

MASTER DEVELOPMENT PLAN

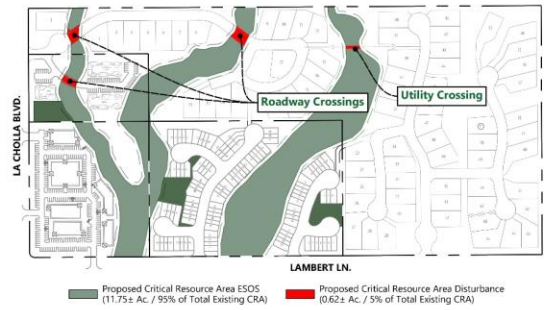


Commercial	
1. Land Area:	9.3± Ac.
2. Building Area:	62,750± SF
3. Parking:	251 Spaces (41,000 SF)
4. Bldg. Height:	30' / 2 Stories
Single-Family Residential	
1. Land Area:	44.2± Acres
2. Units:	71 (1.6 RAC) Proposed, 88 (2.0 RAC) Allowed.
3. Minimum Lot Size:	12,000 SF
4. Bldg. Height:	25' / 2 Stories
5. Rec. Area:	0.83 Ac. (512 SF per Unit)
Multi-Family Residential (Townhomes)	
1. Land Area:	15.0± Ac.
2. Units:	106 (7.1 RAC) Proposed, 187 (12.5 RAC) Allowed.
3. Parking:	Per OVZCR Table 27-13
4. Bldg. Height:	25' / 2 Stories
5. Rec. Area:	1.25± Ac. (512 SF per Unit)
Multi-Family Residential (Apartments)	
1. Land Area:	4.6± Ac.
2. Units:	39 (8.5 RAC) Proposed, 57 (12.5 RAC) Allowed.
3. Parking:	Per OVZCR Table 27-13
4. Bldg. Height:	25' / 2 Stories
5. Rec. Area:	0.36± Ac. (400 SF per Unit)

EXISTING ZONING



E.S.O.S.



3345 E FORT LOWELL RD #111 TUCSON, AZ 85712	
628-795-1000 rickengineering.com	
SAN DIEGO, ORANGE, RIVERSIDE, SACRAMENTO, SAN LUIS OBISPO, SANTA CLARITA, PHOENIX, TUCSON, LAS VEGAS, DENVER	
RICK	
HALAMARK LOTS 149 & COMMON AREAS "A" PRIVATE STREETS AND PUBLIC UTILITIES, COMMON AREA "B" (FUNCTIONAL OPEN SPACE, DRAINAGE UTILITIES, LANDSCAPE) & COMMON AREA "C" (NATURAL OPEN SPACE, DRAINAGE UTILITIES, LANDSCAPE) BEING A PORTION OF SECTION 20, TOWNSHIP 17N, RANGE 13E, BEING A PORTION OF SECTION 20, TOWNSHIP 17N, RANGE 13E, EAST 60th & 5th AVENUE, MESA, PIMA COUNTY, ARIZONA	
XX-XXX	XX-XXX
DRAWING NO.	
SHEET NO.	OF X