

ALEXANDER RESIDENCE
525 W. GOLF VIEW DRIVE

Blue: Garage 25' 4" x 33' 4"

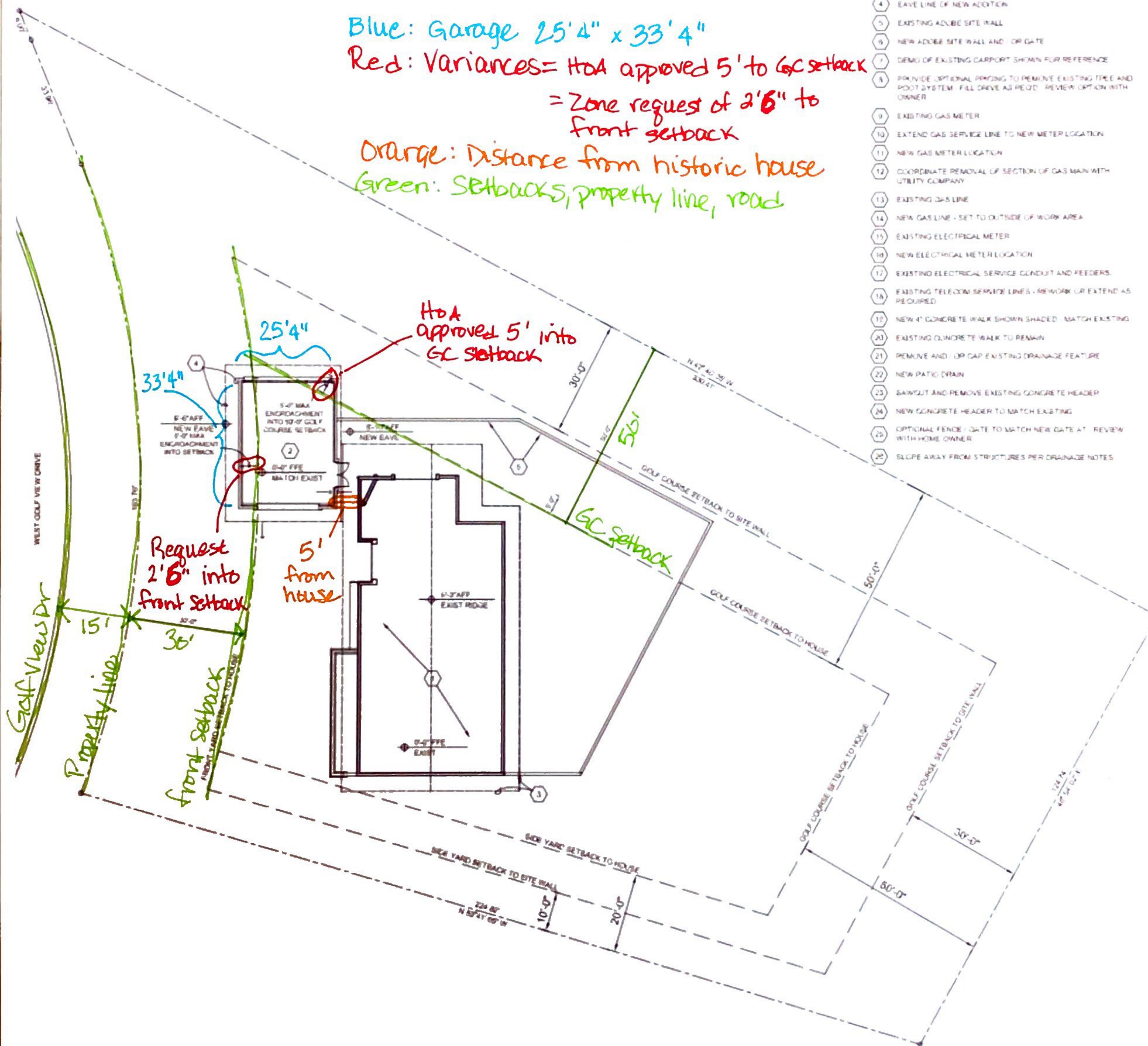
Red: Variances = HOA approved 5' to GC setback
= Zone request of 2' 6" to front setback

Orange: Distance from historic house
Green: Setbacks, property line, road

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SITE PLAN KEY NOTES

- 1 EXISTING MAIN HOUSE
- 2 NEW GARAGE ADDITION CARPORT CONVERSION
- 3 EAVE LINE OF EXISTING HOUSE
- 4 EAVE LINE OF NEW ADDITION
- 5 EXISTING ADJACENT SITE WALL
- 6 NEW ADJACENT SITE WALL AND / OR GATE
- 7 DEMO OF EXISTING CARPORT SHOWING FOR REFERENCE
- 8 PROVIDE OPTIONAL PRICING TO REMOVE EXISTING TILE AND FLOOR SYSTEM - FILL DRIVE AS FIELD - REVIEW OPTION WITH OWNER
- 9 EXISTING GAS METER
- 10 EXTEND GAS SERVICE LINE TO NEW METER LOCATION
- 11 NEW GAS METER LOCATION
- 12 COORDINATE REMOVAL OF SECTION OF GAS MAIN WITH UTILITY COMPANY
- 13 EXISTING GAS LINE
- 14 NEW GAS LINE - SET TO OUTSIDE OF WORK AREA
- 15 EXISTING ELECTRICAL METER
- 16 NEW ELECTRICAL METER LOCATION
- 17 EXISTING ELECTRICAL SERVICE CONDUIT AND FEEDERS
- 18 EXISTING TELECOM SERVICE LINES - REWORK OR EXTEND AS REQUIRED
- 19 NEW 4" CONCRETE WALK SHOWN SHAD - MATCH EXISTING
- 20 EXISTING CONCRETE WALK TO REMAIN
- 21 REMOVE AND / OR CAP EXISTING DRAINAGE FEATURE
- 22 NEW PATIO DRAIN
- 23 SAWCUT AND REMOVE EXISTING CONCRETE HEADER
- 24 NEW CONCRETE HEADER TO MATCH EXISTING
- 25 OPTIONAL FENCE / GATE TO MATCH NEW GATE AT - REVIEW WITH HOME OWNER
- 26 SLOPE AWAY FROM STRUCTURES PER DRAINAGE NOTES



1 REFERENCE SITE PLAN

