

## RICK ENGINEERING LANDSCAPE GENERAL NOTES:

A. ANY CHANGES MADE TO THE PLANS AND DETAILS SHOWN ON THESE DOCUMENTS WHICH ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELEASES RICK ENGINEERING OF ANY LIABILITY INCURRED AS A RESULT OF SAID CHANGES.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS OR SPECIFICATIONS PRIOR TO SUBMITTING A BID. BEFORE BEGINNING WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE PLANS TO THE SITE CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO THE OWNERS REPRESENTATIVE. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.

C. IF ANY UTILITIES CONFLICT WITH THE ORIGINAL PLACEMENT OF INTENDED PLANT MATERIAL ON SITE THE LANDSCAPE ARCHITECT WILL AID THE CONTRACTOR IN THE RELOCATION OR SHIFTING OF PLANT MATERIAL ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE THERETO. ALL UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY EXCAVATION. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG (811) TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE WORK.

D. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING CONSTRUCTION AND SHALL ACQUIRE A DUST CONTROL PERMIT IF REQUIRED FROM THE APPLICABLE LOCAL AGENCY. ALL COSTS ASSOCIATED WITH DUST CONTROL AND PERMITS IS CONSIDERED INCIDENTAL TO THE PROJECT.

F. LANDSCAPE CONTRACTOR SHALL PROVIDE FINISH GRADING AND REMOVAL OF DEBRIS IN PLANTING AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. NO GRADING IS ALLOWED WITHIN DRIP LINE OF EXISTING TREES.

G. CONTRACTOR SHALL OBTAIN A COPY OF AND REVIEW THE GEOTECHNICAL SOILS REPORT IF APPLICABLE TO THIS PROJECT.

H. CONTRACTOR SHALL OBTAIN AND REVIEW A SOILS AGRONOMY TEST PRIOR TO BEGINNING CONSTRUCTION, AND SHALL ADOBE IT TOWARDS THE COMPLETION OF THIS WORK. ANY DISCREPANCIES BETWEEN THE REPORT AND THESE PLANS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.

I. PRIOR TO PLANTING, THE CONTRACTOR SHALL PERFORM ONE (1) PERCOLATION TEST PER 10,000 SQUARE FEET OF PLANTING AREA. THE CONTRACTOR SHALL FILL A 24" BOX SIZE HOLE WITH WATER. IF IT DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE. TEST SHALL BE DONE UNDER THE SUPERVISION OF THE OWNERS REPRESENTATIVE. IF PROPER DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS CONTRACTOR WILL BE REQUIRED TO INSTALL DRAINAGE CHIMNEYS IN PLANT PITS PER PLANTING DETAILS.

J. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE THOROUGHLY SOAKED.

K. WHEN CALICHE OR HARD PAN IS ENCOUNTERED DURING PLANT PIT EXCAVATION: IF IMPERVIOUS LAYER IS LESS THAN 6" THICK, REMOVE COMPLETELY FROM PLANTING PIT. IF LAYER IS 6"-18" THICK, AUGER A HOLE THROUGH THE LAYER PER PLANTING DETAILS. IF LAYER IS GREATER THAN 18" THICK, ENLARGE THE PLANTING PIT TO TWICE THAT (IN EACH DIRECTION) CALLED OUT IN PLANTING DETAILS.

L. CONTRACTOR SHALL VERIFY ROCK AND SOIL CONDITIONS WITHIN THE PROJECT SITE PRIOR TO BIDDING. NO EXTRA PAYMENT OR TIME EXTENSION WILL BE GIVEN DUE TO ROCKY SOIL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTIONS AND CHECKING SOIL BORING LOGS TO DETERMINE

## FUTURE PHASES

THE MASTER DEVELOPMENT PLAN PROVIDES FOR THE GENERAL LAYOUT OF THE ENTIRE PROPERTY COMPRISING OF 4 PHASES.

THIS LANDSCAPE PLAN INCLUDES LANDSCAPE DESIGN FOR PHASE 1.

ALL OTHER PHASES WILL REQUIRE SEPARATE LANDSCAPE PLANS, DEMONSTRATING COMPLIANCE WITH TOWN OF ORO VALLEY REQUIREMENTS.

IN THE EVENT THAT FUTURE PLANS AND REPORTS REQUIRE REDESIGN, THE MASTER DEVELOPMENT PLAN SHALL BE MODIFIED ACCORDINGLY.

SUBSURFACE CONDITIONS PRIOR TO BIDDING.

M. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' FEET OF WALLS, WALKWAYS, STREETS, CURBS AND OTHER HARDCAPE AREAS. ROOT BARRIER TO EXTEND A MINIMUM OF 5' IN EACH DIRECTION FROM THE CENTERLINE OF THE TREE UNLESS OTHERWISE NOTED ON THE PLANS.

N. ALL PLANT MATERIALS SHALL CONFORM TO NURSERY STANDARDS ACCORDING TO AMERICAN ASSOCIATION OF NURSERYMEN INC. AND SHALL BE FREE FROM PESTS, EGGS, DISEASES AND TO BE REPRESENTATIVE OF SPECIES IN SIZE, QUALITY, FORM, COLOR AND NOT BE ROOT BOUND, DAMAGED OR SUBSTANDARD IN ANY WAY. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK.

O. 10% OF EACH PLANT MATERIAL SPECIES SHALL BE TAGGED WITH BOTANICAL NAME FROM NURSERY OR SUPPLIER; TAGS TO REMAIN ON PLANT MATERIAL UNTIL FINAL ACCEPTANCE.

P. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE.

Q. TREAT ALL ROCK MULCH AREAS WITH PRE-EMERGENT HERBICIDE ONCE BEFORE THE ROCK MULCH INSTALLATION AND ONCE AFTER THE ROCK MULCH INSTALLATION.

R. TRANSPORTATION AND NURSERY STAKES SHALL BE REMOVED AT INSTALLATION. INSTALL NEW TREE STAKES AS DETAILED.

S. THE PLANTING PLAN IS DIAGRAMMATIC. THE QUANTITIES AND SITE CONDITIONS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.

T. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE PER THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLANS. MAINTENANCE SHALL BEGIN UPON WALK FOR LANDSCAPE MAINTENANCE AND GUARANTEE PERIOD. MAINTENANCE SHALL CONSIST OF BUT NOT BE LIMITED TO KEEPING AREAS CLEAN, WEED FREE, TRIMMED, WATERED, RAKED, PEST AND DISEASE FREE AND ALL OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS GROWTH AND CLEAN APPEARANCE. PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD, CONTRACTOR SHALL SUBMIT A WATERING/MAINTENANCE SCHEDULE TO THE OWNERS REPRESENTATIVE FOR APPROVAL.

U. LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL FOUND TO BE IN AN UNHEALTHY, DAMAGED, IMPAIRED CONDITION, MISSING OR DEAD DURING THE MAINTENANCE PERIOD.

V. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ANY DEBRIS RESULTING FROM THE CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF ANY ADJOINING STREET ASSOCIATED WITH THIS PROJECT.

W. THE JOB SITE AT THE COMPLETION OF THE CONSTRUCTION SHALL BE CLEANED OF AN DEBRIS RESULTING FROM CONSTRUCTION. NO JOB WILL BE CONSIDERED UNTIL ALL CURBS, GUTTERS, AND PAVEMENT HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS AND ARE IN COMPLIANCE WITH THE AGENCY SPECIFICATIONS.

X. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF ANY EXISTING CURBS, GUTTERS, PAVEMENTS, FENCING, WALLS, LIGHTING AND SURROUNDING AREAS THAT ARE NOT NOTED ON THE PLANS TO BE DISTURBED ARE TO BE REPAIRED AT THE CONTRACTORS EXPENSE.

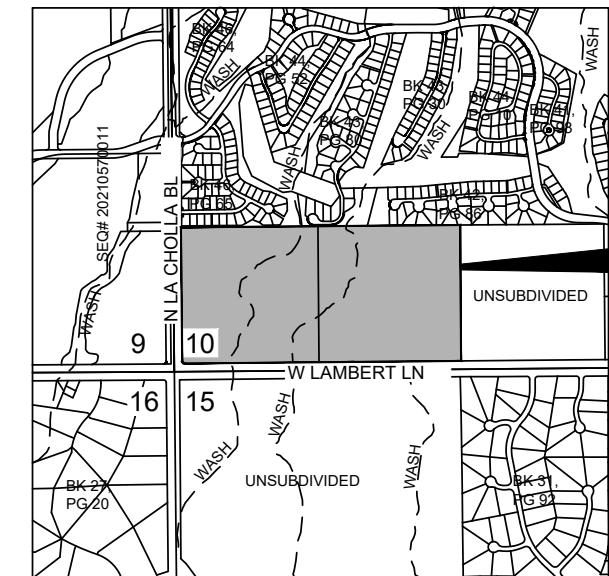
Y. FINAL ACCEPTANCE: A FINAL SITE WALK INSPECTION BY OWNERS REPRESENTATIVE IS REQUIRED AT THE END OF THE LANDSCAPE MAINTENANCE PERIOD PRIOR TO FINAL PROJECT ACCEPTANCE BY THE OWNER.

## LANDSCAPE PLAN FOR:

# HALLAMARK

LOTS 1 - 69, AND COMMON AREA "A" (PRIVATE STREETS & PUBLIC UTILITIES) COMMON AREAS "B-1" & "B-2" (OPEN SPACE, DRAINAGE, UTILITIES & LANDSCAPE), COMMON AREA "C-1" & "C-2" (FUNCTIONAL OPEN SPACE & DRAINAGE), AND COMMON AREA "D-1" THRU "D-11" (NATURAL OPEN SPACE)

2500963



THIS PROJECT

SCALE:  
3"=1 MILE

## LOCATION MAP

## DEVELOPER

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## LANDSCAPE ARCHITECT

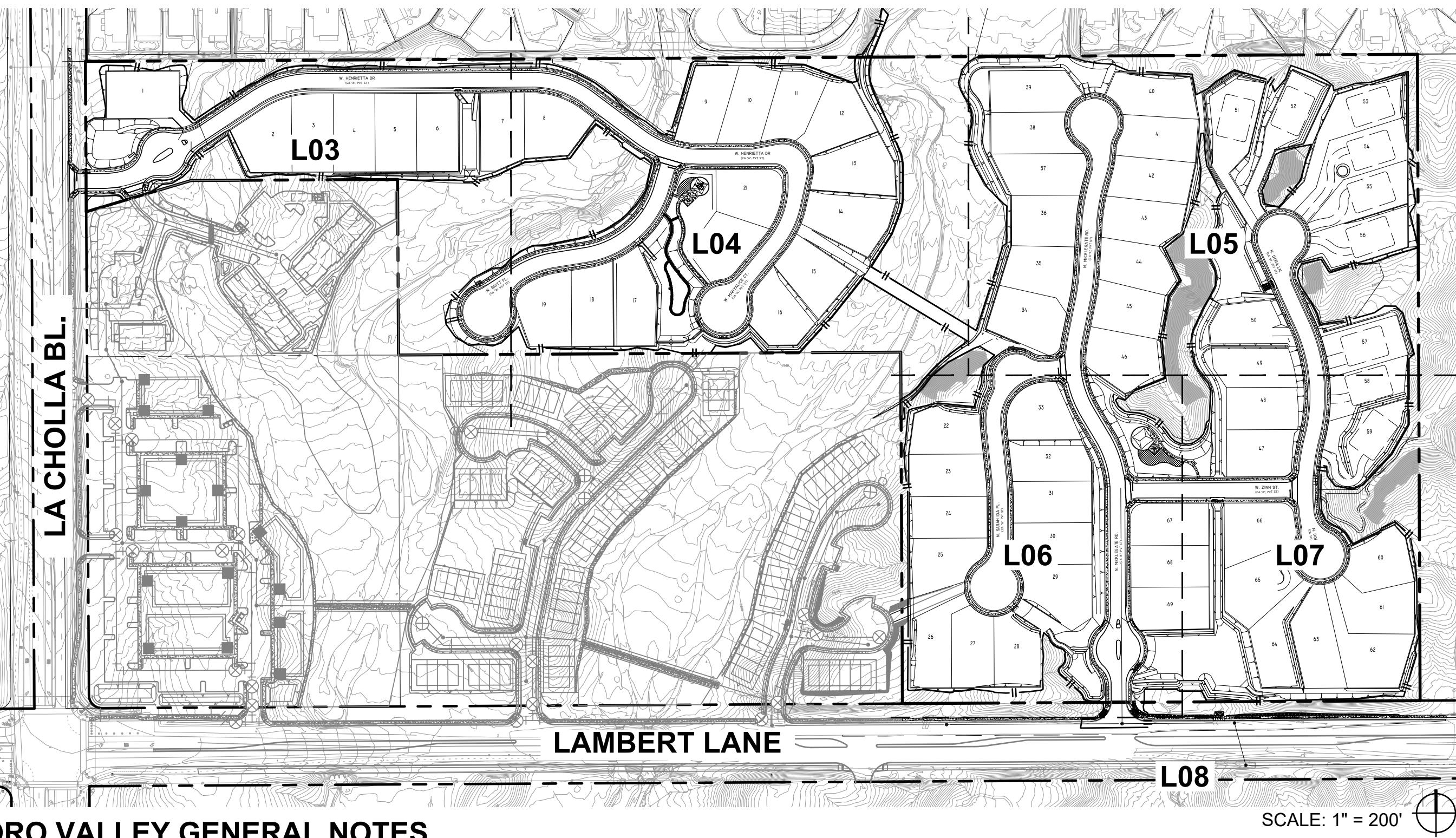
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SCALE: 1" = 200'

## ORO VALLEY GENERAL NOTES

A. GROSS AREA OF DEVELOPMENT: 44.36 AC.

B. TOTAL ACRES OF GRADED AREA: 38.09 AC.

C. TOTAL ACRES OF UNDISTURBED NATURAL OPEN SPACE: 6.27 AC.

D. TOTAL ACRES OF OPEN SPACE: 10.35 AC.

E. REFER TO PLANTING SHEETS FOR LANDSCAPE BUFFER YARD DESIGNATIONS AND CALLOUTS AS APPLICABLE.

F. THE PROJECT SITE IS SUBJECT TO TRANSITIONAL ZONING ORDINANCE NO. 02-17 ADOPTED JUNE 19, 2002 AND ZONING INTERPRETATION FOR OPEN SPACE AND BUFFER YARD STANDARDS FOR HALLAQ PROPERTIES DATED FEBRUARY 2, 2021.

G. REFER TO PLANTING SHEETS FOR CLASSIFICATION OF PERIMETER STREETS AS APPLICABLE.

H. LANDSCAPE TO CONFORM TO ORO VALLEY LANDSCAPE CODE

I. MITIGATION OF SURVEYED PLANTS IN THE NATIVE PLAN PRESERVATION PLAN WILL BE INCORPORATED IN THE LANDSCAPE DESIGN.

J. ASSURANCES FOR LANDSCAPING AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS. A LANDSCAPE BOND IN THE AMOUNT OF 10% OF THE ORIGINAL LANDSCAPE BOND SHALL REMAIN IN PLACE FOR A PERIOD OF ONE YEAR FROM THE COMPLETE INSTALLATION OF LANDSCAPE MATERIALS AND ANY REPLACEMENT MATERIALS.

K. PROPERTY OWNER SHALL MAINTAIN BUFFER YARD PLANTINGS TO ENSURE UNOBSTRUCTED VISIBILITY TO MOTORISTS. ALL SHRUBS, ACCENTS, AND GROUNDCOVERS SHALL NOT EXCEED THIRTY (30") INCHES IN HEIGHT WITHIN SITE VISIBILITY TRIANGLES. TREES WITHIN SITE VISIBILITY TRIANGLES WILL BE MAINTAINED TO ENSURE THAT BRANCHES/FOLIAGE IS NOT BELOW HEIGHT OF SIX (6') FEET AND THE DIAMETER SHOULD NOT EXCEED 1-FOOT WHEN FULLY MATURE.

L. PROPERTY OWNERS, LESSEES, AND OCCUPANTS SHALL MAINTAIN REQUIRED LANDSCAPE, IRRIGATION, BUFFERING, SCREENING AND RAINWATER HARVESTING SYSTEM IMPROVEMENTS PER THE APPROVED PLANS.

M. IN THE EVENT OF ABDONIMENT OF THE SITE AFTER GRADING/DISTURBANCE OF NATURAL AREAS, DISTURBED AREAS SHALL BE RE-VEGETATED WITH A NON-IRRIGATED HYDRO SEED MIX FROM OVZR ADDENDUM D: APPROVED REVEGETATION SEED MIX.

N. ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS CONTAINED IN THE CURRENT EDITIONS OF THE ARIZONA NURSERY ASSOCIATION'S GROWERS COMMITTEE RECOMMENDED TREE SPECIFICATIONS AND THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO SIZE, CONDITION AND APPEARANCE.

O. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY IRRIGATION SYSTEM AS LONG AS NECESSARY IN ORDER TO TRANSITION PLANTS OVER TO NATURAL SOURCES. ANY PLANT MATERIALS THAT DIE IN TRANSITION, FOR ANY REASON, SHALL BE REPLACED IN ACCORDANCE WITH SEC. 27.6.E.4., MAINTENANCE.

P. ANY SPADED OR BOXED TREE TRANSPLANTED ON SITE THAT DIES DUE TO NEGLECT OR LACK OF MAINTENANCE SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF THE ORIGINAL SALVAGED TREE, AS REQUIRED BY THE SALVAGE PLAN.

Q. THE LIMITS OF GRADING SHALL BE STAKED IN THE FIELD, IN ACCORDANCE WITH SECTION 27.6.B.7.C.II OF THE ZONING CODE. DISTURBANCE OUTSIDE THE APPROVED GRADING LIMITS SHALL NOT BE PERMITTED.

R. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY IRRIGATION SYSTEM AS LONG AS NECESSARY IN ORDER TO TRANSITION PLANTS OVER TO NATURAL SOURCES. IRRIGATION SHALL BE REDUCED THREE YEARS AFTER ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY. METERED WATER USE FOR LANDSCAPE IRRIGATION SHALL BE REDUCED BY FIFTY PERCENT, FIVE YEARS FROM THE DATE OF THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

S. NO SALVAGE OF PLANTS REGULATED BY THE ENDANGERED SPECIES ACT AND/OR THE ARIZONA NATIVE PLANT LAW MAY OCCUR WITHOUT THE ISSUANCE OF THE APPROPRIATE PERMIT BY THE STATE DEPARTMENT OF AGRICULTURE.

T. LANDSCAPE MATERIALS SHALL NOT OBSTRUCT SIGHT DISTANCES OR VEHICLE TURNING MOVEMENTS.

U. LANDSCAPED AREAS THAT ARE SUSCEPTIBLE TO DAMAGE BY PEDESTRIAN OR AUTO TRAFFIC SHALL BE PROTECTED BY APPROPRIATE CURBS, TREE GUARDS OR OTHER DEVICES.

V. LANDSCAPE SHALL BE DESIGNED TO MINIMIZE SEDIMENT, SAND AND GRAVEL BEING CARRIED INTO THE STREETS FROM STORM WATER OR OTHER RUNOFF.

W. LANDSCAPE PLAN ENABLES ADEQUATE PLANT SPACING TO ENSURE SURVIVABILITY AT PLANT MATURITY.

X. DEEP ROOTED VEGETATION AND TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM A PUBLIC WATER LINE. EXCEPTIONS FOR ALTERNATIVE DESIGN SOLUTIONS SUCH AS ROOT BARRIERS SHALL BE CONSIDERED ON A CASE-BY-CASE BASIS.

Y. CURB-WAY CONSISTING OF INORGANIC GROUNDCOVER OR PLANTS NOT TO EXCEED TYPE 2 WATER USE SHALL BE PROVIDED BETWEEN CURB AND ALL SIDEWALKS.

Z. ALL LANDSCAPED AREAS TO BE FINISHED WITH A NATURAL TOPPING MATERIAL TO A DEPTH OF AT LEAST TWO (2) INCHES.

AA. THE PROJECT IS DESIGNED TO MEET THE HILLSIDE DEVELOPMENT ZONE CRITERIA.

AB. CONSTRUCTION OF ALL RECREATIONAL AMENITIES AND PUBLIC OR PRIVATE TRAILS WITHIN THE PROJECT LIMITS OF EACH PHASE MUST BE COMPLETED BY THE TIME 35% OF BUILDING PERMITS ARE ISSUED FOR THAT PHASE PER SECTION 26.5 OF THE ZONING CODE.

## APPROVAL

PLANNING AND ZONING ADMINISTRATOR

L01

DATE  
SHEET NO. 1 OF 20



LANDSCAPE PLAN FOR:  
HALLAMARK

LOTS 1-69 AND COMMON AREA "A" (PRIVATE STREETS & PUBLIC UTILITIES) COMMON AREAS "B-1" & "B-2" (OPEN SPACE, DRAINAGE, UTILITIES & LANDSCAPE), COMMON AREA "C-1" & "C-2" (FUNCTIONAL OPEN SPACE & DRAINAGE), AND COMMON AREA "D-1" THRU "D-11" (NATURAL OPEN SPACE)

PORTION OF THE S. 1/2 OF THE SW. 1/4 OF SECTION 10, T-17 N, R-13, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

EAST & SUL RIVER MEDIUM

PROJECT NO: T5577

DATE: 1/2026

RELATED CASES:

2500963

RELATED CASES:

OV9951 (O) 02-17

CONTACT ARIZONA 811 AT LEAST TWO FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION

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## PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE	H x W (CALIPER)	WATER USE TYPE	ADWR ANNUAL USE (GAL.)	ANNUAL USE (GAL.)	MONTHLY USE (GAL.)
<b>TREES</b>								
	OLNEYA TESOTA IRONWOOD	18	-	TRANSPLANT PER NPPP	1	2,741	49,338	4,112
	PARKINSONIA FLORIDA BLUE PALO VERDE	16	15 GAL.	6' x 2' (.75")	2	5,702	91,232	7,603
	PARKINSONIA FLORIDA BLUE PALO VERDE	2	-	TRANSPLANT PER NPPP	2	5,702	11,404	950
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	14 14 49	48" BOX 36" BOX 15 GAL.	10' x 8' (3") 8' x 7' (2") 6' x 2' (.75")	1	1,754	68,406	5,701
	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE	79	-	TRANSPLANT PER NPPP	1	1,754	138,566	11,547
	PROSOPIS VELUTINA VELVET MESQUITE	46	15 GAL.	5.5' x 3' (.5")	2	5,702	262,292	21,857
	PROSOPIS VELUTINA VELVET MESQUITE	1	-	TRANSPLANT PER NPPP	2	5,702	5,702	475
<b>TOTAL AT MATURITY (GAL.)</b>						<b>626,940</b>	<b>52,245</b>	

## INORGANIC GROUNDCOVER

A MIN. 2" DEPTH LAYER OF DECORATIVE ROCK SHALL BE PLACED IN ALL PLANTING AREAS INDICATED ON THE PLANS. SIZE SHALL BE 1" SCREENED. COLOR SHALL BE 'APACHE GOLD' AVAILABLE THROUGH ROCK PROS USA, OR AS APPROVED BY OWNER.

## LANDSCAPE BOULDER SCHEDULE

BOULDERS SHALL BE PIT RUN 'CORONADO BROWN' AS AVAILABLE THROUGH KALAMAZOO MATERIALS, OR AS APPROVED BY OWNER.

W x H x L	QTY.
3' x 3' x 3'	24 (34 TONS +/-)
2' x 2' x 2'	111 (45 TONS +/-)

## LANDSCAPE BUFFERYARD TABLE

BUFFER	BORDER TYPE	WIDTH	BORDER LENGTH	TREES REQ'D	TREES PROVIDED	SHRUBS REQ'D	SHRUBS PROVIDED	ACCENTS REQ'D	ACCENTS PROVIDED
LA CHOLLA BL.	B	25'	255 LF	10	11	18	41	31	31
NORTH	A	15'	1,790 LF	72	72	72	72	143	143
EAST *	A	20'	935 LF	N/A *	26 **	N/A *	0	N/A *	0
EAST	A	10'	280 LF	11	11	14	14	28	28
LAMBERT LN.	B	25'	925 LF	37	37	65	65	111	111

\* NATURAL DESERT BUFFERYARD

\*\* SUPPLEMENTAL TREES PROVIDED FOR SCREENING

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE	WATER USE TYPE	ADWR ANNUAL USE (GAL.)	ANNUAL USE (GAL.)	MONTHLY USE (GAL.)	TOTAL WATER USE AT MATURITY	ANNUAL USE (GAL.)	MONTHLY USE (GAL.)
<b>SHRUBS AND ACCENTS</b>										
	ACACIA CONSTRICTA WHITETHORN ACACIA	35	5 GAL.	1	1,754	61,390	5,116			
	ACACIA CONSTRICTA WHITETHORN ACACIA	80	TRANSPLANT PER NPPP	1	1,754	140,320	11,693			
	ACACIA GREGGII CATCLAW ACACIA	15	5 GAL.	1	1,754	26,310	2,193			
	ACACIA GREGGII CATCLAW ACACIA	6	TRANSPLANT PER NPPP	1	1,754	10,524	877			
	AGAVE PALMERI PALMER'S AGAVE	28	5 GAL.	1	70	1,960	163			
	AGAVE PARRYI PARRY AGAVE	44	5 GAL.	2	57	2,508	209			
	CALLIANDRA ERIOPHYLLA FAIRY DUSTER	255	5 GAL.	1	170	43,350	3,613			
	CARNEGIA GIGANTEA SAGUARO (6' +)	53	TRANSPLANT PER NPPP	1	2741	145,273	12,106			
	CARNEGIA GIGANTEA SAGUARO (1'-5')	271	TRANSPLANT PER NPPP	1	2741	742,811	61,900			
	CELTIS PALLIDA DESERT HACKBERRY	7	TRANSPLANT PER NPPP	2	634	4,438	370			
	CELTIS PALLIDA DESERT HACKBERRY	4	5 GAL.	2	634	2,536	211			
	CORDIA PARVIFOLIA LITTLELEAF CORDIA	38	5 GAL.	2	158	6,004	500			
	DODONAEA VISCOSA HOPSEED BUSH	59	5 GAL.	1	632	37,288	3,107			
	ENCELIA FARINOSA BRITTLE BUSH	76	5 GAL.	1	39	2,964	247			
	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	81	5 GAL.	2	70	5,670	473			
	FEROCACTUS WISLIZENII BARREL CACTUS	162	TRANSPLANT PER NPPP	1	10	1,620	135			
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA RAIN SAGE	101	5 GAL.	2	158	15,958	1,330			
	OPUNTIA SPP. PRICKLY PEAR CACTUS	10	5 GAL.	1	158	1,058	88			
	PENSTEMON PARRYI PARRY'S PENSTEMON	42	5 GAL.	2	57	2,394	200			
	YUCCA ELATA SOAPTREE YUCCA	20	TRANSPLANT PER NPPP	1	281	5,620	468			
<b>TOTAL AT MATURITY (GAL.)</b>						<b>1,259,996</b>	<b>104,999</b>			

## NON-IRRIGATED HYDROSEED MIX

SPECIES	PLS RATE LBS./ACRE	NOTES: SLURRY MIX FOR NATIVE SEED APPLICATION SHALL CONSIST OF THE FOLLOWING: SEED WOOD FIBER MULCH =2000 LBS/ACRE AMMONIUM PHOSPHATE FERTILIZER (16-20-0) =200 LBS/ACRE
SHRUBS CALLIANDRA ERIOPHYLLA, FAIRY DUSTER CELTIS PALLIDA, DESERT HACKBERRY ENCELIA FARINOSA, BRITTLEBUSH ERICAMERIA LARICIFOLIA, TURPENTINE BUSH	1.0 1.0 2.0 1.0	SPECIES AND PLS RATE SUBSTITUTIONS IN CONFORMANCE WITH ADDENDUM 'D' OF THE ORO VALLEY ZONING CODE, I.E. THE ORO VALLEY APPROVED REVEGETATION SEED MIX, ARE ACCEPTABLE.
SMALL PERENNIALS BAILEYA MULTIRADIATA, DESERT MARIGOLD CASSIA COVESII, DESERT SENNA DATURA WRIGHTII, SACRED DATURA SPHAERALcea AMBIGUA, DESERT GLOBE-MALLOW	1.5 1.5 0.5 1.5	
PERENNIAL GRASSES ARISTIDA PURPUREA, PURPLE THREE-AWN BOUTELOUA CURTIPENDULA, SIDELEAF GRAMA ERIONEURON PULCHELLUM, FLUFFGRASS SPOROBOLUS CRYPTANDRUS, SAND DROPSEED	1.0 1.5 1.5 1.0	
ANNUAL HERBS AND GRASSES BOUTELOUA ARISTIDOIDES, NEEDLE GRAMA BOUTELOUA BARBATA, SIX WEEKS GRAMA PENSTEMON PARRYI, PARRY PENSTEMON PLANTAGO INSULARIS, INDIAN WHEAT	1.5 1.5 0.5 1.5	
<b>20.0 TOTAL</b>		

## LANDSCAPE legend

LOTS 1-50 AND COMMON AREA A: PRIVATE STREETS & PUBLIC UTILITIES; COMMON AREAS B, C, & D: OPEN SPACE, TRAILAGE, UTILITIES & LANDSCAPE; COMMON AREA D-1: THRU TRAILAGE, UTILITIES & LANDSCAPE; COMMON AREA D-2: OPEN SPACE & DRIVENAGA; D-3: 1/2' NATURAL OPEN SPACE; D-4: 1/2' OF SECTION 10, TOWNSHIP 10, RANGE 13, PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 10, RANGE 13, PORTION OF THE SW 1/4 OF SECTION 10, TOWNSHIP 10, RANGE 13, TOWN OF ORO VALLEY, CALIFORNIA, EAST GILA & SALT RIVER MERRIDIAN, TOWN OF ORO VALLEY, CALIFORNIA, ARIZONA

2500963

RELATED CASES:  
2500142  
OV99951 [ (O) 02-17 ]

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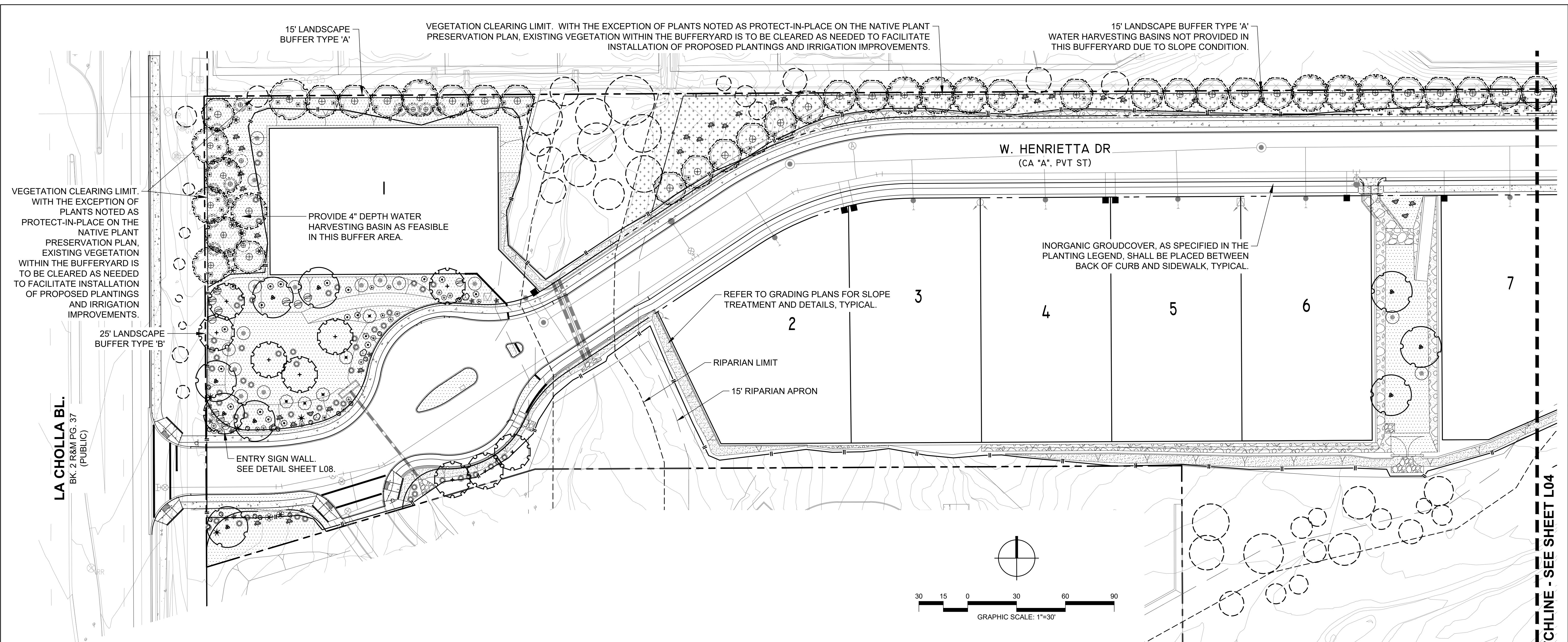
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SHEET NO. 2 OF 20

36734  
MARK E.  
FELINGER  
1/9/26  
SEAL

RICK  
520-795-1000  
rickengineering.com  
3945 E FORT LOWELL RD #11  
TUCSON, AZ 85712  
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO  
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: T5577  
DATE: 1/2026  
DRAWN/DESIGNED BY: MEF  
CHECKED BY:



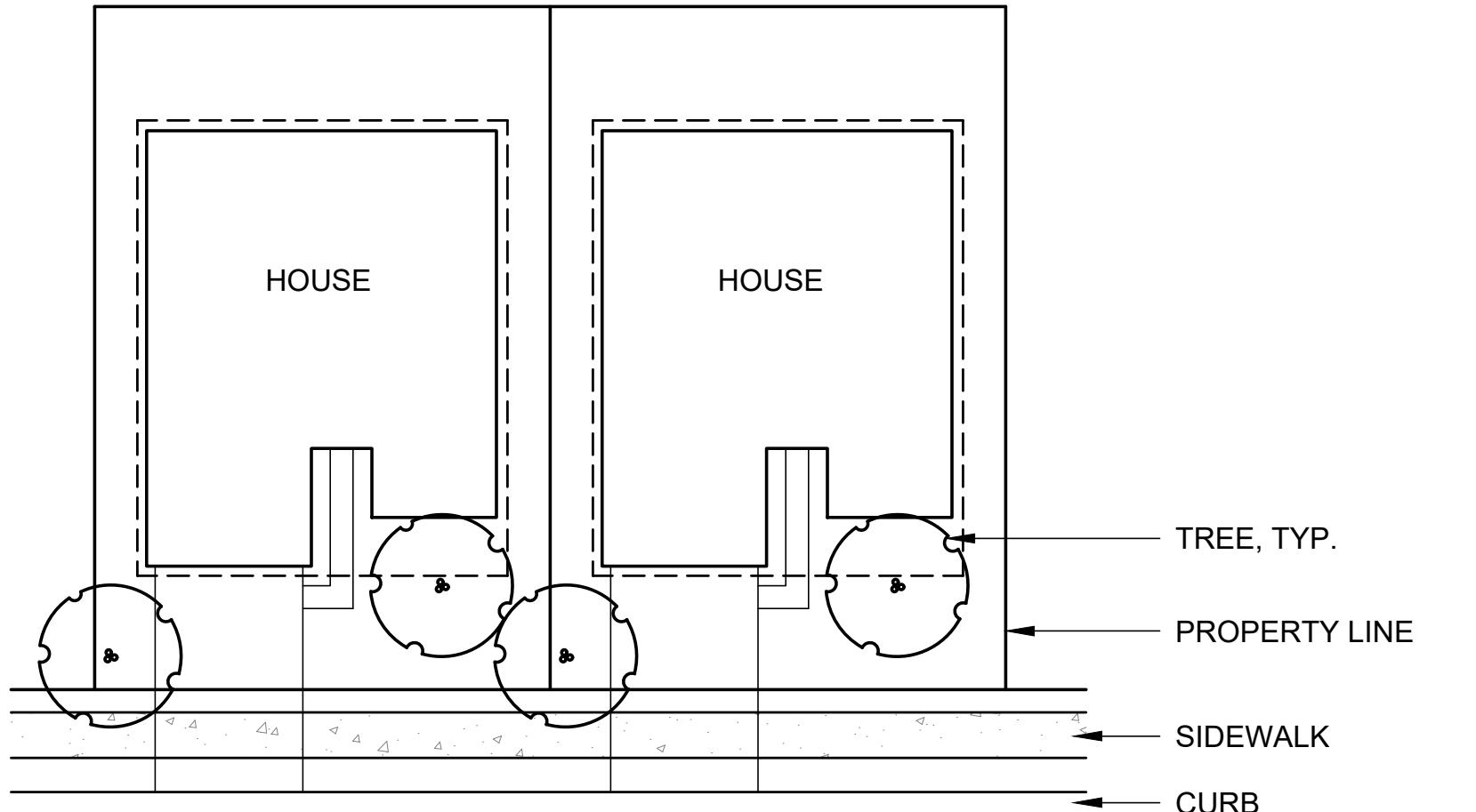
## **FUTURE PHASES**

THE MASTER DEVELOPMENT PLAN PROVIDES FOR THE GENERAL LAYOUT OF THE ENTIRE PROPERTY COMPRISING OF 4 PHASES.

THIS LANDSCAPE PLAN INCLUDES LANDSCAPE DESIGN FOR PHASE 1.

ALL OTHER PHASES WILL REQUIRE SEPARATE LANDSCAPE PLANS, DEMONSTRATING COMPLIANCE WITH TOWN OF ORO VALLEY REQUIREMENTS.

IN THE EVENT THAT FUTURE PLANS AND REPORTS REQUIRE REDESIGN, THE MASTER DEVELOPMENT PLAN SHALL BE MODIFIED ACCORDINGLY.



TWO TREES, TYPE 1 OR 2 WATER USE AND A MINIMUM OF 24" BOX SIZE, SHALL BE INSTALLED IN THE FRONT YARD OF EACH RESIDENTIAL LOT. LOCATION OF TREES TO BE DETERMINED BY HOME OWNER OR DEVELOPER. (ALTERNATE FRONT YARD LANDSCAPE SCHEMES PER ZONING CODE SECTION 27.6.C.2.c. MAY ALSO BE UTILIZED AT THE DEVELOPER'S DISCRETION)

FOR LOTS WITH FULLY GRADED FRONT YARDS, CATCHMENT AREAS TO UTILIZE RAINWATER MUST BE ESTABLISHED FOR PLANT USE. AT A MINIMUM, DEPRESSIONS AND/OR WELLS MUST BE ESTABLISHED FOR ALL TREES.

DETAIL SHOWN FOR GRAPHIC PURPOSES ONLY. HOUSE AND LOT CONFIGURATION MAY VARY.

## FRONT YARD TREE PLANTING

# HALMARK

LANDSCAPE PLAN FOR:  
LOT 1 - 69, AND COMMON AREA "A" (PRIVATE STREETS & PUBLIC UTILITIES) COMMON AREAS "B-1" & "B-2" (OPEN SPACE, DRAINAGE, UTILITIES & LANDSCAPE), COMMON AREA "C-1" & "C-2" (FUNCTIONAL OPEN SPACE & DRAINAGE), AND COMMON AREA "D-1" THE "D-11" (NATURAL OPEN SPACE)  
PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

2500963  
RELATED CASES:  
2500142

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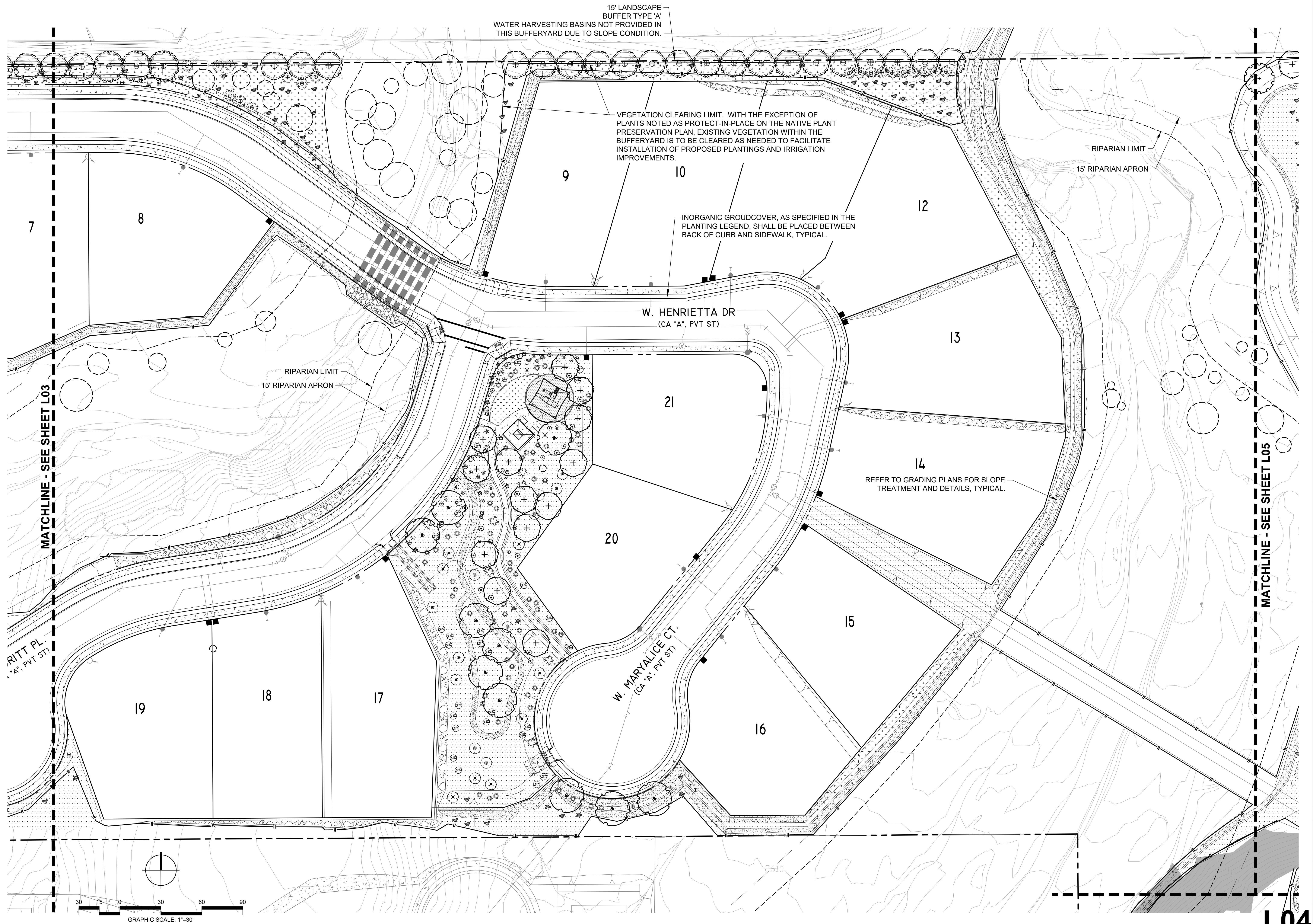
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SHEET NO. 3 OF 20

11. *What is the primary purpose of the following statement?*

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SHEET NO. 5 OF 20



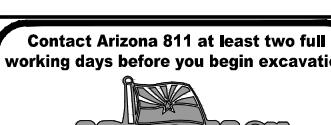
LANDSCAPE PLAN FOR:  
**HALLAMARK**  
LOTS 1-58 AND COMMON AREA A: PRIVATE STREETS & PUBLIC UTILITIES, COMMON AREAS B, C & D: OPEN SPACE, DRAINAGE, LANDSCAPE, COMMON AREA D-1: THRU PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

2500963

RELATED CASES:

2500142

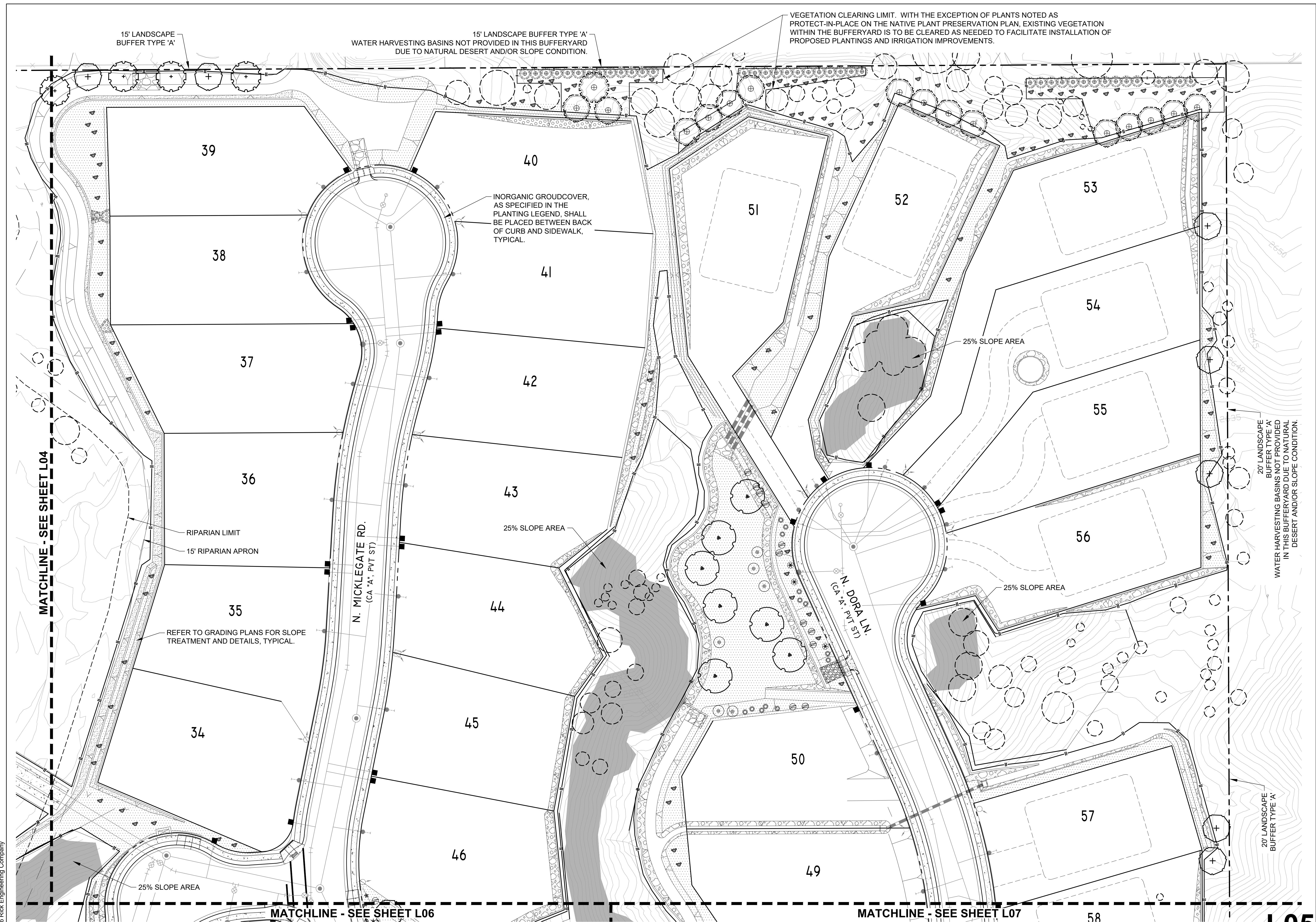
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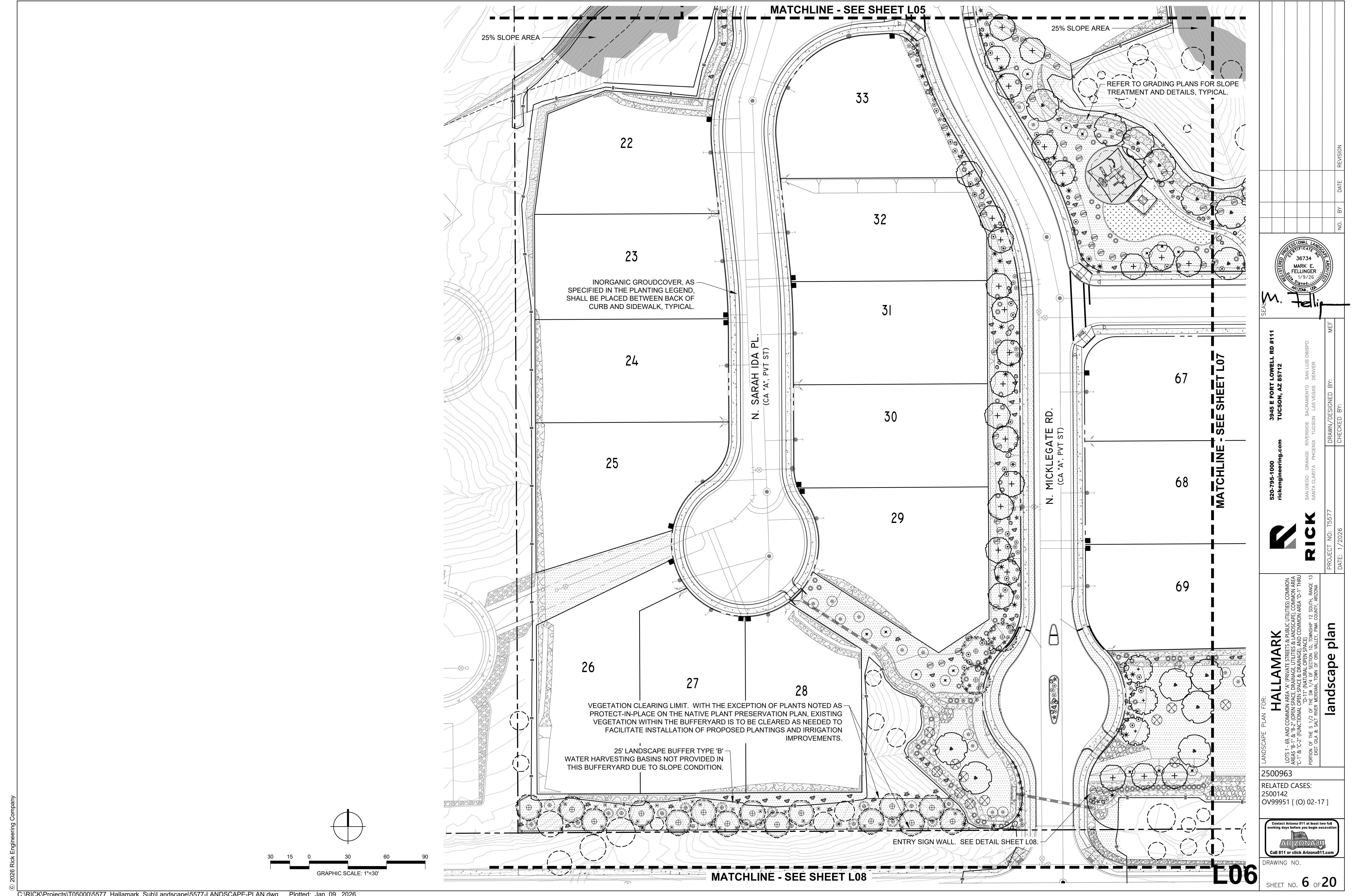
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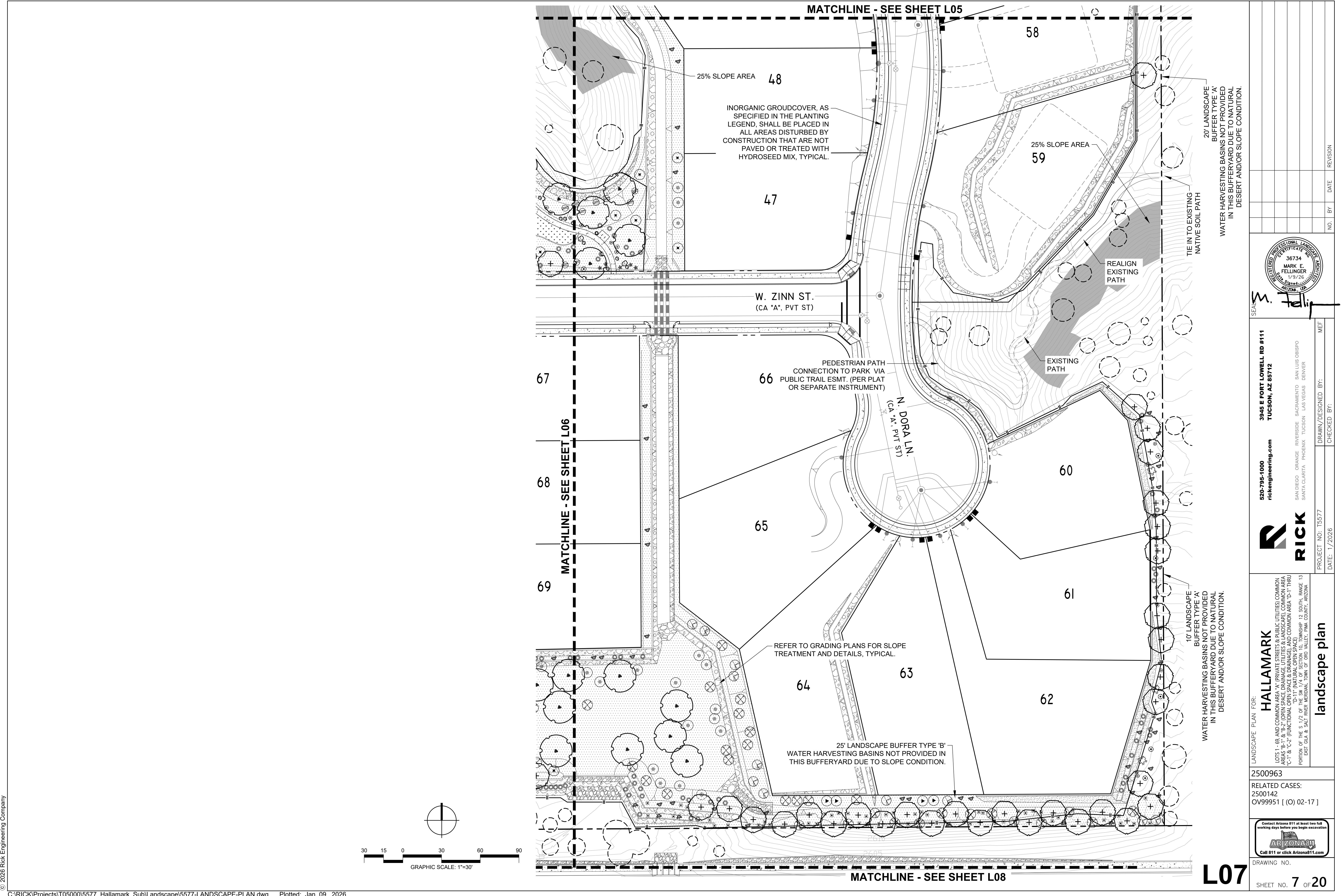
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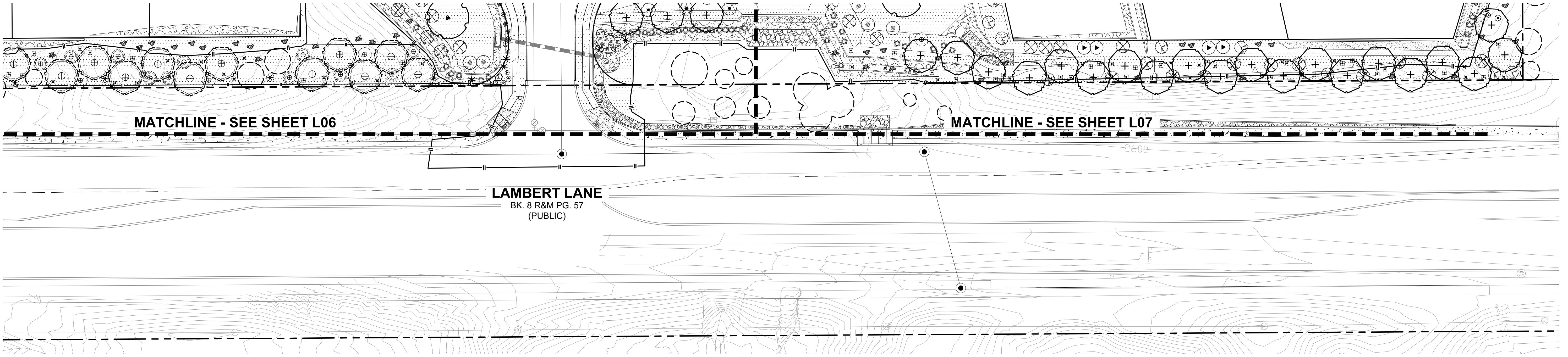
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**RICK**  
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO  
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PROJECT NO: T5577  
DRAWN/DESIGNED BY: MEF  
CHECKED BY: DATE: 1/2026



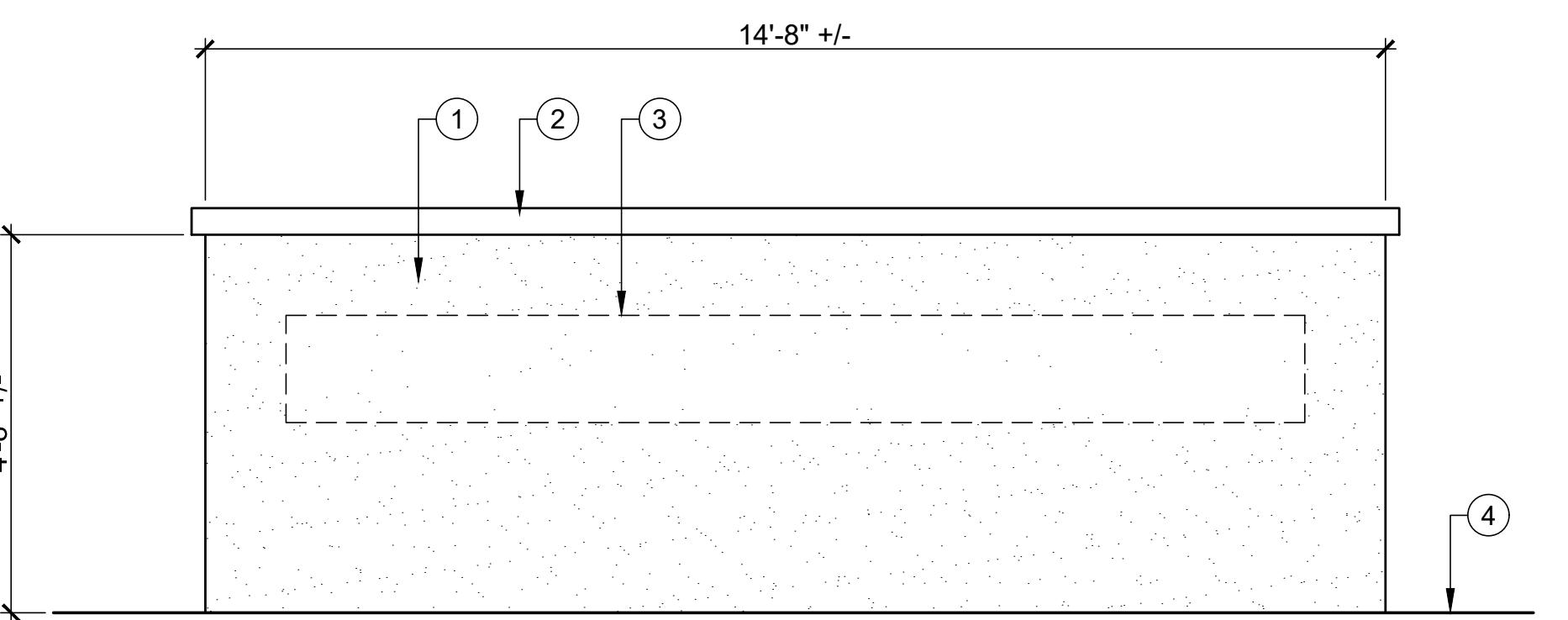
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LANDSCAPE PLAN FOR: <b>HALLAMARK</b> LOTS 1-58 AND COMMON AREA "A" PRIVATE STREETS & PUBLIC UTILITIES COMMON AREAS "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z" OPEN SPACE, DRAINAGE UTILITIES, LANDSCAPE, COMMON AREA "D-1" THRU "D-11" NATURAL OPEN SPACE, FUNCTIONAL OPEN SPACE & DRAINED COMMON AREA "D-11" THRU "D-11" 1/2 OF SECTION 10, 1/2 OF SECTION 11, 1/4 OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERRIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	
2500963	RELATED CASES: 2500142 OV99951 [ (O) 02-17 ]
	



- ① CMU WALL WITH PAINTED STUCCO FINISH. PAINT COLOR TO BE TAN/BROWN/EARHTONE AS APPROVED BY OWNER.
- ② 4" THICK SOLID CMU TOP CAP. INTEGRALLY COLOR TO COMPLIMENT WALL PAINT COLOR.
- ③ SIGN COPY/LOGO/TYPFACe PER OWNER. HALO LIT ALUMINUM REVERSE PAN CHANNEL LETTERS. 2" THICKNESS. 1" STAND-OFF. LIGHT COLOR SHALL BE AMBER.
- ④ FINISHED GRADE

NOTE: ENTRY SIGN WALL SHALL BE BY SEPARATE PERMIT.

**A** ENTRY SIGN WALL

NOT TO SCALE

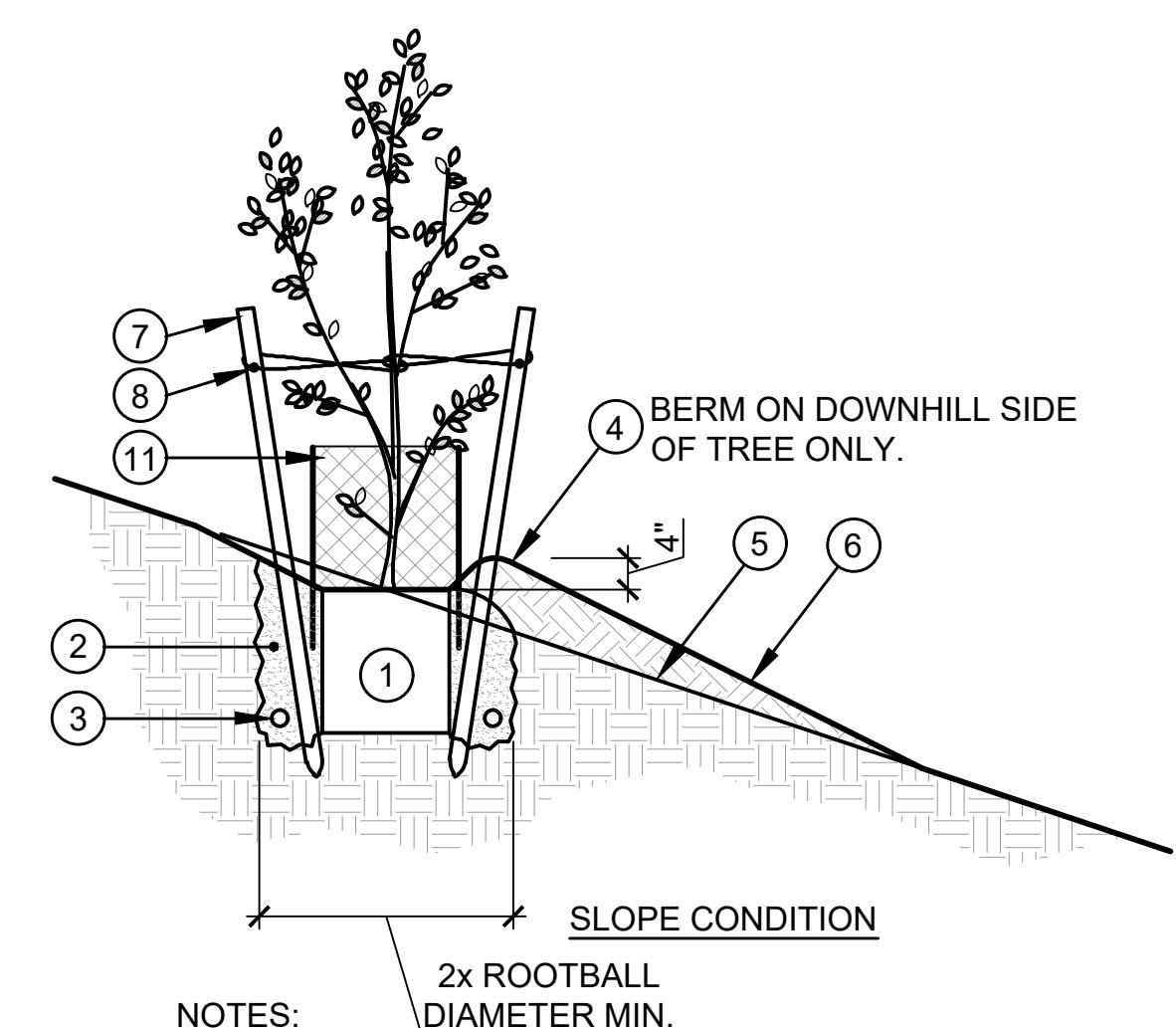
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SHEET NO. 8 OF 20



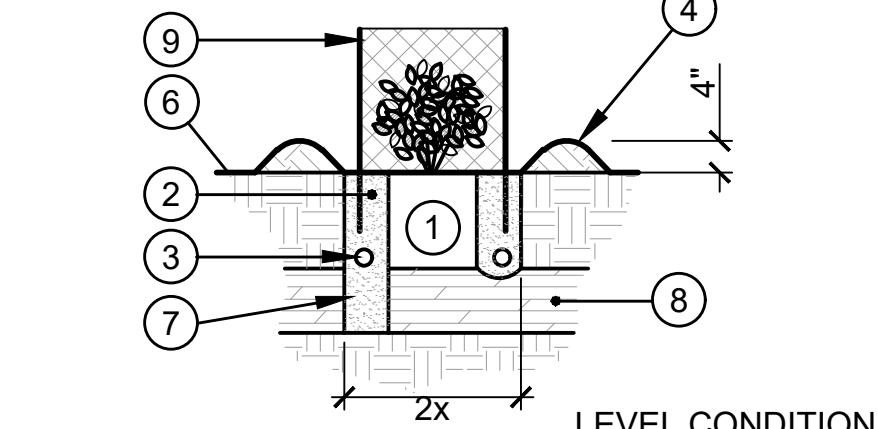
① ROOTBALL PLACE ON UNDISTURBED NATIVE SOIL AT BOTTOM OF PLANT PIT.  
 ② AMENDED BACKFILL MIX.  
 ③ FERTILIZER TABLETS.  
 ④ 4" HIGH EARTH BERM / MICROBASIN (NOT REQUIRED FOR LEVEL CONDITION IF TREE IS LOCATED IN A DEPRESSED WATER HARVESTING AREA; ALWAYS REQUIRED FOR SLOPE CONDITION.)  
 ⑤ SLOPE GRADE PRIOR TO PLANTING.  
 ⑥ FINISH GRADE.  
 ⑦ (2) 2" DIA. LODGE POLE STAKES. PLACE OUTSIDE OF ROOTBALL.  
 ⑧ BLACK PLASTIC CINCH-TIE WITH ONE TWIST NAILED TO STAKE, OR APPROVED EQUAL. (WIRE TIES WITH RUBBER HOSE IS NOT ACCEPTABLE).  
 ⑨ DRILL 8" DIAMETER CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.  
 ⑩ HARDPAN OR CALICHE SOIL LAYER.  
 ⑪ BROWSE CAGE. SEE NOTE 6.

### A TREE PLANTING

NOT TO SCALE



NOTES:  
 1. TREE STAKES ARE NOT REQUIRED FOR 5 GAL. TREES.  
 2. TREE STAKES MAY BE OMITTED IF TREE IS ABLE TO SUPPORT ITSELF UPRIGHT WITHOUT LEANING OR BENDING.  
 3. WHEN STAKES ARE INSTALLED, TIES SHOULD BE PLACED AS LOW AS POSSIBLE WHILE STILL PROVIDING NECESSARY SUPPORT. CUT STAKE APPROX. 6" ABOVE TIE TO AVOID BRANCHES RUBBING ON STAKE.  
 4. ALL NURSERY STAKES ARE TO BE REMOVED REGARDLESS OF PLANT SIZE.  
 5. SCARIFY SIDES OF PLANT PIT TO ELIMINATE SMOOTH SHOVEL CUTS PRIOR TO PLACEMENT OF TREE IN PIT.  
 6. CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL TREES AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR TREES FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

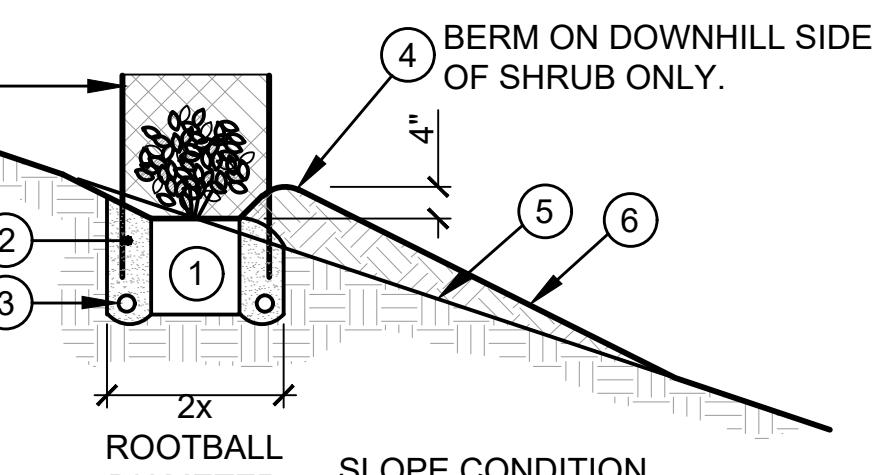


① ROOTBALL PLACE ON UNDISTURBED NATIVE SOIL AT BOTTOM OF PLANT PIT.  
 ② AMENDED BACKFILL MIX.  
 ③ FERTILIZER TABLETS.  
 ④ 4" HIGH EARTH BERM / MICROBASIN (NOT REQUIRED FOR LEVEL CONDITION IF TREE IS LOCATED IN A DEPRESSED WATER HARVESTING AREA; ALWAYS REQUIRED FOR SLOPE CONDITION.)  
 ⑤ SLOPE GRADE PRIOR TO PLANTING.  
 ⑥ FINISH GRADE.  
 ⑦ DRILL CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.  
 ⑧ HARDPAN OR CALICHE SOIL LAYER.  
 ⑨ BROWSE CAGE. SEE NOTE.

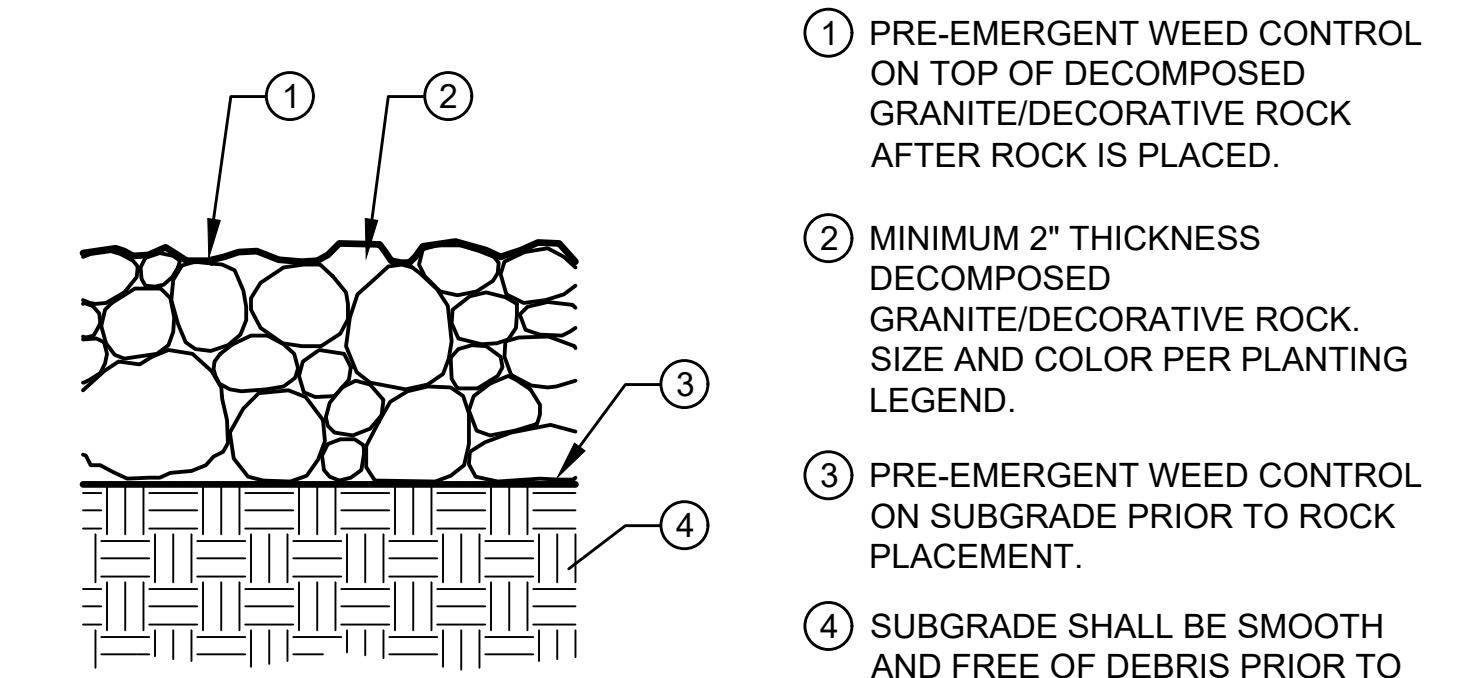
NOTE: CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL SHRUBS AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR SHRUBS FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

### B SHRUB PLANTING

NOT TO SCALE



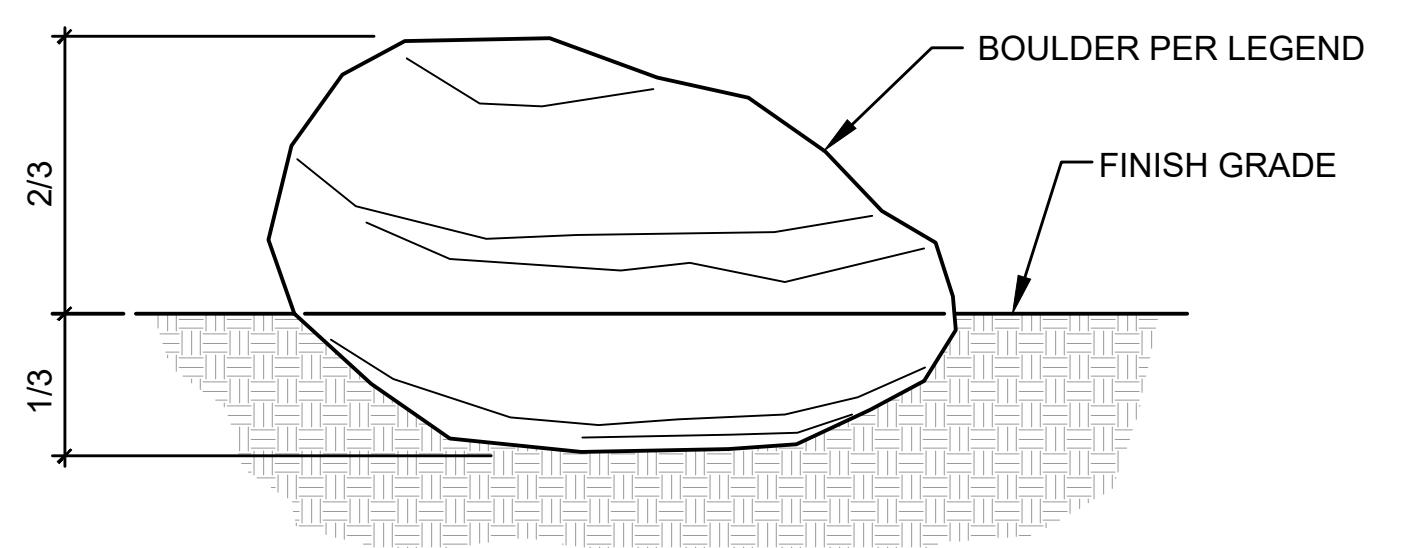
⑤ SLOPE GRADE PRIOR TO PLANTING.  
 ⑥ FINISH GRADE.  
 ⑦ DRILL CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.  
 ⑧ HARDPAN OR CALICHE SOIL LAYER.  
 ⑨ BROWSE CAGE. SEE NOTE.



① PRE-EMERGENT WEED CONTROL ON TOP OF DECOMPOSED GRANITE/DECORATIVE ROCK AFTER ROCK IS PLACED.  
 ② MINIMUM 2" THICKNESS DECOMPOSED GRANITE/DECORATIVE ROCK. SIZE AND COLOR PER PLANTING LEGEND.  
 ③ PRE-EMERGENT WEED CONTROL ON SUBGRADE PRIOR TO ROCK PLACEMENT.  
 ④ SUBGRADE SHALL BE SMOOTH AND FREE OF DEBRIS PRIOR TO DECORATIVE ROCK PLACEMENT.

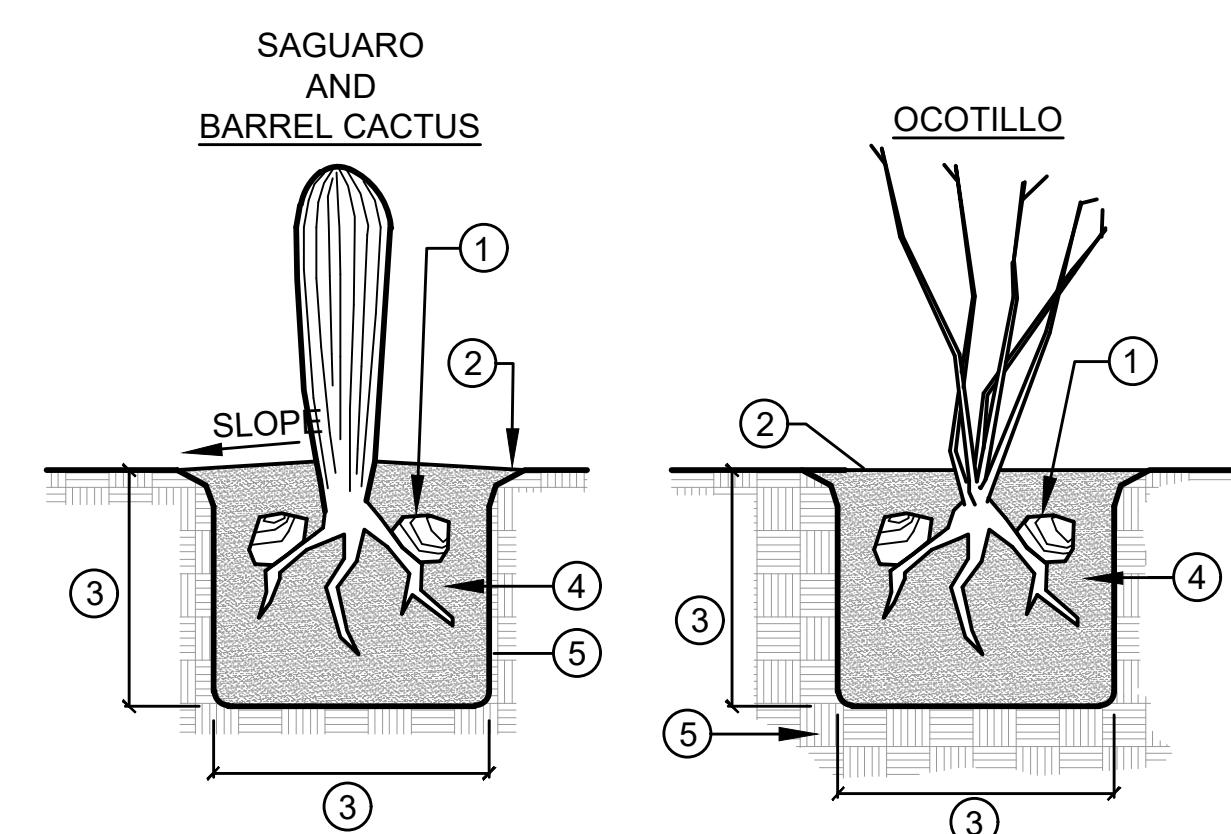
### C ROCK MULCH

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### D BOULDER PLACEMENT

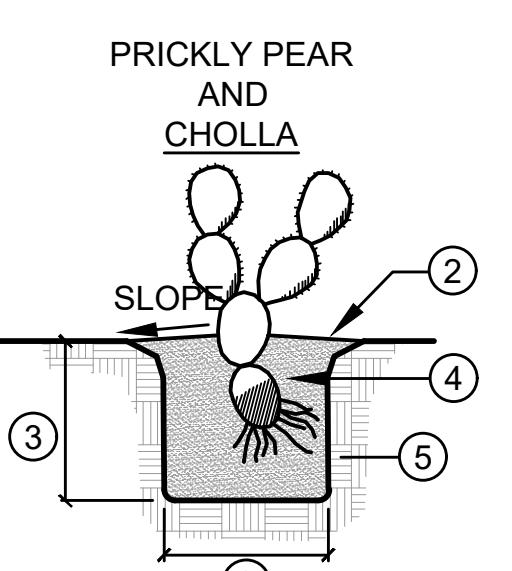
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NOTES:  
 1. SET MAIN STEM OF CACTUS PLUMB AS VIEWED FROM ALL SIDES.  
 2. DO NOT CREATE A BASIN AT BASE OF CACTUS. SLOPE BACKFILL AWAY FROM STEM.  
 3. TREAT ALL BARE ROOTS WITH POWDERED SULFUR.  
 4. PRICKLY PEAR ONLY - BURY ONE FULL PAD, MINIMUM.  
 5. SAGUARO ONLY - BURY PORTION OF GREEN CACTUS 1/10TH HEIGHT OF CACTUS, UP TO A MAXIMUM OF 24".  
 6. OCOTILLO - BURY ROOT SYSTEM SUCH THAT TOP OF ROOT SYSTEM IS 6" (MAX.) BELOW FINISHED GRADE

### E CACTI PLANTING

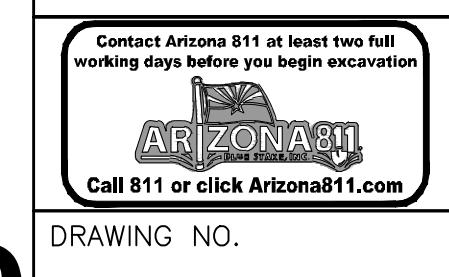
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① SUPPORT CACTI BY PLACING 2-4 ROCKS (1 CU. FT. MIN) ON ROOTS  
 ② FINISH GRADE  
 ③ 18" MINIMUM  
 ④ BACKFILL (1/2 SCREENED NATIVE SOIL AND 1/2 CLEAN SAND)  
 ⑤ UNDISTURBED NATIVE SOIL

**HALLMARK**  
 LANDSCAPE PLAN FOR:  
 LOTS 1-50 AND COMMON AREA A: PRIVATE STREETS & PUBLIC UTILITIES; COMMON AREAS B, C & D: OPEN SPACE, TRAILAGE, UTILITIES & LANDSCAPE; COMMON AREA D: 1/2 NATURAL OPEN SPACE & DRAINED AND COMMON AREA D-1: THRU PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERRIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

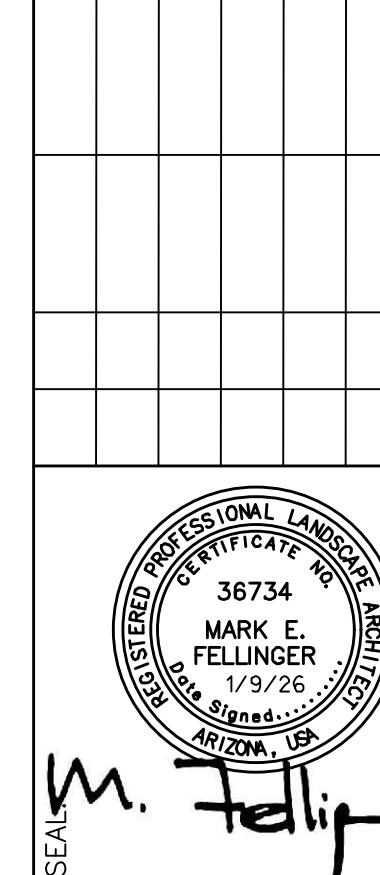
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SHEET NO. 9 OF 20

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M. Felinger

1/9/26

REVISION

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## TOWN OF ORO VALLEY IRRIGATION NOTES

- IRRIGATION AND/OR WATERING PLANS SHALL MEET THE MINIMUM STANDARDS OF THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS.
- IF DESERT LANDSCAPING IS USED WHICH WILL ULTIMATELY RELY ON NATURAL WATER SOURCES, A TEMPORARY DRIP IRRIGATION SYSTEM SHALL BE EMPLOYED UNTIL SUCH TIME AS THE PLANT MATERIALS ARE SUSTAINED BY NATURAL WATER SOURCES
- THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY SYSTEM AS LONG AS NECESSARY IN ORDER TO TRANSITION PLANTS OVER TO NATURAL SOURCES. ANY PLANT MATERIALS THAT DIE IN TRANSITION, FOR ANY REASON, SHALL BE REPLACED IN ACCORDANCE WITH SEC. 27.6.E.4., MAINTENANCE.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER MAINS (PUBLIC OR PRIVATE) SHALL BE EQUIPPED WITH BACKFLOW PREVENTERS.
- THE ANNUAL WATER USE FOR A PROJECT SHALL NOT EXCEED THE ANNUAL LANDSCAPE WATER PLAN.
- IRRIGATION METER READINGS SHALL BE USED TO DETERMINE COMPLIANCE WITH THE LANDSCAPE WATER PLAN. NON-COMPLIANCE IS SUBJECT TO PENALTIES UNDER ORO VALLEY TOWN CODE.
- METER READINGS SHALL BE TAKEN, AT A MINIMUM, ON AN ANNUAL BASIS. MONTHLY READINGS MAY BE REQUIRED, AT THE DISCRETION OF THE PLANNING AND ZONING ADMINISTRATOR, IN ORDER TO ADDRESS NON-COMPLIANCE WITH THE WATER PLAN
- AN INITIAL METER READING SHALL BE TAKEN PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND RECORDED FOR REFERENCE AS PART OF THE WATER PLAN.
- IRRIGATION WATER SHALL NOT LEAVE THE LANDSCAPED AREAS AND FLOW ONTO ROADS, PARKING AREAS OR SIDEWALKS.
- SPRINKLER HEADS SHALL BE INSTALLED AT LEAST EIGHT (8) INCHES AWAY FROM IMPERMEABLE SURFACES.
- VEGETATION LOCATED IN BUFFERYARDS SHALL NOT RECEIVE IRRIGATION AFTER FIVE (5) YEARS FROM THE CERTIFICATE OF OCCUPANCY DATE.
- IRRIGATION SHALL BE PROVIDED TO TRANSPLANT SPECIMENS IN THE TEMPORARY NURSERY AS NEEDED TO ENSURE SURVIVAL.

## RICK ENGINEERING IRRIGATION NOTES:

- ANY CHANGES MADE TO THE PLANS AND DETAILS SHOWN ON THESE DOCUMENTS WHICH ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELEASES RICK ENGINEERING OF ANY LIABILITY INCURRED AS A RESULT OF SAID CHANGES.
- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR TO FOLLOW AS CLOSELY AS PRACTICAL. INSTALL PIPING AND EQUIPMENT IN PLANTER AREAS WHENEVER POSSIBLE WITH A MINIMUM OF 10' FEET CLEAR FROM TREE ROOT BALLS WHEN POSSIBLE. EQUIPMENT SHOWN ON PAVED AREAS IS FOR DESIGN CLARITY ONLY. IRRIGATION EQUIPMENT SHOWN OUTSIDE OF MAINTENANCE RESPONSIBILITY AREAS FOR CLARITY ONLY. ALL MAINTAINED AREA EQUIPMENT SHALL BE INSTALLED WITHIN THE LIMIT OF WORK LINES. DO NOT MAKE CHANGES OR ALTERATIONS TO PLANS WITHOUT PRIOR APPROVAL OF THE OWNERS REPRESENTATIVE. THE QUANTITIES AND CONDITIONS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK.
- IF ANY UTILITIES CONFLICT WITH THE ORIGINAL PLACEMENT OF INTENDED PLANT MATERIAL ON SITE THE LANDSCAPE ARCHITECT WILL AID THE CONTRACTOR IN THE RELOCATION OR SHIFTING OF PLANT MATERIAL ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE THERETO. ALL UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY EXCAVATION. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG (811) TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND REGULATION OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS.
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY FIELD CHANGES.
- DO NOT INSTALL IRRIGATION MAINLINE THROUGH THE MIDDLE OF PLANTER WHERE POTENTIAL CONFLICTS WITH TREES ARE EXISTING AND/OR PROPOSED. COORDINATE WITH PLANTING PLAN TO AVOID CONFLICTS.
- VALVE MANIFOLDS, BALL VALVES, RCV'S, QUICK COUPLERS, ETC. SHALL BE LOCATED WITHIN SHRUB PLANTING AREAS. VERIFY ACTUAL LOCATIONS IN THE FIELD WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL VERIFY AVAILABLE WATER PRESSURE AT POINT OF CONNECTION AND PROVIDE TO OWNER AND OWNERS REPRESENTATIVE WITH TESTING RESULTS IN WRITING PRIOR TO BEGINNING WORK.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT THE POINT OF CONNECTION (P.O.C.). THE IRRIGATION CONTRACTOR SHALL VERIFY THE WATER PRESSURE PRIOR TO

## IRRIGATION EQUIPMENT LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	REMARKS
M1	NEW 1" IRRIGATION METER		
M2	NEW 1" IRRIGATION METER		
A	AUTOMATIC CONTROLLER	6 STA. HUNTER XC HYBRID WITH SOLAR PANEL	STAINLESS STEEL SOLAR OUTDOOR MODEL ON XCHSPOLE
B	AUTOMATIC CONTROLLER	6 STA. HUNTER XC HYBRID WITH SOLAR PANEL	STAINLESS STEEL SOLAR OUTDOOR MODEL ON XCHSPOLE
BF	BACKFLOW PREVENTION ASSEMBLY	1-1/2" FEBCO 825Y	INSTALL AS DETAILED, WITH GUARDSHACK ENCLOSURE (TAN)
	DRIP REMOTE CONTROL VALVE ASSEMBLY	RAINBIRD CONTROL ZONE KIT XCZ-100-PRB-COM	INSTALL AS DETAILED
	TURF REMOTE CONTROL VALVE	1-1/2" RAINBIRD PEB	INSTALL AS DETAILED
	QUICK COUPLER	RAINBIRD 33DRC, OR EQUAL	INSTALL AS DETAILED
	PVC BALL VALVE	NIBCO, OR EQUAL	LINE SIZE, INSTALL AS DETAILED
—	PVC MAINLINE PIPE		PVC SCH 40, SIZE PER PLAN
—	PVC SLEEVE		PVC SCH 40; TWO TIMES DIA. OF PIPE OR WIRE BUNDLE UNLESS SIZE IS NOTED OTHERWISE ON PLAN.
—	POLYETHYLENE LATERAL 3/4" UNLESS OTHERWISE NOTED		EXTEND FROM PRESSURE REGULATORS TO WITHIN 10' OF EACH TREE AND SHRUB.
—	SCH 40 PVC LATERAL		PVC SCH 40, SIZE PER PLAN
Q-TT TT-TQ F	VARIABLE ARC STREAM SPRAYS	PSI RADIUS GPM	ADJUST/CHANGE NOZZLES AND/OR RADIUS AS NEEDED TO ACHIEVE COMPLETE COVERAGE AND MINIMIZE OVERSPRAY ONTO WALKS, WALLS, ETC.
① ② ③		HUNTER PROS-06-PRS40-CV-MP800SR 40 6'-12' 0.23/0.42/0.78	
④ ⑤ ⑥		HUNTER PROS-06-PRS40-CV-MP1000 40 8'-15' 0.21/0.42/0.84	
⑦ ⑧ ⑨		HUNTER PROS-06-PRS40-CV-MP2000 40 13'-21' 0.43/0.77/1.48	
⑩ ⑪ ⑫		HUNTER PROS-06-PRS40-CV-MP3000 40 22'-30' 0.86/1.82/3.64	
⑬ ⑭		HUNTER PROS-06-PRS40-CV-MP3500 40 31'-35' 1.28/2.86	
NOT SHOWN	SINGLE OUTLET Emitter	RAINBIRD XB-10, OR EQUAL	INSTALL ONE AT EACH SHRUB UNLESS OTHERWISE NOTED
NOT SHOWN	MULTI-OUTLET Emitter	RAINBIRD XB-10-6, OR EQUAL	INSTALL ONE AT EACH TREE UNLESS OTHERWISE NOTED
●	FLUSH CAP	AS DETAILED	INSTALL IN 6" ROUND VALVE BOX

## LANDSCAPE WATER PLAN

JAN FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC

### YEAR 3:

Continue to increase irrigation water use as needed as plants mature up to, but not exceeding, 100% ADWR value by end of year. (average monthly water use = 55,600 gal/month)

75,681 97,589 155,345 207,127 254,925 270,858 233,018 205,135 185,219 147,379 93,605 65,723  
TOTAL (100% ADWR) 1,991,603

### YEAR 4:

Begin gradually decreasing irrigation to buffer, median, and ROW areas in order to reach zero irrigation in those areas by end of year 5. (to reach 75% ADWR by end of year, average monthly water use = 41,000 gal/month)

56,761 73,191 116,509 155,345 191,194 203,144 174,763 153,851 138,914 110,534 70,204 49,292  
TOTAL (75% ADWR) 1,493,702

### YEAR 5:

Continue decreasing irrigation to buffer, median, and ROW areas.

By end of year 5, irrigation to buffer, median, and ROW areas must be zero, and total amount of water used at site must meet 50% of ADWR maturity value. (average monthly water use = 27,300 gal/month)

37,840 48,794 77,673 103,563 127,463 135,429 116,509 102,568 92,610 73,689 46,803 32,861  
TOTAL (50% ADWR) 995,802

## LANDSCAPE WATER PLAN BASE IRRIGATION SCHEDULE

PLANT TYPE	YEAR	AVERAGE # OF IRRIGATION DAYS PER MONTH	RUN TIME PER IRRIGATION DAY	AVERAGE TOTAL WATER USE PER MONTH	AVERAGE TOTAL WATER USE PER YEAR	SCHEDULE 40 PVC	
						GPM	MIN. SIZE
TREES	3	8	120 MIN.	165,967 GAL.	1,991,603 GAL.	0.1 - 6	3/4"
			60 MIN.			6.1 - 11	1"
TREES	4	4	120 MIN.	124,475 GAL.	1,493,702 GAL.	11.1 - 20	1-1/4"
			60 MIN.			20.1 - 28	1-1/2"
TREES	5	2	120 MIN.	82,984 GAL.	995,802 GAL.	28.1 - 45	2"
			60 MIN.			45.1 - 65	2-1/2"
SHRUBS		8					

## PIPE SIZING

SCHEDULE 40 PVC		UNLESS OTHERWISE NOTED ON THE PLANS, THE PIPE SIZING NOTED HERE SHALL BE CONSIDERED THE MINIMUM ACCEPTABLE SCHEDULE 40 PVC PIPE DIAMETER FOR SECTIONS OF PIPE WITH FLOWS WITHIN THE LISTED RANGES.
GPM	MIN. SIZE	
0.1 - 6	3/4"	
6.1 - 11	1"	
11.1 - 20	1-1/4"	
20.1 - 28	1-1/2"	
28.1 - 45	2"	
45.1 - 65	2-1/2"	

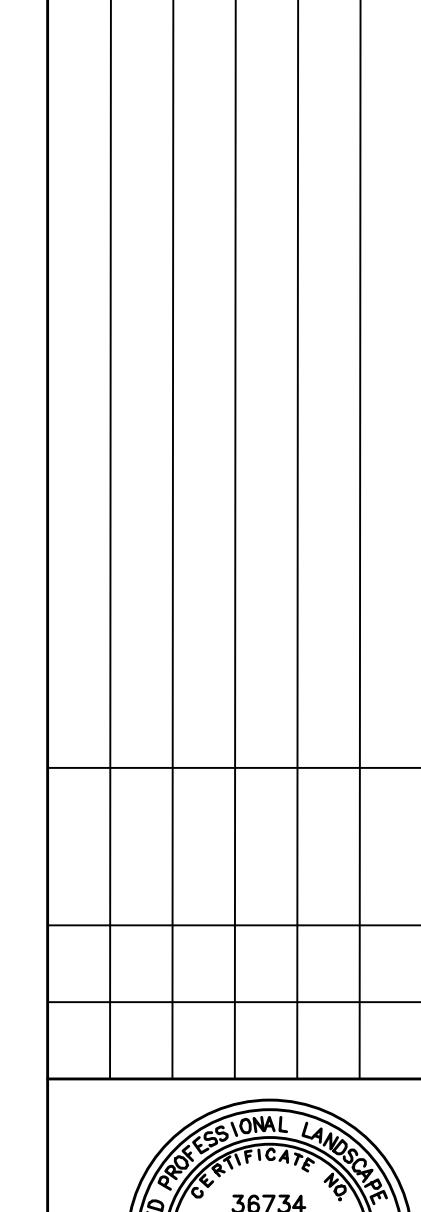
## HALLAMARK

LANDSCAPE PLAN FOR:  
LOT 1-50 AND COMMON AREA A: PRIVATE STREETS & PUBLIC UTILITIES; COMMON AREA B: OPEN SPACE, TRAIL, UTILITIES, LANDSCAPE, COMMON AREA C: 1-8' & 18' OPEN SPACE, TRAIL, UTILITIES, LANDSCAPE, COMMON AREA D: 1-1/2' NATURAL OPEN SPACE, DRAINAGE, LANDSCAPE, COMMON AREA E: 1-1/2' SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERRIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

irrigation legend and notes

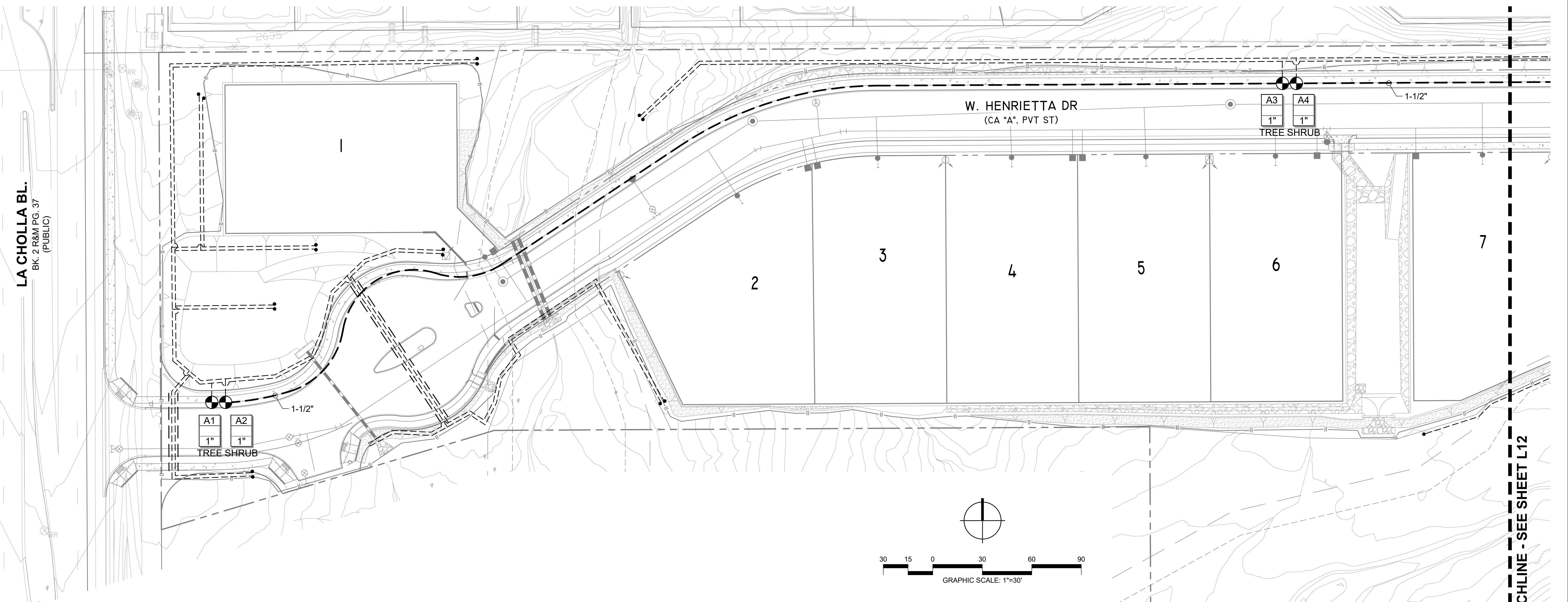
RELATED CASES:  
2500142  
OV99951 (O) 02-17]

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ARIZONA811  
Call 811 or click Arizona811.com  
DRAWING NO.  
L10  
SHEET NO. 10 OF 20



SEALED

520-795-1000  
rickengineering.com  
3945 E FORT LOWELL RD #11  
TUCSON, AZ 85712  
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER PROJECT NO: T5577  
DATE: 1/20/26



36734  
MARK E.  
FELINGER  
1/9/26  
S. F. FELINGER  
REG. ENGINEER  
PROFESSIONAL LANDSCAPE  
DESIGNER  
ARIZONA, USA

SEAL  
S. F. FELINGER  
REG. ENGINEER  
PROFESSIONAL LANDSCAPE  
DESIGNER  
ARIZONA, USA

3945 E FORT LOWELL RD #11  
TUCSON, AZ 85712

RICK  
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO  
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: T5577  
DRAWN/DESIGNED BY: MEF  
CHECKED BY: B:

DATE: 1/2026

520-795-1000  
richengineering.com

RICK  
PROJECT NO: T5577  
DRAWN/DESIGNED BY: MEF  
CHECKED BY: B:

DATE: 1/2026

LANDSCAPE PLAN FOR:  
HALLAMARK

LOTS 1-59 AND COMMON AREA A: PRIVATE STREETS & PUBLIC UTILITIES; COMMON  
AREAS B, C, & D: OPEN SPACE, DRAINAGE UTILITIES & LANDSCAPE; COMMON AREA  
"C-1 & C-2" (FUNCTIONAL OPEN SPACE & DRAINED) & COMMON AREA D-1 THRU  
D-11 NATURAL OPEN SPACE; PORTION OF THE S. 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13  
EAST GILA & SALT RIVER MERRIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

irrigation plan

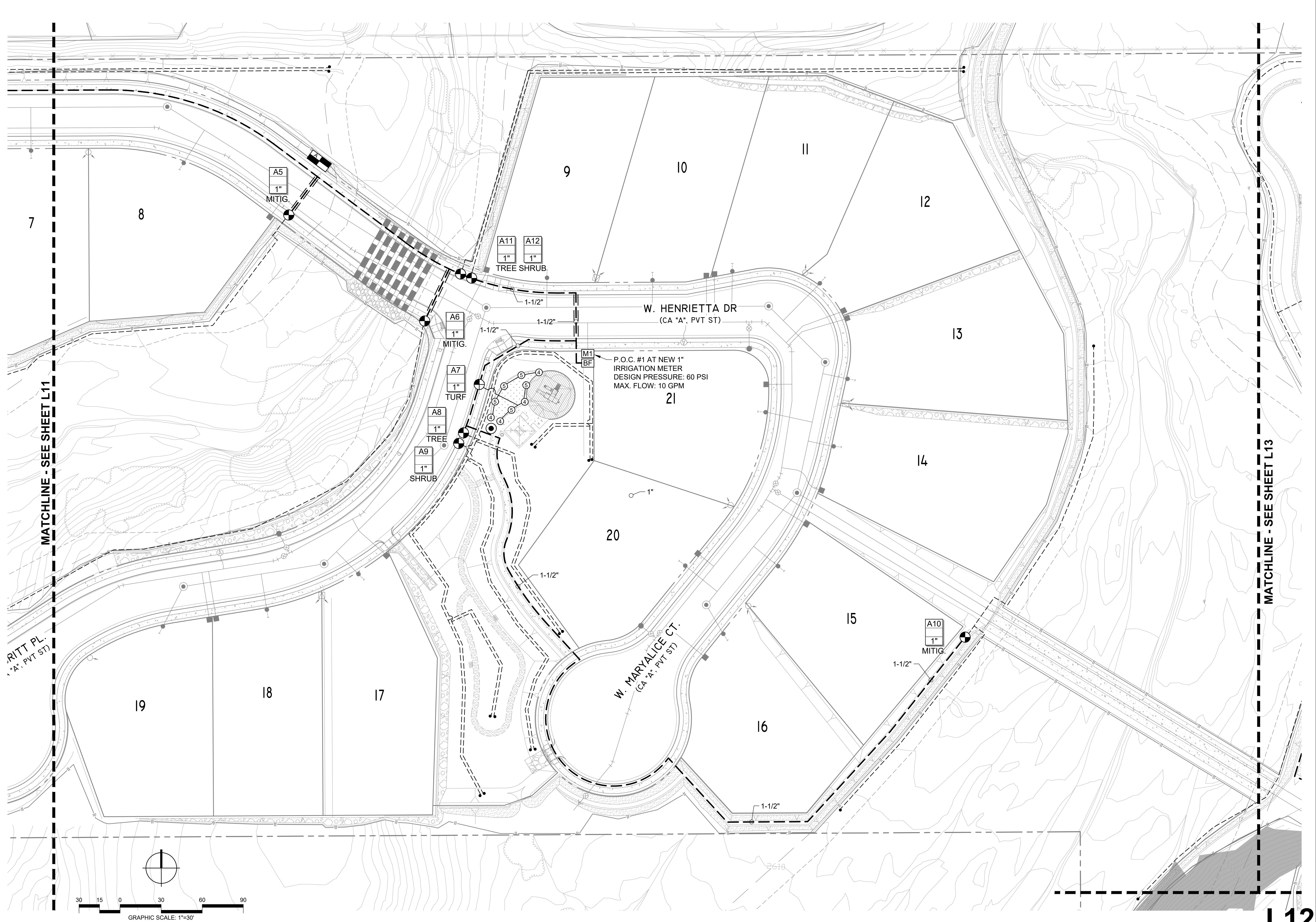
2500963  
RELATED CASES:  
2500142  
OV99951 [ (O) 02-17 ]

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DRAWING NO.

SHEET NO. 11 OF 20

L11



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## MATCHLINE - SEE SHEET L12

34

MITIG.

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59

P.O.C. #2 AT NEW 1" IRRIGATION METER  
DESIGN PRESSURE: 60 PSI  
MAX. FLOW: 10 GPM

1-1/2"

1-1/2"

1-1/2"

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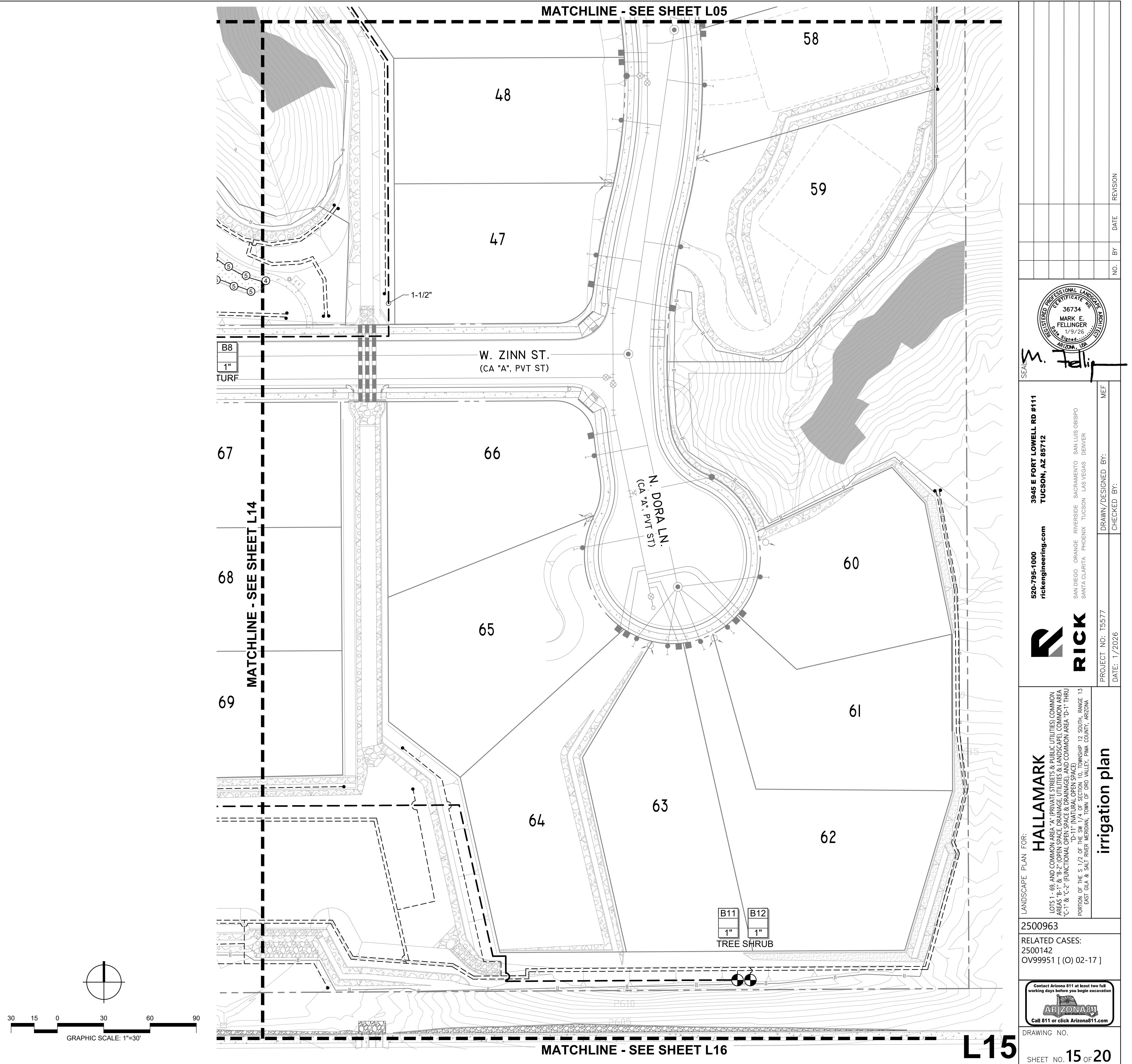
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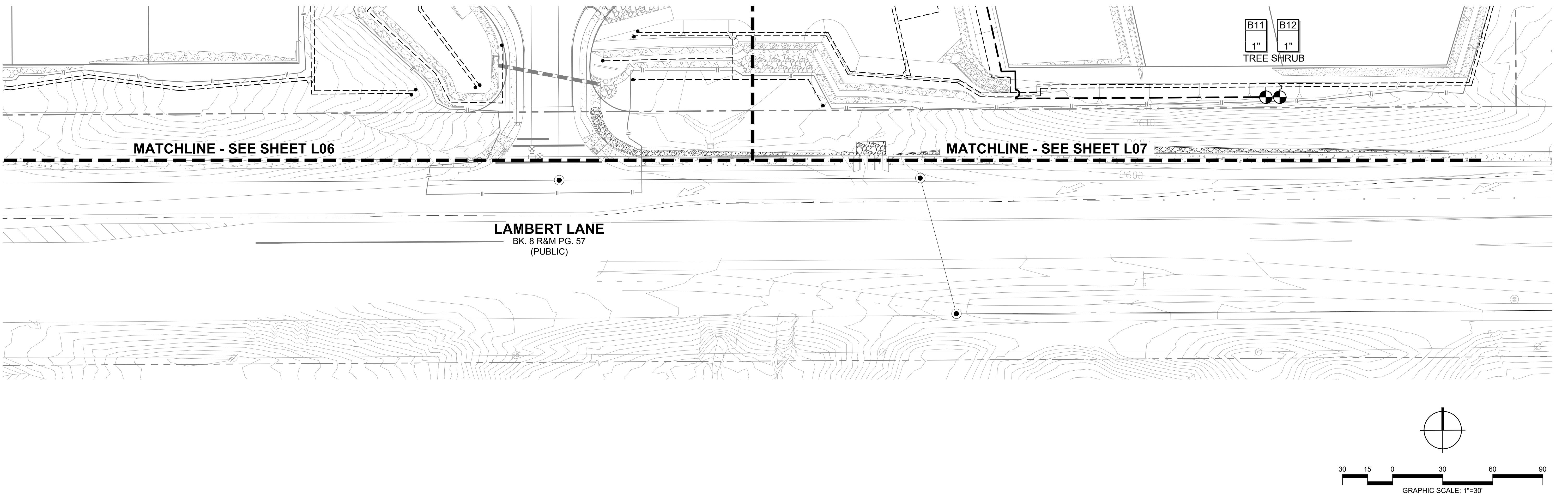
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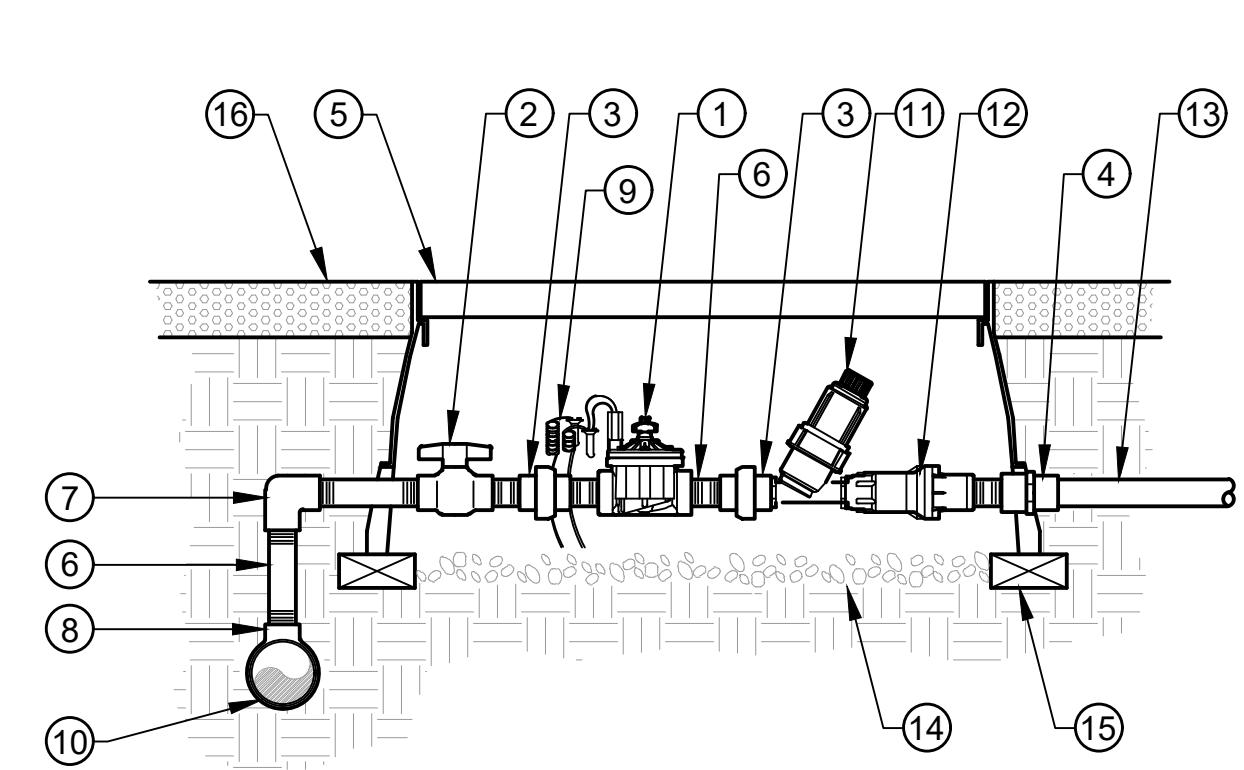
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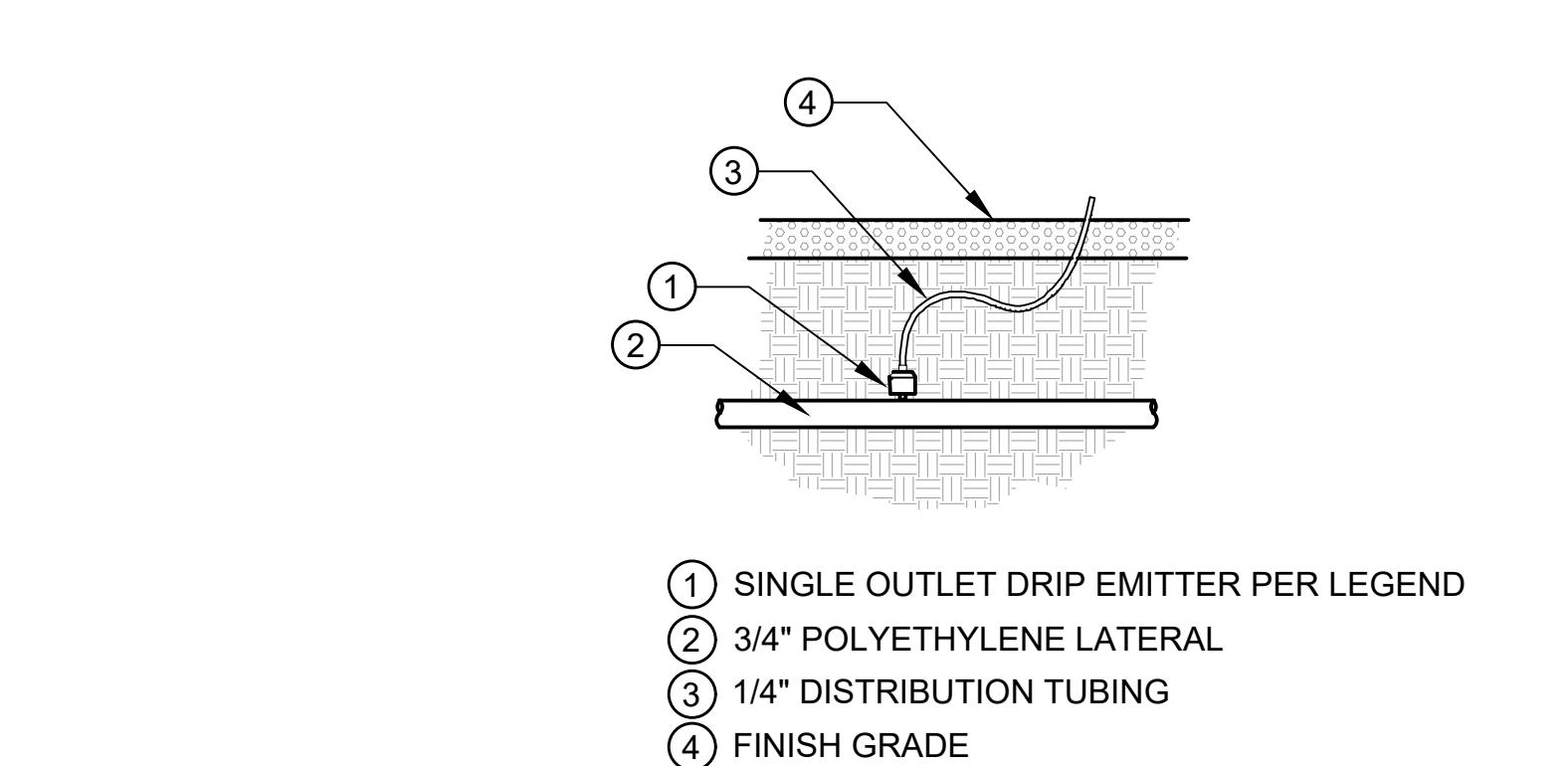




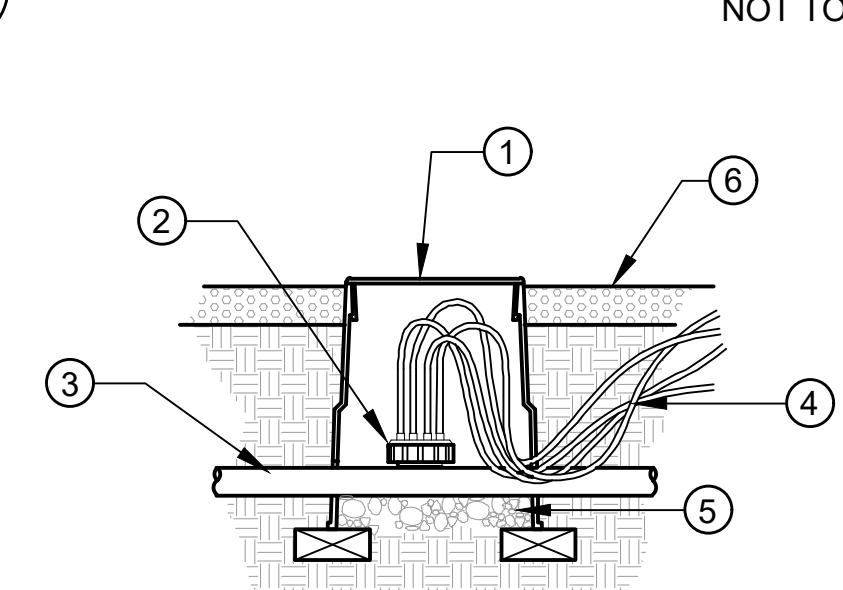
LANDSCAPE PLAN FOR:	<b>HALLMARK</b>	
LOTS 1-60 AND COMMON AREA "A" PRIVATE STREETS & PUBLIC UTILITIES; COMMON AREAS "B", "C" & "D" OPEN SPACE, DRAINAGE UTILITIES & LANDSCAPE; COMMON AREA "E" & "F" OPEN SPACE & DRAINED AND COMMON AREA D-1 THRU D-11 NATURAL OPEN SPACE; FUNCTIONAL OPEN SPACE & DRAINED; PORTION OF THE S. 1/2 OF THE SW 1/4 OF SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MEDIUM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		
25000963	520-795-1000 rickengineering.com	3945 E FORT LOWELL RD #111 TUCSON, AZ 85712
RELATED CASES:	PROJECT NO: T5577	
2500142	DRAWN/DESIGNED BY: MEF CHECKED BY: [ ]	
OV99951 [ (O) 02-17 ]	DATE: 1/2026	
DRAWING NO. <b>L16</b>		
SHEET NO. <b>16 OF 20</b>		

**A IRRIGATION CONTROLLER** NOT TO SCALE

- ① SOLAR PANEL PER IRRIGATION LEGEND
- ② IRRIGATION CONTROLLER PER IRRIGATION LEGEND
- ③ STAINLESS STEEL POLE AND MOUNTING BRACKET
- ④ FINISHED GRADE
- ⑤ MIN. 1 CU. FT. CONCRETE

**B BACKFLOW PREVENTION DEVICE** NOT TO SCALE

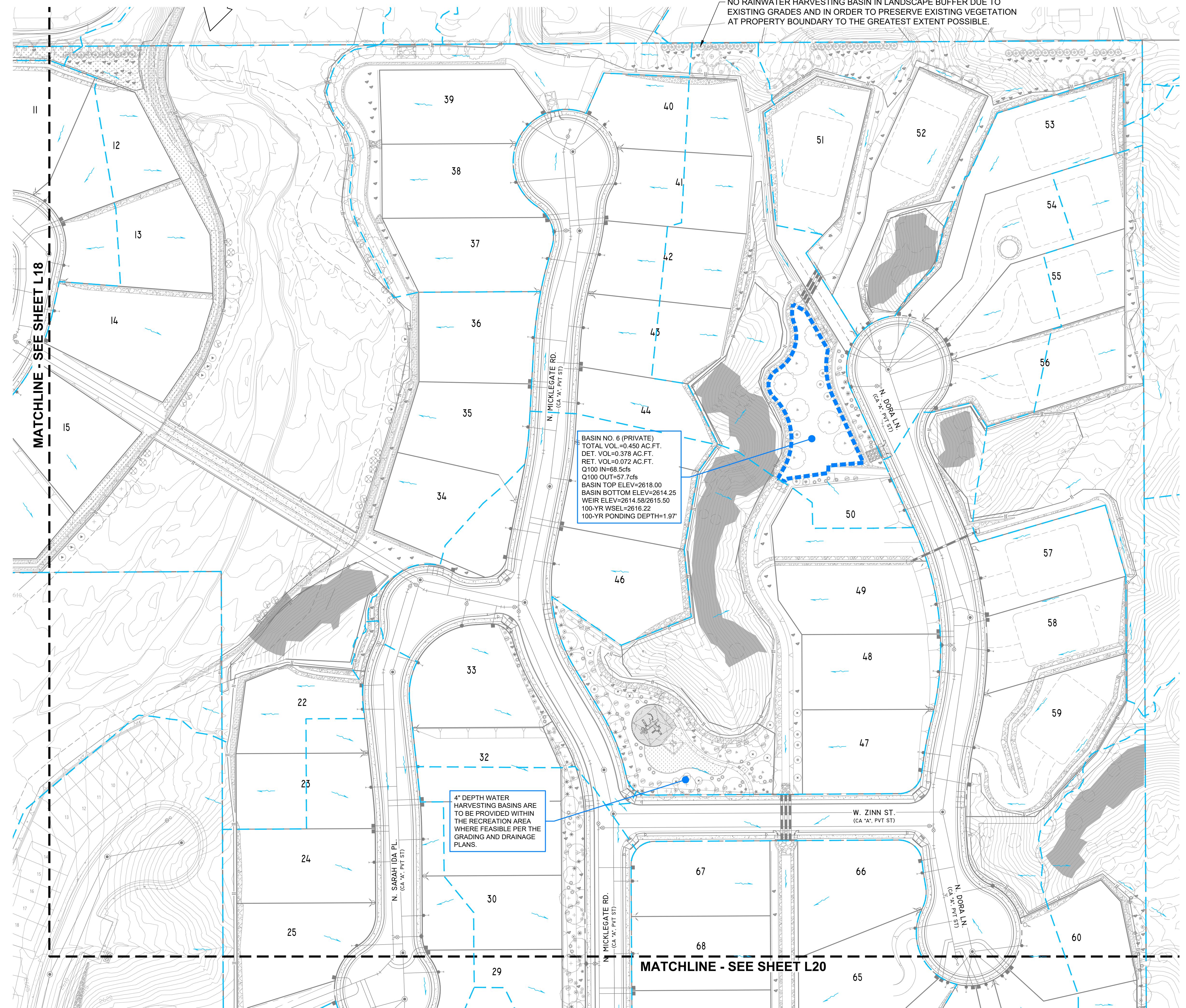
- ① REMOTE CONTROL VALVE PER IRRIGATION LEGEND
- ② 2" GRAY FEMALE THREADED PVC BALL VALVE (SAME SIZE AS RCV)
- ③ SCH. 80 PVC UNION (THREADED)
- ④ SCH. 80 PVC FEMALE ADAPTER (FPT x SLIP)
- ⑤ VALVE BOX
- ⑥ 2" SCH. 80 PVC NIPPLE, TYP.
- ⑦ 2" SCH. 80 PVC ELBOW (THREADED)
- ⑧ 2" SCH. 80 PVC TEE (THREADED)
- ⑨ 30-INCH LINEAR LENGTH OF WIRE, COILED, WATERPROOF CONNECTIONS
- ⑩ PVC MAINLINE PER IRRIGATION LEGEND, SIZE PER PLAN
- ⑪ WYE FILTER PER IRRIGATION LEGEND
- ⑫ PRESSURE REGULATOR PER IRRIGATION LEGEND
- ⑬ LATERAL LINE PER IRRIGATION LEGEND, SIZE PER PLAN
- ⑭ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑮ BRICKS FOR BOX SUPPORT (1 AT EA. CORNER)
- ⑯ FINISHED GRADE OF ROCK MULCH

**E REMOTE CONTROL VALVE (DRIP)** NOT TO SCALE**F SINGLE OUTLET DRIP Emitter** NOT TO SCALE

- ① 6" ROUND VALVE BOX
- ② MULTI-OUTLET DRIP Emitter PER LEGEND
- ③ 3/4" POLYETHYLENE LATERAL
- ④ 1/4" DISTRIBUTION TUBING
- ⑤ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑥ FINISH GRADE

**G MULTI-OUTLET DRIP Emitter** NOT TO SCALE**C VALVE BOX LAYOUT** NOT TO SCALE





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C:\RICK\Projects\T05000\5577\_Hallamark\_Sub\Landscape\5577-RWH-PLAN.dwg Plotted: Jan. 09, 2024

Plotted: Jan. 09, 202

## DRAWING

ET NO. 19 OF 20

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LANDSCAPE PLAN FOR:  
**HALLAMARK**

LOTS 1 - 69, AND COMMON AREA "A" (PRIVATE STREETS & PU  
REAS "B-1" & "B-2" (OPEN SPACE, DRAINAGE, UTILITIES & LAN  
-1" & "C-2" (FUNCTIONAL OPEN SPACE & DRAINAGE), AND C  
"D-11" (NATURAL OPEN SPACE)  
PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 10, TOWN  
EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY,

**rainwater harvestin**

2500963  
RELATED CASES:  
2500142  
QV99951 [ (Q) 02-17 ]

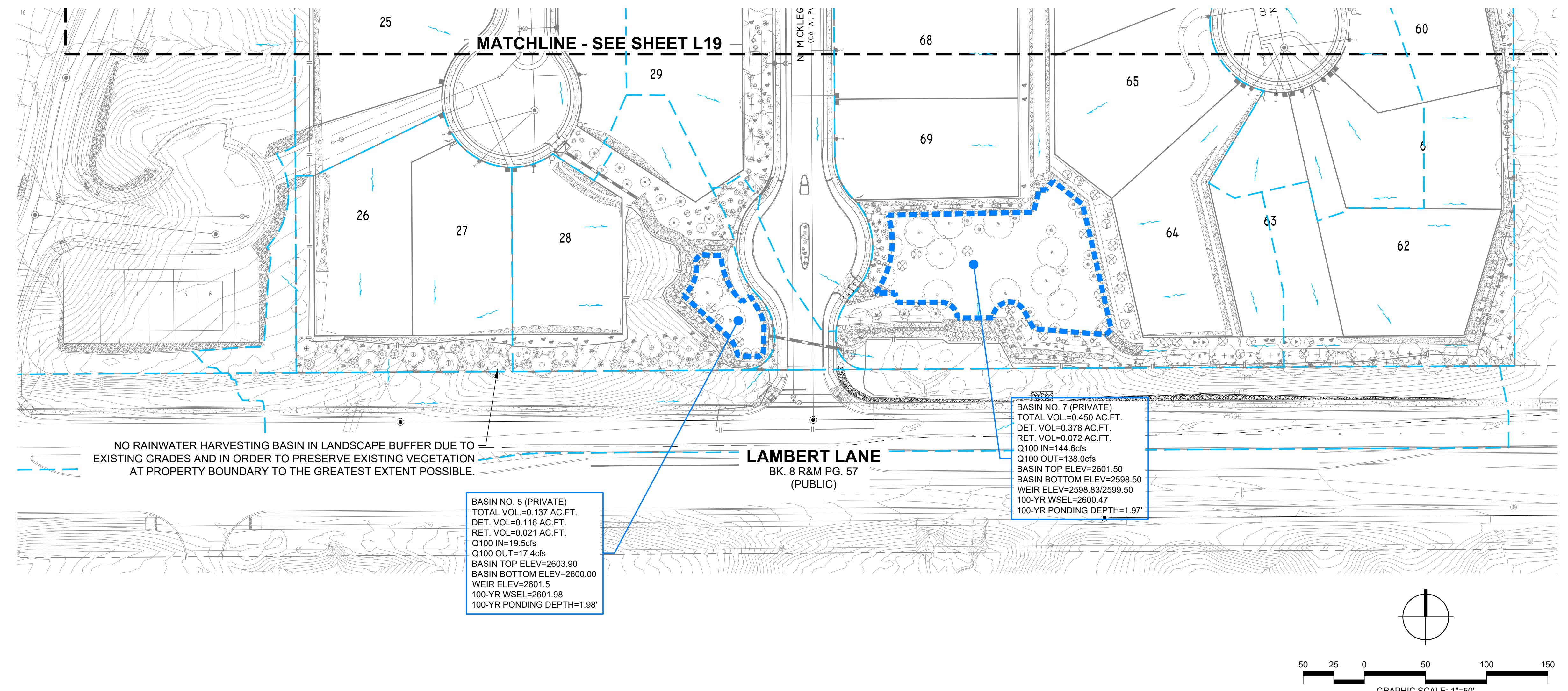
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SHEET NO. 19 OF 20

STREET NOV 1 1951



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