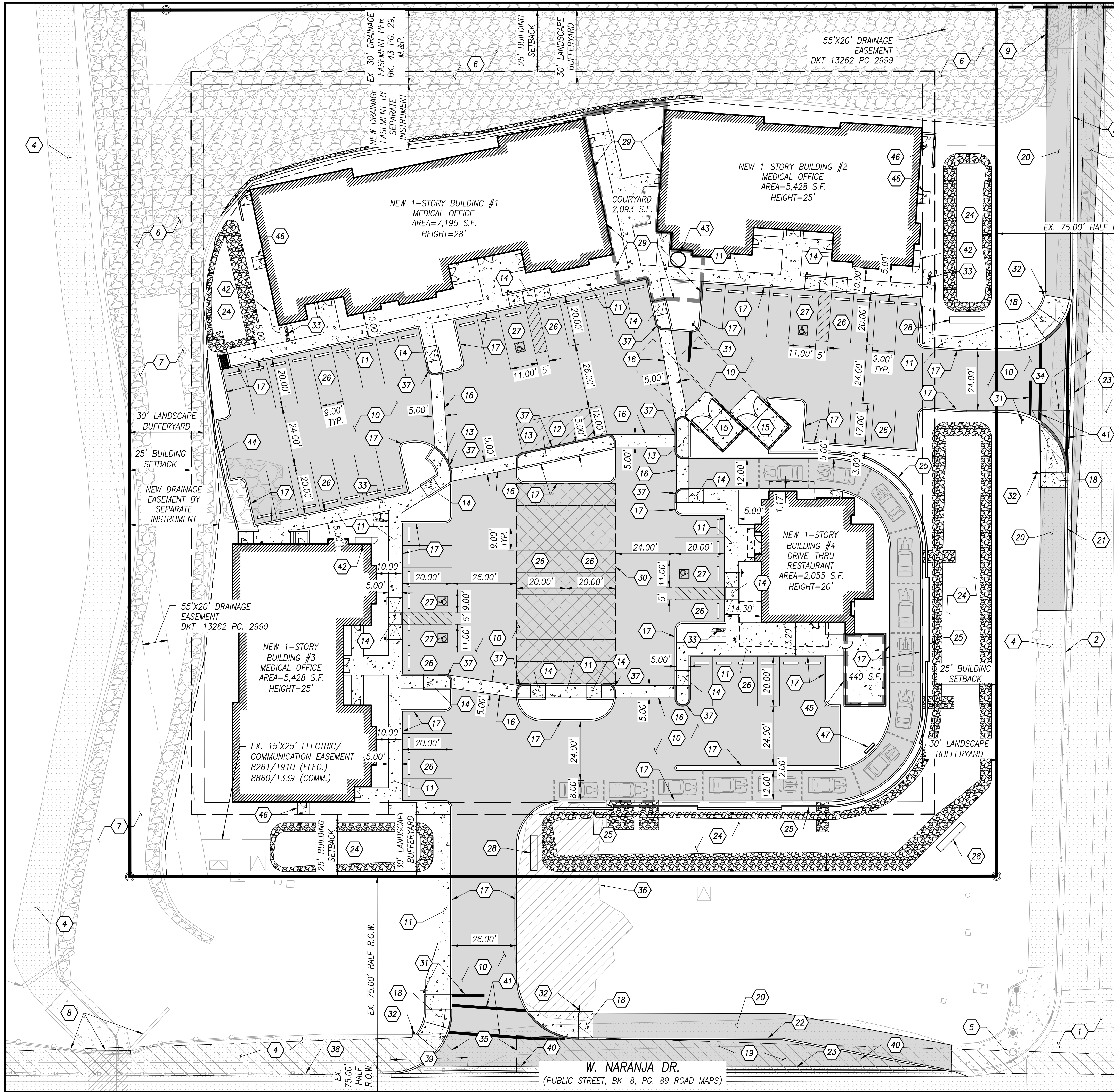
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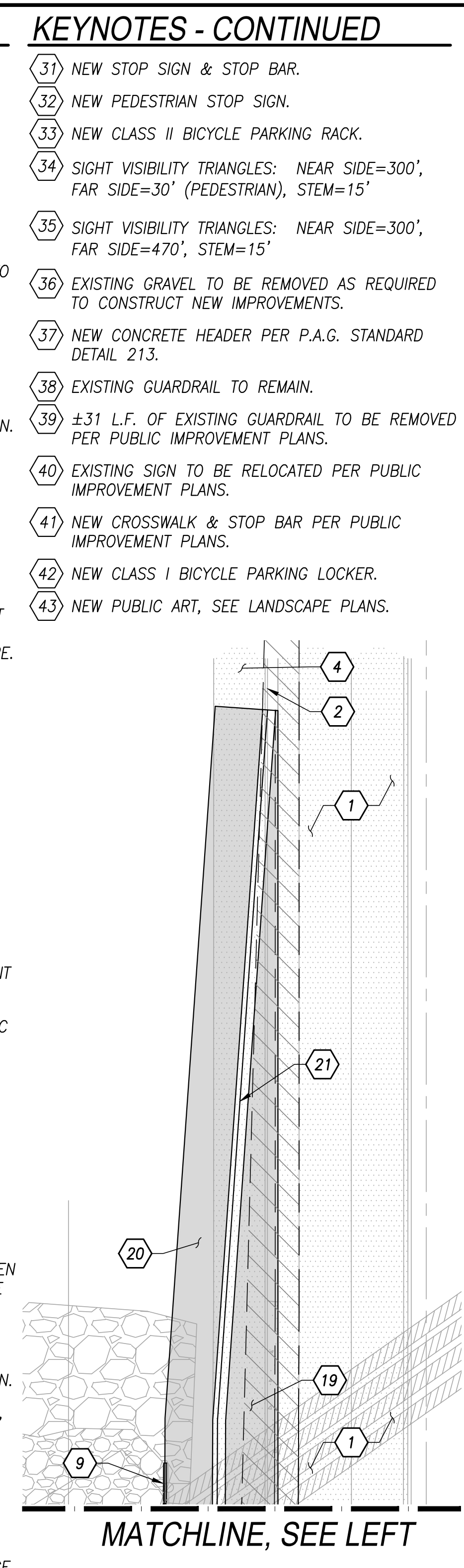


MATCHLINE,
SEE RIGHT

NORTH
SCALE: 1"=20'

- ### KEYNOTES
- 1 EXISTING A.C. PAVEMENT TO REMAIN.
 - 2 EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
 - 3 EXISTING CONCRETE VERTICAL CURB TO REMAIN.
 - 4 EXISTING 10' WIDE MULTI-USE A.C. PATH TO REMAIN.
 - 5 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 6 EXISTING GROUTED RIPRAP DRAINAGE CHANNEL TO REMAIN.
 - 7 EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP SIDE SLOPES TO REMAIN.
 - 8 EXISTING BOX CULVERT, HEADWALL, AND WING WALLS TO REMAIN.
 - 9 EXISTING HEADWALL AND STORM PIPES TO REMAIN.
 - 10 NEW A.C. PAVEMENT.
 - 11 NEW CONCRETE SIDEWALK PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.
 - 12 NEW 12' X 35' LOADING ZONE & PASSENGER DROP-OFF.
 - 13 NEW CONCRETE SIDEWALK FLUSH WITH PAVEMENT PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.
 - 14 NEW CURB ACCESS RAMP.
 - 15 NEW DUMPSTER ENCLOSURE WITH 6' HIGH MASONRY WALLS, FINISH TO MATCH THE ARCHITECTURAL CHARACTER OF THE PROJECT. PROVIDE SELF-CLOSING, SELF-LATCHING GATE.
 - 16 NEW 5' WIDE DECORATIVE CONCRETE OR PAVER CROSSWALK.
 - 17 NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 209, TYPE 2.
 - 18 NEW CURB ACCESS RAMP PER PUBLIC IMPROVEMENT PLANS.
 - 19 NEW RIGHT TURN LANE PER PUBLIC IMPROVEMENT PLANS.
 - 20 NEW 10' WIDE MULTI-USE A.C. PATH PER PUBLIC IMPROVEMENT PLANS.
 - 21 NEW CONCRETE CURB AND GUTTER PER PUBLIC IMPROVEMENT PLANS.
 - 22 NEW CONCRETE VERTICAL CURB PER PUBLIC IMPROVEMENT PLANS.
 - 23 NEW CONCRETE VALLEY GUTTER PER PUBLIC IMPROVEMENT PLANS.
 - 24 NEW DETENTION BASIN, SEE GRADING PLAN.
 - 25 NEW 3'-6" HIGH CMU SCREEN WALL WITH SCREEN ABOVE PER BUILDING PLANS. WALL SHALL HAVE VARIED SETBACKS AS SHOWN. SEE WALL NOTE BELOW.
 - 26 NEW 9' X 20' STANDARD PARKING SPACES. PRECAST CONCRETE WHEEL STOPS WHERE SHOWN.
 - 27 NEW ACCESSIBLE PARKING SPACE, ACCESS AISLE, AND SIGN PER DIMENSIONS SHOWN.
 - 28 NEW MONUMENT SIGN.
 - 29 NEW COURTYARD WITH SEATING, SEE LANDSCAPE PLANS.
 - 30 POTENTIAL COVERED PARKING BY SEPARATE PERMIT. LOCATION AND QUANTITY COULD CHANGE.
- ### KEYNOTES - CONTINUED
- 31 NEW STOP SIGN & STOP BAR.
 - 32 NEW PEDESTRIAN STOP SIGN.
 - 33 NEW CLASS II BICYCLE PARKING RACK.
 - 34 SIGHT VISIBILITY TRIANGLES: NEAR SIDE=300', FAR SIDE=30' (PEDESTRIAN), STEM=15'
 - 35 SIGHT VISIBILITY TRIANGLES: NEAR SIDE=300', FAR SIDE=470', STEM=15'
 - 36 EXISTING GRAVEL TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW IMPROVEMENTS.
 - 37 NEW CONCRETE HEADER PER P.A.G. STANDARD DETAIL 213.
 - 38 EXISTING GUARDRAIL TO REMAIN.
 - 39 ±31 L.F. OF EXISTING GUARDRAIL TO BE REMOVED PER PUBLIC IMPROVEMENT PLANS.
 - 40 EXISTING SIGN TO BE RELOCATED PER PUBLIC IMPROVEMENT PLANS.
 - 41 NEW CROSSWALK & STOP BAR PER PUBLIC IMPROVEMENT PLANS.
 - 42 NEW CLASS I BICYCLE PARKING LOCKER.
 - 43 NEW PUBLIC ART, SEE LANDSCAPE PLANS.

N. LA CANADA DR.
(PUBLIC STREET, BK. 43, PG. 29 ROAD MAPS)



KEYNOTES - CONTINUED

- 44 NEW CMU RETAINING WALL WITH 5'-0" HIGH SCREEN WALL ABOVE. SEE WALL NOTE BELOW.
- 45 OUTDOOR SHADED SEATING AREA WITH NEW 3'-0" HIGH CMU SCREEN WALL. SEE WALL NOTE BELOW.
- 46 NEW 5' X 5' CONCRETE STOOP.
- 47 NEW DRIVE-THRU MENU BOARD.

WALL NOTE:

ALL SITE WALLS TO PROVIDE DECORATIVE FEATURES SUCH AS CAPS, PATTERNS, AND VARIATIONS IN TEXTURE OR MATERIALS.

REFERENCE CASE NUMBERS:
2101748, 2100814, OV1602760, OV1206-16A, IP1912-06,
G1300016, G1400034, G1500014, G1702595, OV1204-19

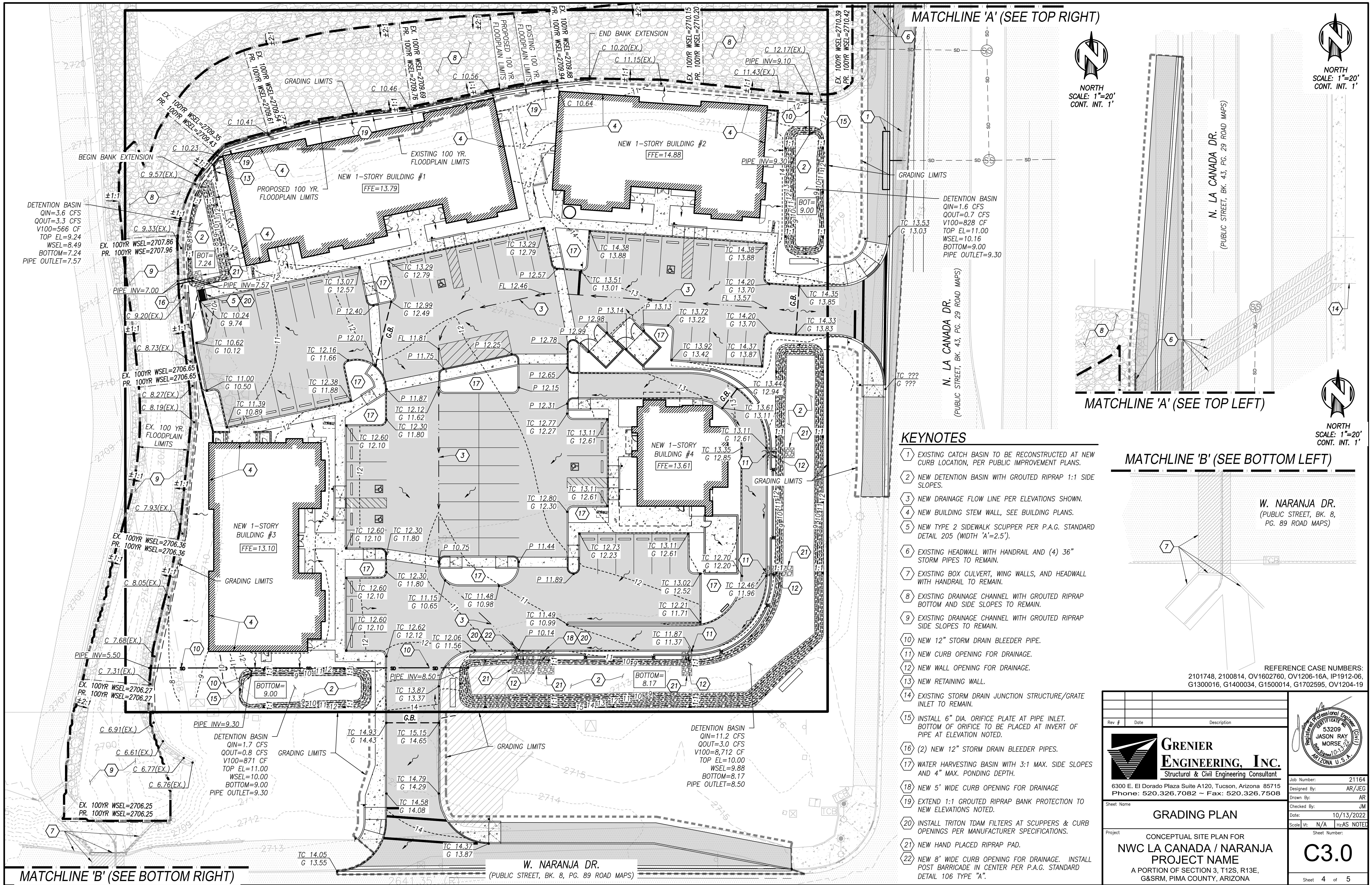
Rev #	Date	Description

GRENIER ENGINEERING, INC.
Structural & Civil Engineering Consultant
6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715
Phone: 520.326.7082 ~ Fax: 520.326.7508

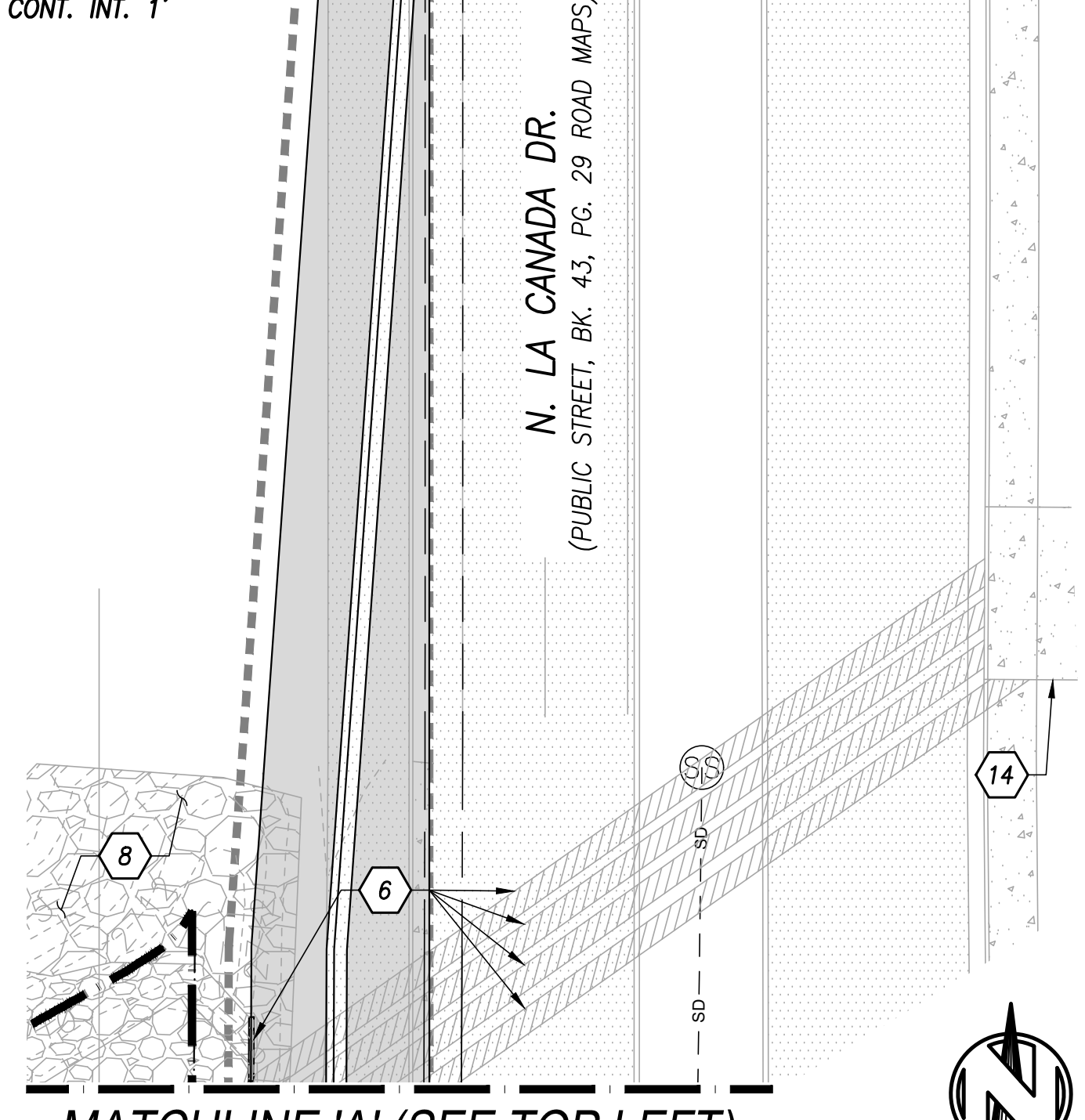
Job Number: 21164
Designed By: AR/JEG
Drawn By: AR
Checked By: JM
Date: 10/13/2022
Scale: N/A
Sheet Number: C2.0

Project: CONCEPTUAL SITE PLAN FOR
NWC LA CANADA / NARANJA PROJECT NAME
A PORTION OF SECTION 3, T12S, R13E,
G&SRM, PIMA COUNTY, ARIZONA

Sheet 3 of 5



MATCHLINE 'A' (SEE TOP RIGHT)



MATCHLINE 'A' (SEE TOP LEFT)

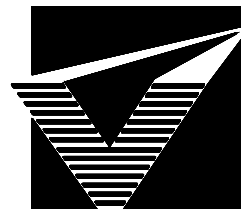
KEYNOTES

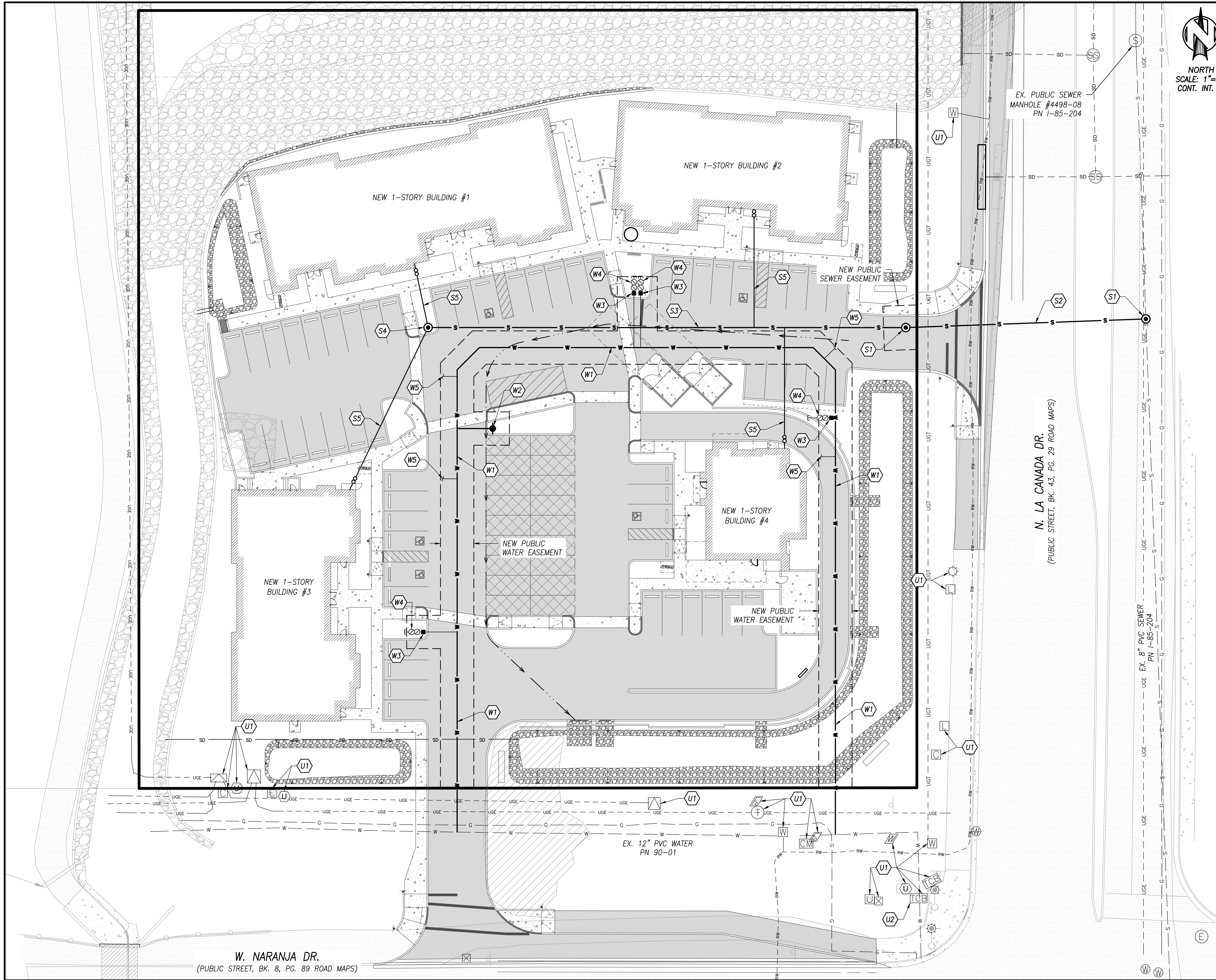
- 1 EXISTING CATCH BASIN TO BE RECONSTRUCTED AT NEW CURB LOCATION, PER PUBLIC IMPROVEMENT PLANS.
- 2 NEW DETENTION BASIN WITH GROUTED RIPRAP 1:1 SIDE SLOPES.
- 3 NEW DRAINAGE FLOW LINE PER ELEVATIONS SHOWN.
- 4 NEW BUILDING STEM WALL, SEE BUILDING PLANS.
- 5 NEW TYPE 2 SIDEWALK SCUPPER PER P.A.G. STANDARD DETAIL 205 (WIDTH "A"=2.5').
- 6 EXISTING HEADWALL WITH HANDRAIL AND (4) 36" STORM PIPES TO REMAIN.
- 7 EXISTING BOX CULVERT, WING WALLS, AND HEADWALL WITH HANDRAIL TO REMAIN.
- 8 EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP BOTTOM AND SIDE SLOPES TO REMAIN.
- 9 EXISTING DRAINAGE CHANNEL WITH GROUTED RIPRAP SIDE SLOPES TO REMAIN.
- 10 NEW 12" STORM DRAIN BLEEDER PIPE.
- 11 NEW CURB OPENING FOR DRAINAGE.
- 12 NEW WALL OPENING FOR DRAINAGE.
- 13 NEW RETAINING WALL.
- 14 EXISTING STORM DRAIN JUNCTION STRUCTURE/GRATE INLET TO REMAIN.
- 15 INSTALL 6" DIA. ORIFICE PLATE AT PIPE INLET. BOTTOM OF ORIFICE TO BE PLACED AT INVERT OF PIPE AT ELEVATION NOTED.
- 16 (2) NEW 12" STORM DRAIN BLEEDER PIPES.
- 17 WATER HARVESTING BASIN WITH 3:1 MAX. SIDE SLOPES AND 4" MAX. PONDING DEPTH.
- 18 NEW 5' WIDE CURB OPENING FOR DRAINAGE
- 19 EXTEND 1:1 GROUTED RIPRAP BANK PROTECTION TO NEW ELEVATIONS NOTED.
- 20 INSTALL TRITON TDAM FILTERS AT SCUPPERS & CURB OPENINGS PER MANUFACTURER SPECIFICATIONS.
- 21 NEW HAND PLACED RIPRAP PAD.
- 22 NEW 8' WIDE CURB OPENING FOR DRAINAGE. INSTALL POST BARRICADE IN CENTER PER P.A.G. STANDARD DETAIL 106 TYPE "A".

MATCHLINE 'B' (SEE BOTTOM LEFT)

W. NARANJA DR.
(PUBLIC STREET, BK. 8,
PG. 89 ROAD MAPS)

REFERENCE CASE NUMBERS:
2101748, 2100814, OV1602760, OV1206-16A, IP1912-06,
G1300016, G1400034, G1500014, G1702595, OV1204-19

Rev #		Date	Description
 GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508			
Job Number:		21164	
Designed By:		AR/JEG	
Drawn By:		AR	
Checked By:		JM	
Date:		10/13/2022	
Scale:		N/A H:AS NOTED	
Project:		CONCEPTUAL SITE PLAN FOR NWC LA CANADA / NARANJA PROJECT NAME A PORTION OF SECTION 3, T12S, R13E, G&SRM, PIMA COUNTY, ARIZONA	
Sheet Number:		C3.0	
Sheet:		4 of 5	

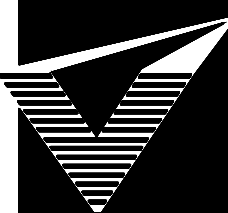



- SEWER KEYNOTES**
- S1 NEW PUBLIC SANITARY SEWER MANHOLE PER PUBLIC SEWER PLANS.
 - S2 NEW PUBLIC SANITARY SEWER MAIN PER PUBLIC SEWER PLANS.
 - S3 NEW PRIVATE SANITARY SEWER MAIN PER PRIVATE SEWER PLANS.
 - S4 NEW PRIVATE SANITARY SEWER MANHOLE PER PRIVATE SEWER PLANS.
 - S5 NEW PRIVATE SANITARY SEWER B.C.S.

- WATER KEYNOTES**
- W1 NEW PUBLIC WATER MAIN PER PUBLIC WATER PLANS.
 - W2 NEW FIRE HYDRANT PER PUBLIC WATER PLANS.
 - W3 NEW WATER SERVICE LINE AND METER PER PUBLIC WATER PLANS.
 - W4 NEW BACKFLOW PREVENTOR.
 - W5 NEW FIRE SERVICE LINE.

- UTILITY KEYNOTES**
- U1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - U2 CONTRACTOR TO LOCATE EXISTING WIRE TO ADVANCED TRAFFIC SIGNAL LOOP AND PROTECT IN PLACE.

REFERENCE CASE NUMBERS:
2101748, 2100814, OV1602760, OV1206-16A, IP1912-06,
G1300016, G1400034, G1500014, G1702595, OV1204-19

 GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultant 6300 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508		 <p>Job Number: 21164 Designed By: AR/JEG Drawn By: AR Checked By: JM Date: 10/13/2022 Scale: N/A Hr: AS NOTED</p>
Project: CONCEPTUAL SITE PLAN FOR NWC LA CANADA / NARANJA PROJECT NAME A PORTION OF SECTION 3, T12S, R13E, G&SRM, PIMA COUNTY, ARIZONA		Sheet Number: C4.0 Sheet 5 of 5

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