

DEVELOPMENT PLAN FOR EXTRA SPACE – ORO VALLEY 2402615

GENERAL NOTES

1. THE ADMINISTRATIVE/SITE ADDRESS IS 8710 N ORACLE RD.
2. ASSESSOR'S PARCEL NUMBER(S) 225-14-169A, -166D, -166E.
3. THE AREA OF THE SITE IS 9.05 ACRES.
4. THE AREA OF DISTURBANCE IS 228,648 S.F. (5.24 ACRES)(SWPPP IS REQUIRED).
5. THE PROPOSED FLOOR AREA RATIO IS 0.25.
6. THE PROPOSED FLOOR AREA RATIO IS 0.23.
7. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
8. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
9. THIS SITE IS SUBJECT TO REZONING FROM C-2 TO PAD 20 (CASE #2202429 & 2300553).
10. ASSURANCES FOR WATER SERVICES, SITE STABILIZATION, AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES:

8. EXISTING ZONING IS EXTRA SPACE STORAGE PLANNED AREA DEVELOPMENT.
9. PROPOSED ZONING IS EXTRA SPACE STORAGE PLANNED AREA DEVELOPMENT.
10. HEIGHT
MAXIMUM PERMITTED: 30'
MAXIMUM PROPOSED: 29.5'
11. THE PROPERTY IS SUBJECT TO THE ORACLE ROAD SCENIC CORRIDOR DISTRICT (ORSCD) OVERLAY ZONE
12. THE PROJECT MEETS THE CRITERIA OUTLINED IN SECTION 27.10, ENVIRONMENTALLY SENSITIVE LANDS (ESL), OF THE ORO VALLEY ZONING CODE REVISED (OVZCR). ALL LOTS ARE DESIGNED TO COMPLY WITH THIS REGULATION.
13. THIS PROJECT WILL BE COMPLETED IN 1 PHASE.

13. OPEN SPACE
TOTAL REQUIRED: 39,933 SF
TOTAL PROVIDED: 71,563 SF
14. LANDSCAPED COMMON AREAS:
TOTAL PROVIDED: 41,852 SF
- 15.

LANDSCAPE BUFFERYARDS	
FRONT	30'
SIDE	15'
NORTHEAST	15'

16. BUILDING SETBACK
PER PAD-20, THE AVERAGE FRONT SETBACK OF 120' IS USED FOR THIS PROJECT
FRONT (ORACLE ROAD SCENIC PRESERVATION) = 300'
SIDE AND REAR: 50' OR 3 X 29.5' = 88.5'
MULTIFAMILY RESIDENTIAL OR NON-RESIDENTIAL = 25'

17. VEHICLE SPACES
TOTAL REQUIRED: 1 SPACE/50 UNITS X 400 UNITS

- = 8 SPACES
- = 7 SPACES
- = 1 SPACE
- = 1 SPACE
- = 68 SPACES
- = 3 SPACES
- = 3 SPACES
- = 2 SPACES
- = 2 SPACES

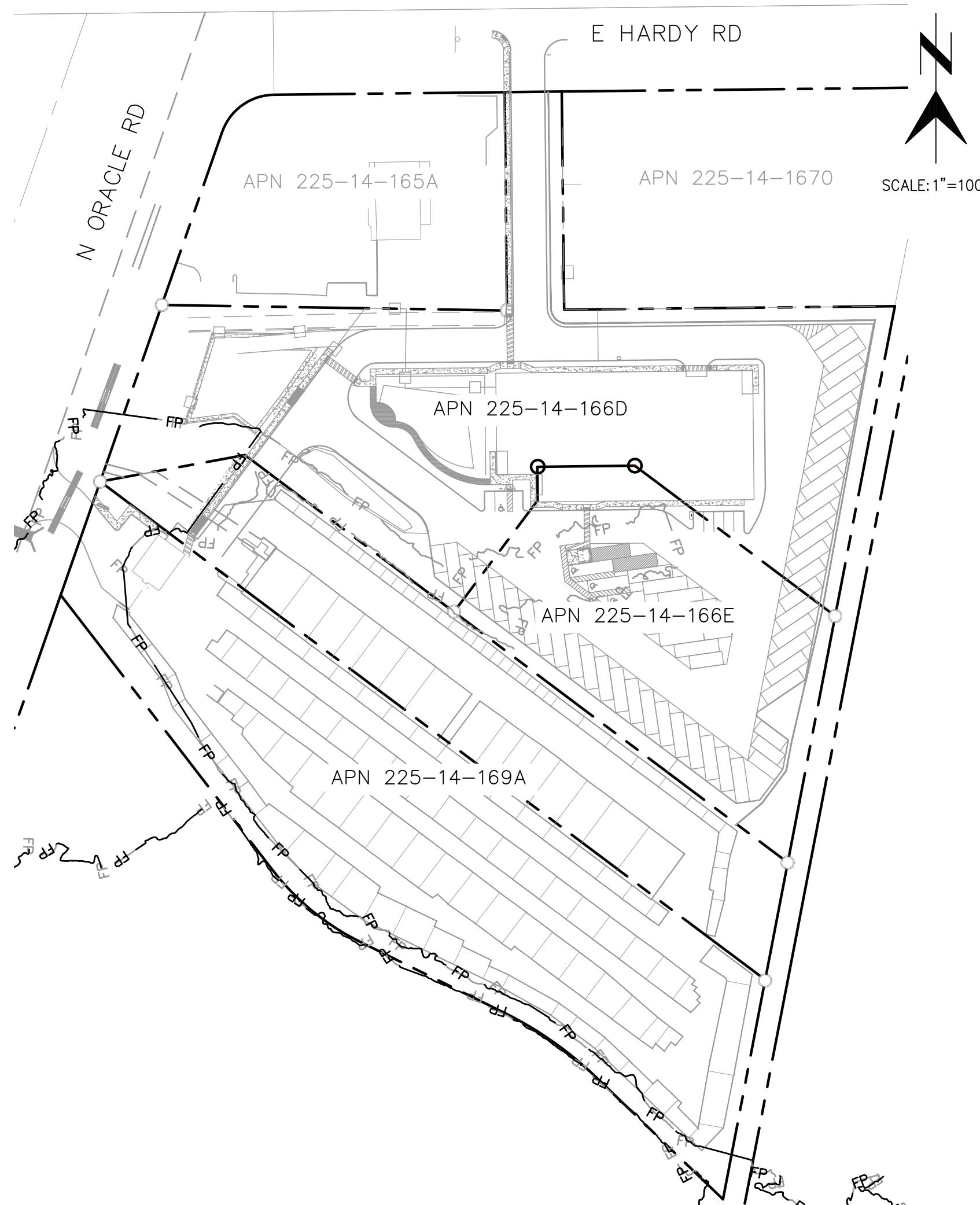
18. ALL PROPOSED OPEN SPACE WILL BE MAINTAINED BY THE OWNER OF THE PROPERTY.
19. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEERING NOTES:

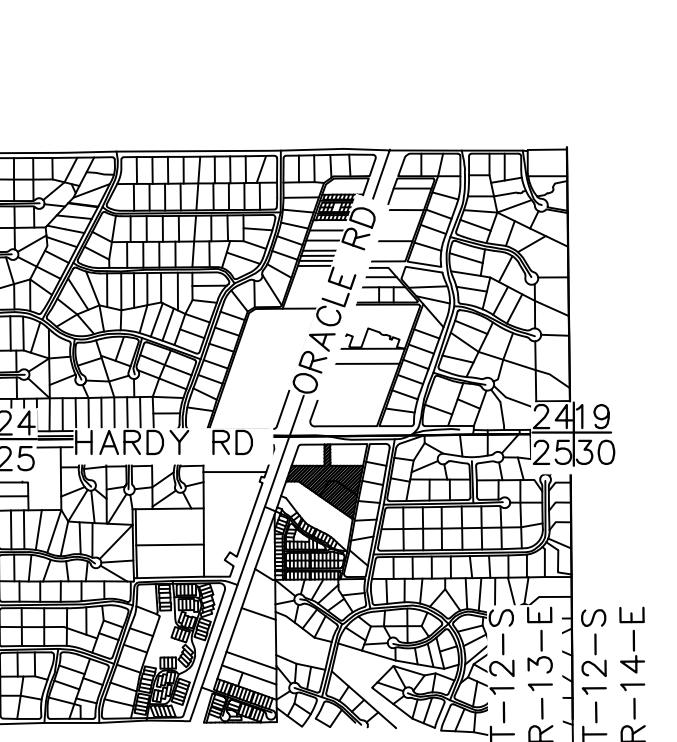
20. THE DESIGN SPEED FOR THE PARKING LOT WILL BE 10 MPH.
21. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
22. BASIS OF BEARING: ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SECTION 25, TOWNSHIP 12, RANGE 13 EAST BEING S89°22'07"W WITH A DISTANCE OF 2749.28 FEET
23. BASIS OF ELEVATION: PCDOT CONTROL POINT "12S13E_R23" BEING A "X" IN CONCRETE OF AN ELECTRIC TRANSFORMER, SOUTH OF CIRCLE K AT 8280 N ORACLE RD. SAID ELEVATION BEING 2638.02 (NAVD88)
24. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF ROADWAY SURFACE,
25. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

DRAINAGE GENERAL NOTES:

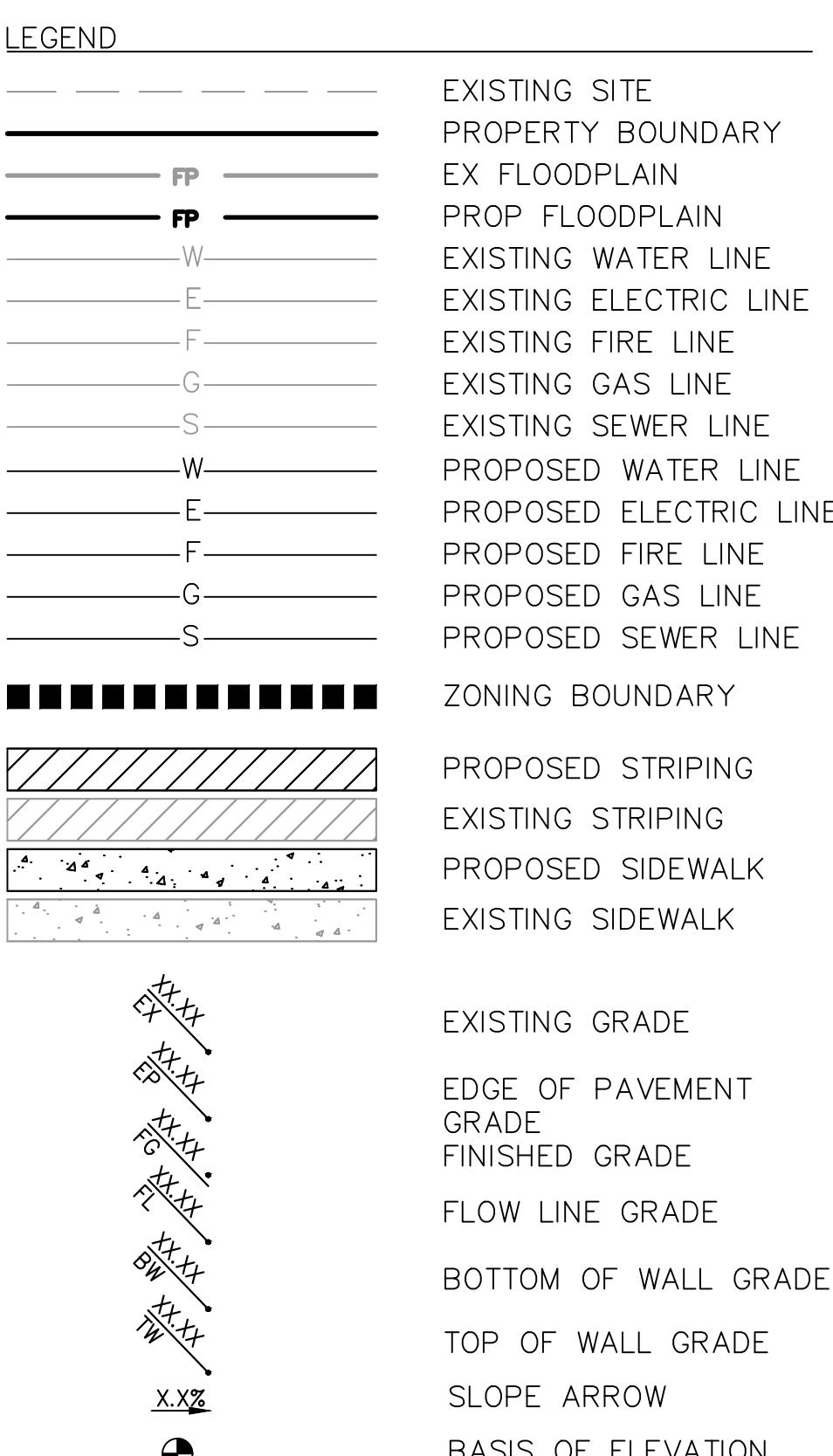
26. ALL DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. PARCELS AFFECTED BY REGULATORY FLOODPLAIN MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER, IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
27. DRAINAGE MUST BE COLLECTED AND RELEASED FROM THE A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
28. DRAINAGEWAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH AND FROM THE DEVELOPMENT AND SUCH DRAINAGEWAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
29. ALL DRAINAGEWAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
30. DRAINAGEWAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENT, OR PARKING AREAS.
31. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
32. THE SUBJECT PROPERTY IS AFFECTED BY THE TOWN OF ORO VALLEY FLOODPLAIN REGULATIONS.
33. A FLOODPLAIN USE PERMIT AND/OR FINISHED FLOOR ELEVATION CERTIFICATES ARE REQUIRED FOR THIS LOT.



Sheet List Table	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	NOTES SHEET
03	OVERALL SITE PLAN
04	SITE PLAN
05	SITE PLAN
06	GRADING PLAN
07	GRADING PLAN
08	UTILITY SHEET
09	DETAIL SHEET
10	DETAIL SHEET
11	DETAIL SHEET



LOCATION MAP
SECTION 25
T12S R13E, G&SRB&M
CITY OF TUCSON, AZ
SCALE: 3"=1 MI



APPROVAL BLOCK	
TOWN ENGINEER	DATE
PLANNING AND ZONING ADMINISTRATOR	DATE
<i>Bob C. Weller</i>	10/08/2025
WATER UTILITY DIRECTOR	DATE

OWNER/DEVELOPER
EXTRA SPACE STORAGE
2795 E COTTONWOOD PKWY
SALT LAKE CITY, UT 84121
CONTACT: CLINT KLEPPE
PHONE: (480) 266-5263
EMAIL: CKLEPPE@EXTRASPACE.COM

ARCHITECT
ARC SERVICES, INC
14010 N SUSSEX PL
FOUNTAIN HILLS, AZ 85268
CONTACT: PHILIP GOLLON
PHONE: (480) 837-0761
EMAIL: PGOLLON@ARCSERVICESINC.COM

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
3300 E SUNRISE DR, SUITE 130
TUCSON, AZ 85718
CONTACT: CHRIS LEON, PE
PHONE: (520) 615-9181
EMAIL: CHRIS.LEON@KIMLEY-HORN.COM
REG. NUMBER: 73340

LANDSCAPE ARCHITECT
GRS LANDSCAPE ARCHITECTS, LLC
35974 S DESERT SUN DR
TUCSON, AZ 85739
CONTACT: GREG SHINN, RLA
PHONE: (520) 909-4678
EMAIL: GREGS@GRSLANDSCAPEARCHITECTS.COM
REG. NUMBER: 50732

C/I: N/A	CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY
COVER SHEET	EXTRA SPACE STORAGE FACILITY 0814
Kimley»Horn	ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD
REF: CASE #2202429 FILED 10/08/2025 2402615-242402615	PLAN NO.2402615
01 OF 11	

Contact Arizona 811 at least two full working days before you begin excavation



CUT/FILL:
CUT: 12,049 CY
FILL: 3,662 CY
NET: 8,387 CY (CUT)

UTILITIES NOTE:

1. THE WATER PROVIDER FOR THIS DEVELOPMENT IS TUCSON WATER.
2. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

GOLDER RANCH FIRE NOTES:

3. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
4. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
5. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
6. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
7. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

TRAILS NOTES:

8. THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN DOES NOT SHOW ANY TRAILS ON OR ADJACENT TO THE DEVELOPMENT SITE.

UNMAPPED EASEMENTS:

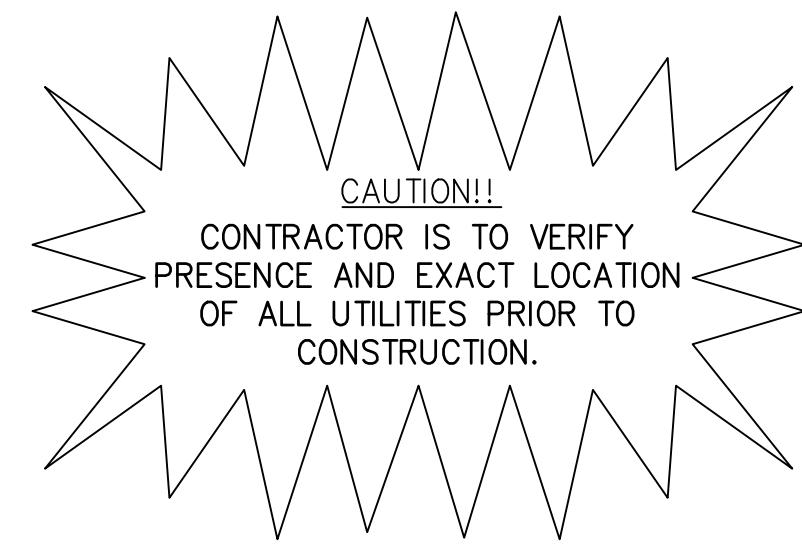
NO UNMAPPED EASEMENTS HAVE BEEN IDENTIFIED BY SURVEY FOR THIS PROPERTY.

BUILDING PLAN NOTES:

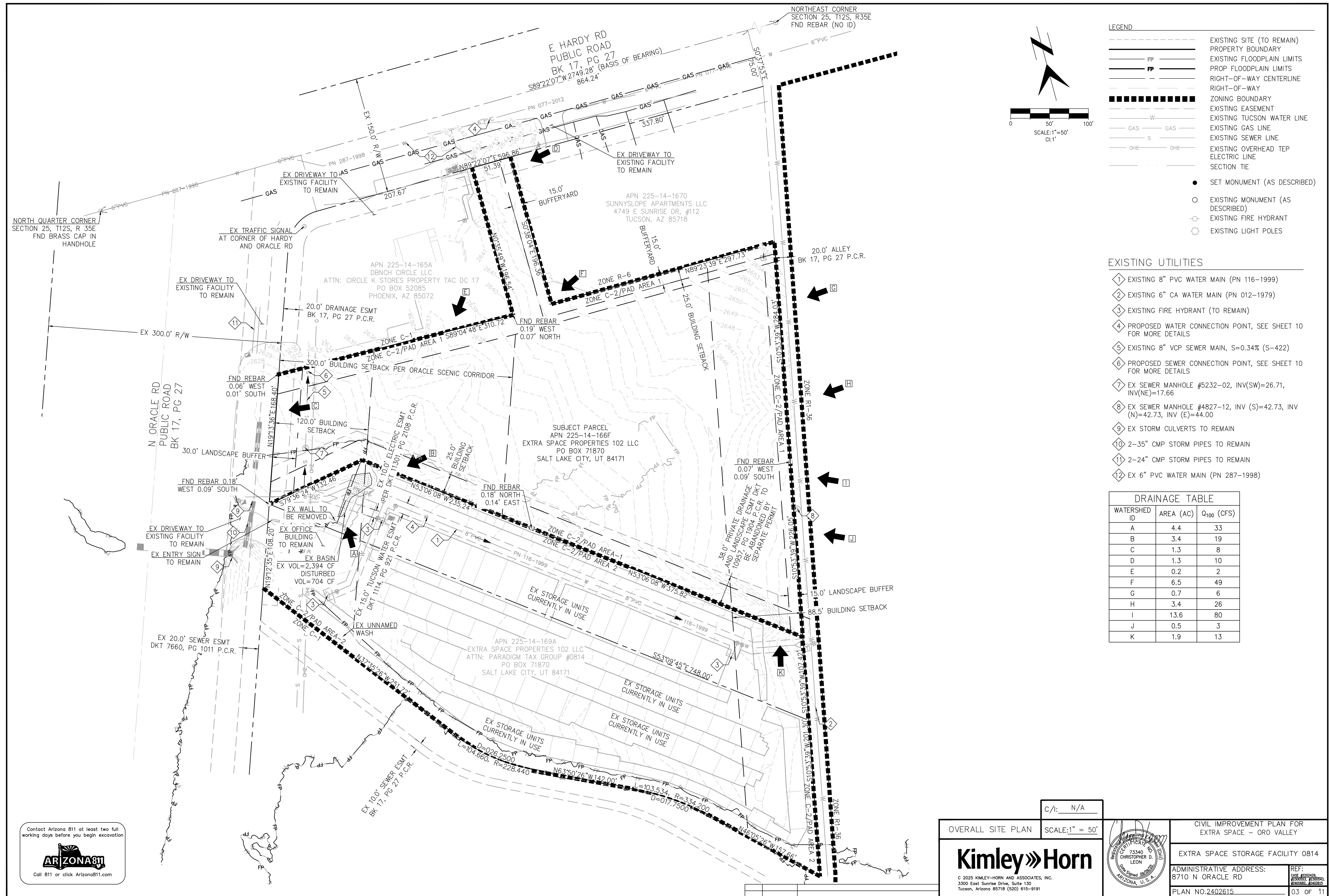
1. THE NEAREST FIRE HYDRANT IS LOCATED WITHIN THE SITE.
2. MAIL IS TO BE DELIVERED TO THE EXISTING PARCEL TO THE SOUTH OF THE PROPERTY.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED FOR THIS PROJECT.

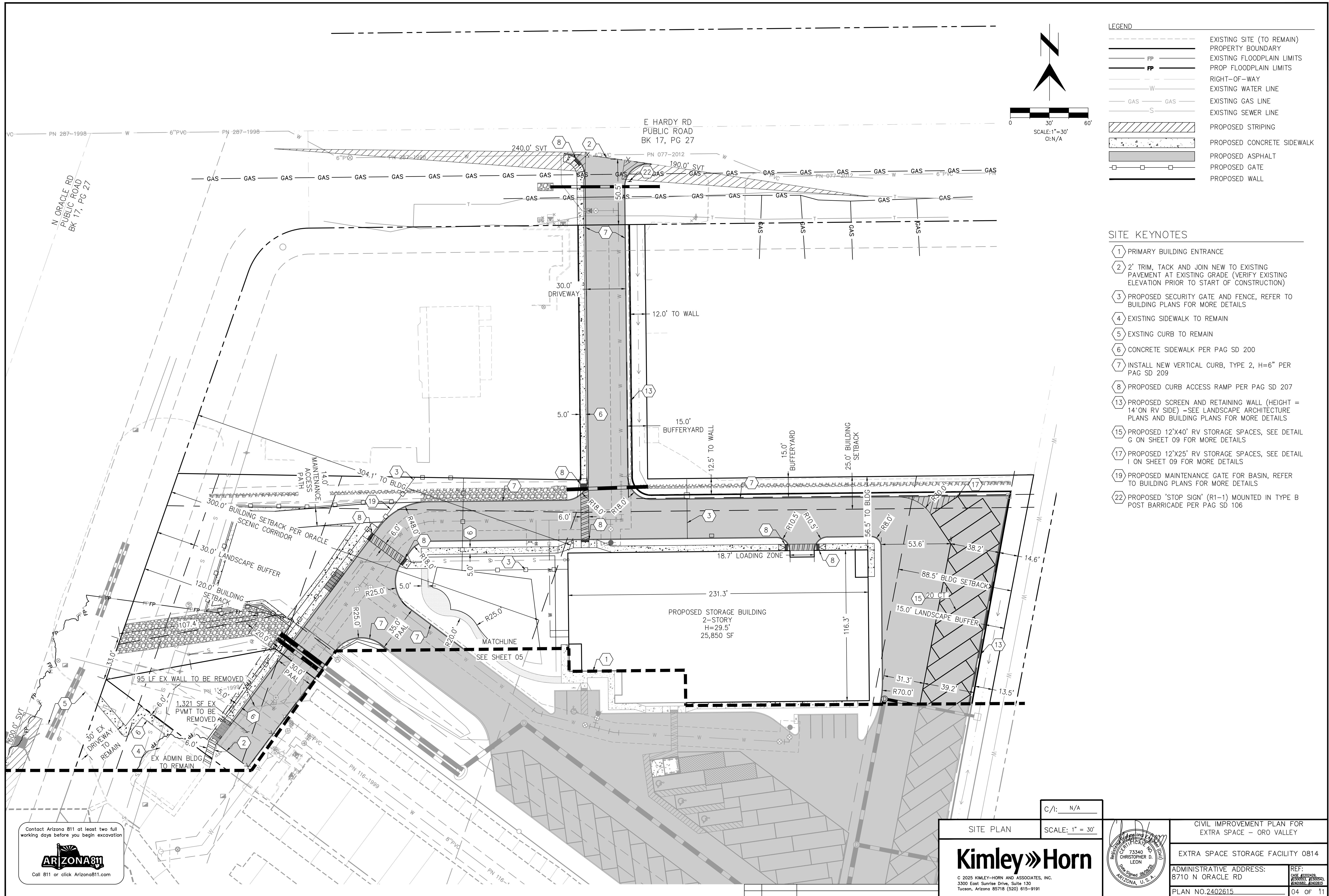
THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

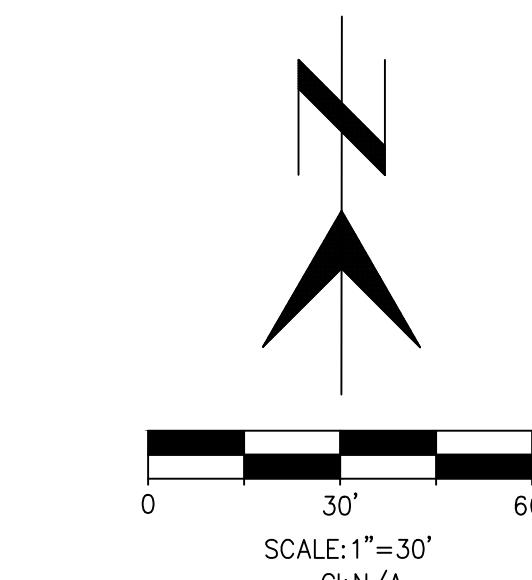
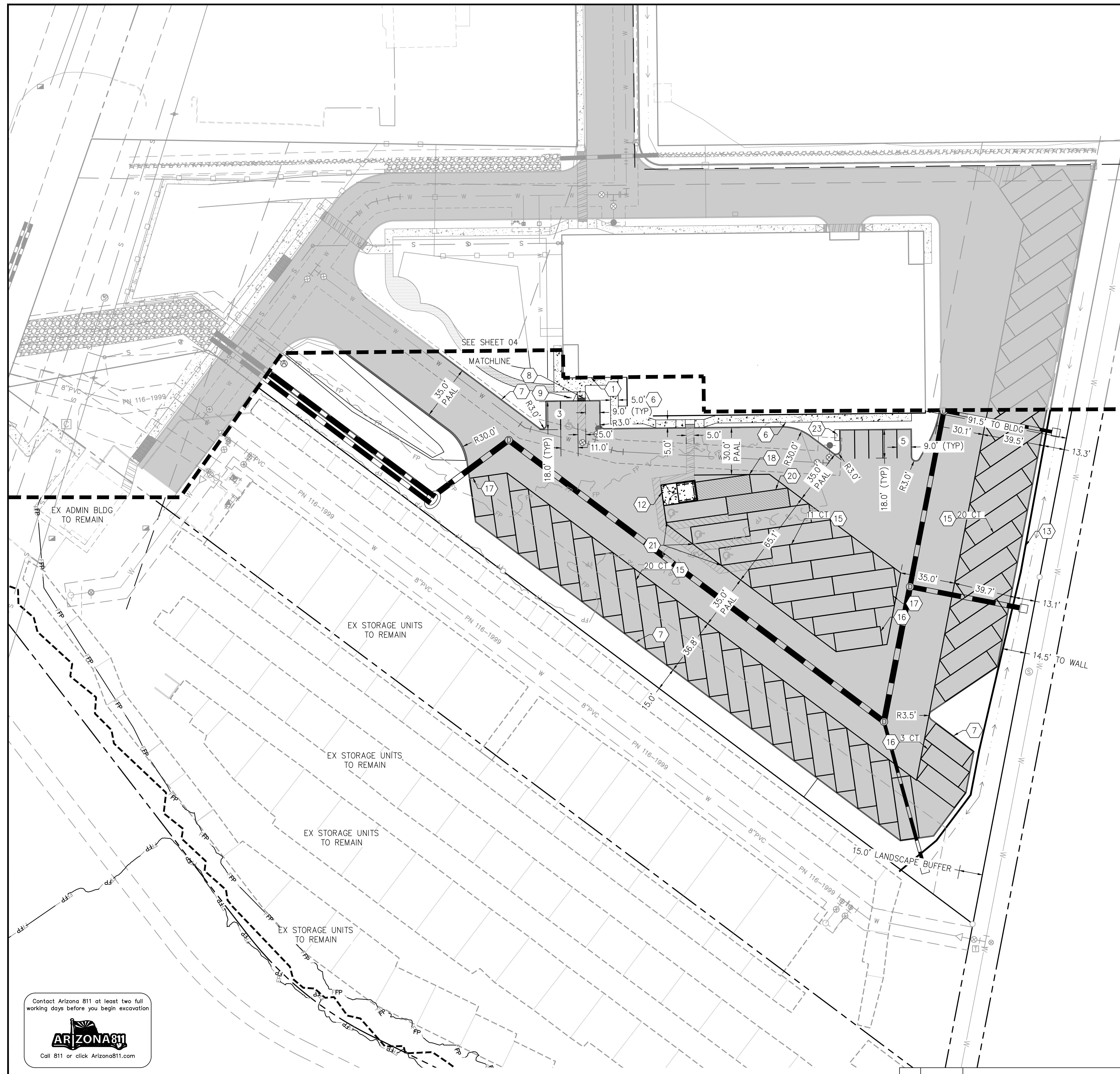
1. INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
2. NATIONAL ELECTRICAL CODE
3. ADA STANDARDS FOR ACCESSIBLE DESIGN
4. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
5. TOWN OF ORO VALLEY POOL CODE
6. PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
7. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
8. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
9. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
10. ORO VALLEY TOWN CODE, CURRENT REVISED



C/I: N/A	
NOTES SHEET	SCALE: N/A
Kimley»Horn	
C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191	
EXTRA SPACE STORAGE FACILITY 0814	
REF: 73340 CHRISTOPHER D. LEON Date signed: 08/14/2023 Arizona, U.S.A.	ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD REF: 2202429 2202553 2202652 2242615
PLAN NO.2402615	
02 OF 11	







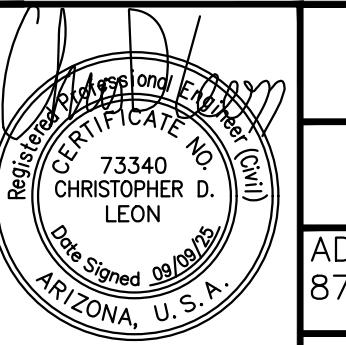
LEGEND

	EXISTING SITE (TO REMAIN)
	PROPERTY BOUNDARY
	EXISTING FLOODPLAIN LIMITS
	PROP FLOODPLAIN LIMITS
	RIGHT-OF-WAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	PROPOSED STRIPING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT
	PROPOSED GATE
	PROPOSED WALL

SITE KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE
- 6 CONCRETE SIDEWALK PER PAG SD 200
- 7 INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
- 8 PROPOSED CURB ACCESS RAMP PER PAG SD 207
- 9 ACCESSIBLE PARKING SIGN PER DETAIL J ON SHEET 09 MOUNTED IN TYPE B POST BARRICADE PER PAG SD 106
- 12 DUMPSTER ENCLOSURE, SEE DETAIL K ON SHEET 09 FOR MORE DETAILS
- 13 PROPOSED SCREEN AND RETAINING WALL (HEIGHT = 14' ON RV SIDE) - SEE LANDSCAPE ARCHITECTURE PLANS AND BUILDING PLANS FOR MORE DETAILS
- 15 PROPOSED 12'X40' RV STORAGE SPACES, SEE DETAIL G ON SHEET 09 FOR MORE DETAILS
- 16 PROPOSED 12'X30' RV STORAGE SPACES, SEE DETAIL H ON SHEET 09 FOR MORE DETAILS
- 17 PROPOSED 12'X25' RV STORAGE SPACES, SEE DETAIL I ON SHEET 09 FOR MORE DETAILS
- 18 PROPOSED 12'X35' OFF-STREET LOADING ZONE
- 20 PROPOSED 12'X40' OFF-STREET LOADING ZONE
- 21 PROPOSED ACCESSIBLE RV PARKING SPACES, SEE DETAIL S ON SHEET 10 FOR MORE DETAILS
- 23 SHORT TERM BICYCLE PARKING, PER DETAIL P ON SHEET 10

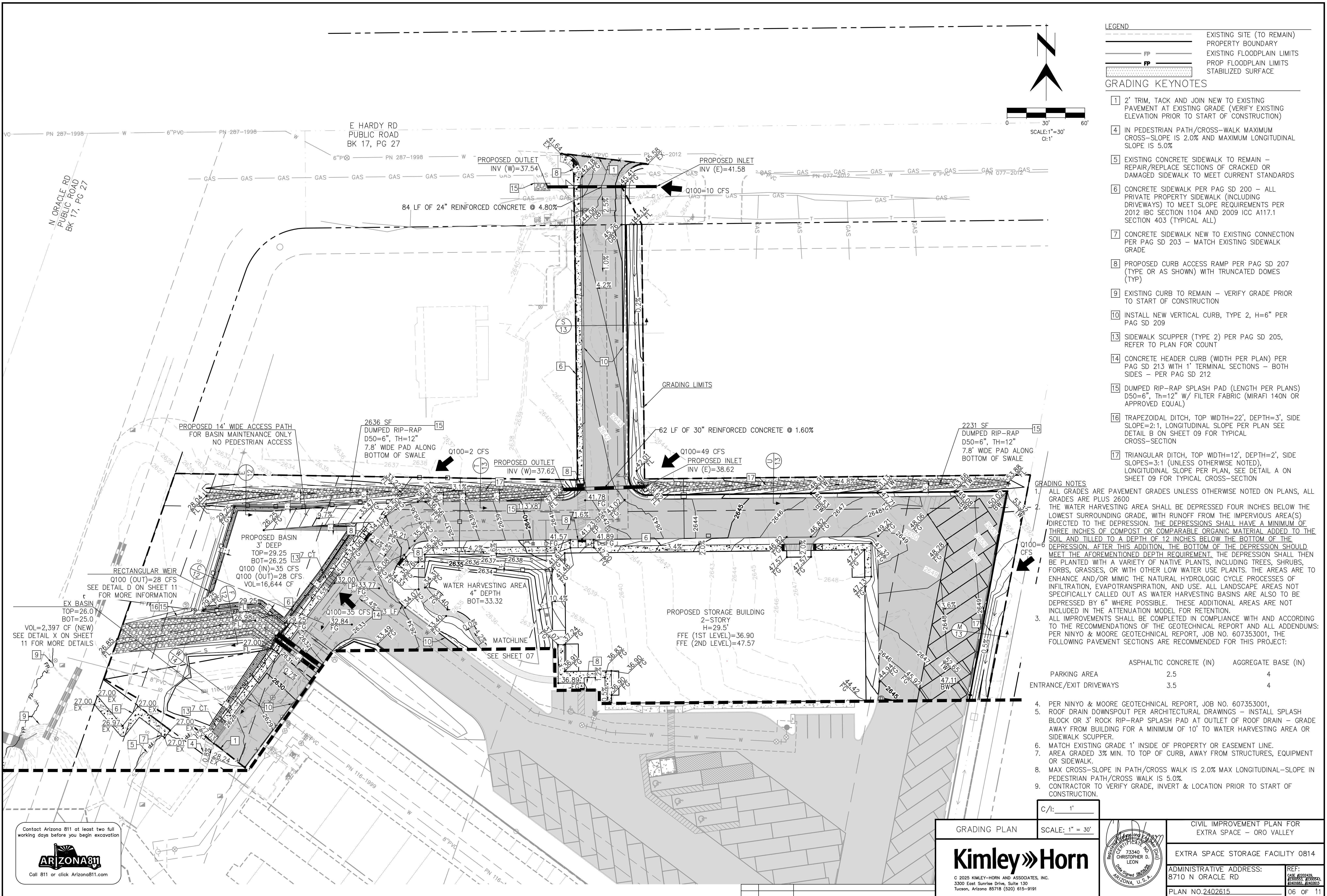
	C/I: <u>N/A</u>
SITE PLAN	SCALE: <u>1" = 30'</u>

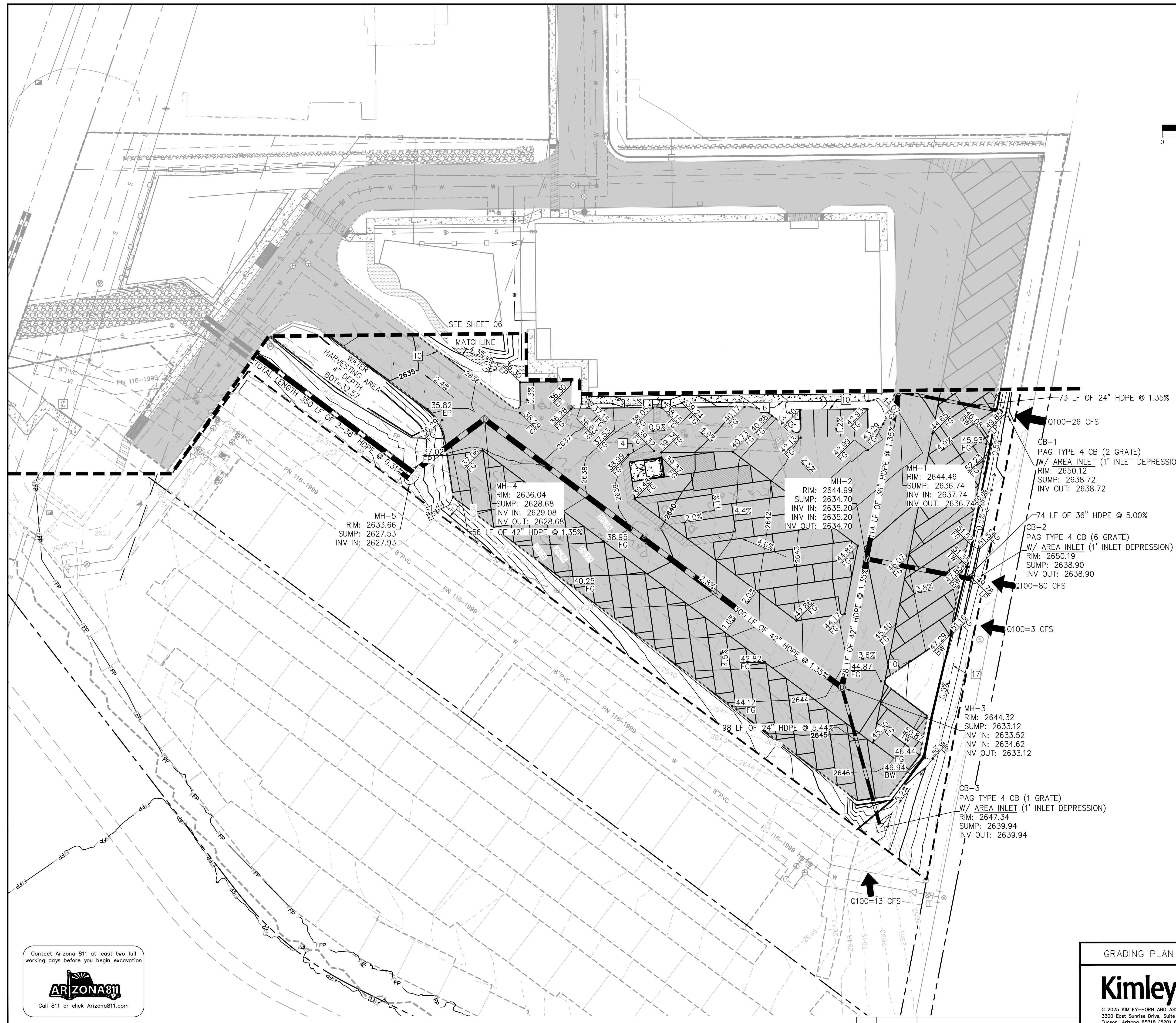


CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY

EXTRA SPACE STORAGE FACILITY 0814
ADMINISTRATIVE ADDRESS: RFF:

INISTRATIVE ADDRESS. RE: .
0 N ORACLE RD CASE #2202429,
N NO.2402615 #2300553, #2300543,
#2401682, #2402615





<u>LEGEND</u>	
-----	EXISTING SITE (TO REMAIN)
-----	PROPERTY BOUNDARY
----- FP -----	EXISTING FLOODPLAIN LIMITS
----- FP -----	PROP FLOODPLAIN LIMITS
	STABILIZED SURFACE

GRADING KEYNOTES

- 4 IN PEDESTRIAN PATH/CROSS-WALK MAXIMUM CROSS-SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE IS 5.0%
- 6 CONCRETE SIDEWALK PER PAG SD 200 – ALL PRIVATE PROPERTY SIDEWALK (INCLUDING DRIVEWAYS) TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403 (TYPICAL ALL)
- 10 INSTALL NEW VERTICAL CURB, TYPE 2, H=6" PER PAG SD 209
- 17 TRIANGULAR DITCH, TOP WIDTH=12', DEPTH=2', SIDE SLOPES=3:1, LONGITUDINAL SLOPE PER PLAN, SEE DETAIL A ON SHEET 09 FOR TYPICAL CROSS-SECTION

ALL 3 AREA INLETS SHALL BE INSTALLED
WITH A 2FT. RIPRAP BORDER TO
REDUCE SEDIMENT TRANSPORT INTO
THE STORM DRAIN SYSTEM

GRADING NOTES

1. ALL GRADES ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED ON PLANS, ALL GRADES ARE PLUS 2600
2. THE WATER HARVESTING AREA SHALL BE DEPRESSED FOUR INCHES BELOW THE LOWEST SURROUNDING GRADE, WITH RUNOFF FROM THE IMPERVIOUS AREA(S) DIRECTED TO THE DEPRESSION. THE DEPRESSIONS SHALL HAVE A MINIMUM OF THREE INCHES OF COMPOST OR COMPARABLE ORGANIC MATERIAL ADDED TO THE SOIL AND TILLED TO A DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE DEPRESSION. AFTER THIS ADDITION, THE BOTTOM OF THE DEPRESSION SHOULD MEET THE AFOREMENTIONED DEPTH REQUIREMENT. THE DEPRESSION SHALL THEN BE PLANTED WITH A VARIETY OF NATIVE PLANTS, INCLUDING TREES, SHRUBS, FORBS, GRASSES, OR WITH OTHER LOW WATER USE PLANTS. THE AREAS ARE TO ENHANCE AND/OR MIMIC THE NATURAL HYDROLOGIC CYCLE PROCESSES OF INFILTRATION, EVAPOTRANSPIRATION, AND USE. ALL LANDSCAPE AREAS NOT SPECIFICALLY CALLED OUT AS WATER HARVESTING BASINS ARE ALSO TO BE DEPRESSED BY 6" WHERE POSSIBLE. THESE ADDITIONAL AREAS ARE NOT INCLUDED IN THE ATTENUATION MODEL FOR RETENTION.
3. ALL IMPROVEMENTS SHALL BE COMPLETED IN COMPLIANCE WITH AND ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL ADDENDUMS: PER NINYO & MOORE GEOTECHNICAL REPORT, JOB NO. 607353001, THE FOLLOWING PAVEMENT SECTIONS ARE RECOMMENDED FOR THIS PROJECT:

	ASPHALTIC CONCRETE (IN)	AGGREGATE BASE (IN)
PARKING AREA	2.5	4
ENTRANCE/EXIT DRIVEWAYS	3.5	4

4. PER NINYO & MOORE GEOTECHNICAL REPORT, JOB NO. 607353001,
5. ROOF DRAIN DOWNSPOUT PER ARCHITECTURAL DRAWINGS – INSTALL SPLASH BLOCK OR 3' ROCK RIP-RAP SPLASH PAD AT OUTLET OF ROOF DRAIN – GRADE AWAY FROM BUILDING FOR A MINIMUM OF 10' TO WATER HARVESTING AREA OR SIDEWALK SCUPPER.
6. MATCH EXISTING GRADE 1' INSIDE OF PROPERTY OR EASEMENT LINE.
7. AREA GRADED 3% MIN. TO TOP OF CURB, AWAY FROM STRUCTURES, EQUIPMENT OR SIDEWALK.
8. MAX CROSS-SLOPE IN PATH/CROSS WALK IS 2.0% MAX LONGITUDINAL-SLOPE IN PEDESTRIAN PATH/CROSS WALK IS 5.0%.
9. CONTRACTOR TO VERIFY GRADE, INVERT & LOCATION PRIOR TO START OF CONSTRUCTION.

C/l: _____ 1'

GRADING PLAN	SCALE: <u>1" = 30'</u>		CIVIL IMPROVEMENT PLAN FOR EXTRA SPACE – ORO VALLEY
Kimley » Horn C 2025 KIMLEY-HORN AND ASSOCIATES, INC. 3300 East Sunrise Drive, Suite 130 Tucson, Arizona 85718 (520) 615-9191			EXTRA SPACE STORAGE FACILITY 0814
ADMINISTRATIVE ADDRESS: 8710 N ORACLE RD		REF: CASE #2202429, #2300553, #2300543, #2401682, #2402615	
PLAN NO.2402615		07 OF 11	

