

PRELIMINARY PLAT
FOR
NORTH RIDGE ESTATES
#2502020

GENERAL NOTES

1. THE GROSS AREA OF THE SUBDIVISION IS 35.5 ACRES (1,546,825 SF).
2. GROSS DENSITY IS 0.8 RAC.
3. TOTAL MILES OF NEW PRIVATE STREETS IS 0.4 MILES.
4. ZONING IS R1-36 (GENERAL PLAN USE LDR-1) AND R1-20 (GENERAL PLAN USE MDR) PER THE NORTHBRIDGE REZONING CASE #2302611 AND GENERAL PLAN AMENDMENT CASE #2401295, AS APPROVED ON 1/21/2025. REZONING CONDITIONS ARE AS FOLLOWS:
 - A. LANDSCAPING CONSISTING OF BOULDERS, SHALLOW-ROOTED VEGETATION (E.G., CACTI, SHRUBS, ETC.), AND DECOMPOSED GRANITE SHALL BE PROVIDED BETWEEN THE PROPERTY LINE AND CLEAR ZONE. DECOMPOSED GRANITE SHALL BE REQUIRED IN THE CLEAR ZONE. BOULDERS AND VEGETATION TO BE PROVIDED AND POSITIONED IN A MANNER TO PREVENT PARKING OF VEHICLES SOUTH OF THE NEW MOORE ROAD SIDEWALKS ALONG THE FULL PROPERTY EDGE OF THE SUBDIVISION, AS DETERMINED BY THE PLANNING AND ZONING ADMINISTRATOR AND TOWN ENGINEER.
 - B. INSTALLATION OF FUTURE WALLS BY HOMEOWNERS SHALL BE OF THE SAME COLOR, FINISH, AND MATERIAL AS USED IN THE LA CAÑADA RIDGE SUBDIVISION. THIS REQUIREMENT SHALL BE INCLUDED IN THE SUBDIVISION'S COVENANTS, CONDITIONS, AND RESTRICTIONS.
5. TOTAL # OF PROPOSED LOTS IS 30.
6. MINIMUM LOT SIZE REQUIREMENTS PER TABLE 23-24 OF THE ORO VALLEY ZONING CODE ARE:
 - R1-20 MINIMUM 20,000 S.F.
 - R1-36 MINIMUM 36,000 S.F.
7. ALL LOTS ARE DESIGNED TO COMPLY WITH THE CRITERIA OUTLINED IN SECTION 27.10, ENVIRONMENTALLY SENSITIVE LANDS ("E.S.O.S."), OF THE ORO VALLEY ZONING CODE REVISED ("OVZCR"). SEE ALSO ENVIRONMENTALLY SENSITIVE LANDS ("E.S.O.S.") CALCULATIONS/CHART, SHEET #4.
8. MAXIMUM DISTURBANCE PER LOT PER THE NORTHSIDE ESTATES REZONING IS 19,705 S.F.; FOR PROPOSED DISTURBANCE/OPEN SPACE, SEE ENVIRONMENTALLY SENSITIVE LANDS ("E.S.O.S.") CALCULATIONS/CHARTS, SHEET #4.
9. PER LOT BUILDING SETBACKS ARE AS FOLLOWS:
 - R1-36 ZONE FRONT: 30', SIDE: 15', REAR: 40'
 - R1-20 ZONE FRONT: 30', SIDE: 15', REAR: 30'
10. MAXIMUM BUILDING HEIGHT FOR R1-36 AND R1-20 ZONES IS 18 FT.
11. 4 PARKING SPACES REQUIRED AND PROVIDED PER LOT (2 IN GARAGE, 2 IN DRIVEWAY).
12. ALL LOTS ARE DESIGNED TO MEET THE TANGERINE CORRIDOR OVERLAY DISTRICT (TRCDD) ZONE CRITERIA.
13. STREET DESIGN SPEED IS 25 MPH AND STREET DESIGN VEHICLE IS WB-40.
14. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
15. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
16. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
17. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
18. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.
19. ALL DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
20. DRAINAGEWAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGEWAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNER'S ASSOCIATION.
21. ALL DRAINAGE STRUCTURES AND DETENTION BASINS WILL BE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS PER THE FINAL PLAT.
22. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - i. INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
 - ii. NATIONAL ELECTRICAL CODE
 - iii. ADA STANDARDS FOR ACCESSIBLE DESIGN
 - iv. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
 - v. TOWN OF ORO VALLEY POOL CODE
 - vi. PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
 - vii. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
 - viii. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
 - ix. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
 - x. ORO VALLEY TOWN CODE, CURRENT REVISED
23. PRIOR TO ISSUANCE OF A BUILDING PERMIT, A FLOODPLAIN USE PERMIT IS REQUIRED FOR LOTS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 & 25.
24. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
25. FOR OPEN SPACE REQUIRED/PROVIDED, SEE ENVIRONMENTALLY SENSITIVE LANDS ("E.S.O.S.") CALCULATIONS/CHART, SHEET #4.
26. ALL SIGNAGE AND LIGHTING TO BE ADDRESSES AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
27. THE FOLLOWING TRAIL NOTES APPLY:
 - i. ALL TRAIL EASEMENTS INDICATED ARE FOR USE BY THE GENERAL PUBLIC AS PERMANENT, NON-MOTORIZED TRAIL EASEMENTS
 - ii. ALL PUBLIC TRAILS AND SIGNAGE MUST BE CONSTRUCTED BY THE DEVELOPER TO PIMA REGIONAL TRAIL SYSTEM MASTER PLAN STANDARDS IN CONSULTATION WITH THE TOWN PARKS AND RECREATION DEPARTMENT.
 - iii. TRAIL AND SIGN LOCATIONS MUST BE FIELD VERIFIED BY TOWN STAFF PRIOR TO CONSTRUCTION AND ARE SUBJECT TO ADJUSTMENT.
 - iv. TRAILS MUST BE POSITIONED IN A MANNER TO AVOID VEGETATION AND MINIMIZE POTENTIAL FOR EROSION.
 - v. FOR RESIDENTIAL DEVELOPMENTS, CONSTRUCTION OF ALL RECREATIONAL AMENITIES AND PUBLIC OR PRIVATE TRAILS WITHIN THE PROJECT LIMITS MUST BE COMPLETED BY THE TIME 35% OF BUILDING PERMITS ARE ISSUED PER SECTION 26.5 OF THE ZONING CODE.

PIMA COUNTY WASTEWATER SEWER NOTES

1. THE ON-SITE SANITARY SEWAGE COLLECTION LINES WILL BE PUBLIC AND DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS. ALL BUILDING CONNECTION SEWERS WILL BE PRIVATELY MAINTAINED.
2. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.

GOLDER RANCH FIRE NOTES

1. APPROVED FIRE APPAREATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1000 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 83,000 POUNDS.
3. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
4. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

BASIS OF BEARING

SOUTH 00°30'15" EAST, ACCORDING TO BOOK 64 OF MAPS AND PLATS AT PAGE 12 BETWEEN MONUMENTS FOUND ON THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER AS SHOWN ON THIS PLAT.

BASIS OF ELEVATION

PIMA COUNTY OPUS CONTROL POINT V17. NAVD88 ELEV=2876.54 1/2" REBAR SOUTH OF THE INTERSECTION OF MOORE ROAD AND KING ROAD.

ORO VALLEY WATER NOTES

1. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
2. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
3. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100-YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
4. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY PUBLIC WATER INFRASTRUCTURE CONSTRUCTION WORK COMMENCING FOR THIS PROJECT.
5. WATER INFRASTRUCTURE AS REPRESENTED ON THE PLAT IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE PUBLIC WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL PUBLIC WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE PUBLIC WATER IMPROVEMENT PLAN SUBMITTAL.

ORO VALLEY DRAINAGE NOTES

1. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED A MINIMUM OF ONCE EACH YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST.
2. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED PROFESSIONAL CIVIL ENGINEER A MINIMUM OF ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES PRESENTED IN THE APPROVED DRAINAGE REPORT. COPIES OF THE 5-YEAR-INTERVAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO TOWN UPON REQUEST. THE REPORTS SHALL IDENTIFY THE MAINTENANCE NEEDS FOR THE NEXT 5-YEAR PERIOD, INCLUDING THE ANTICIPATED ANNUAL COST OF MAINTENANCE AND REPAIR.

OWNER

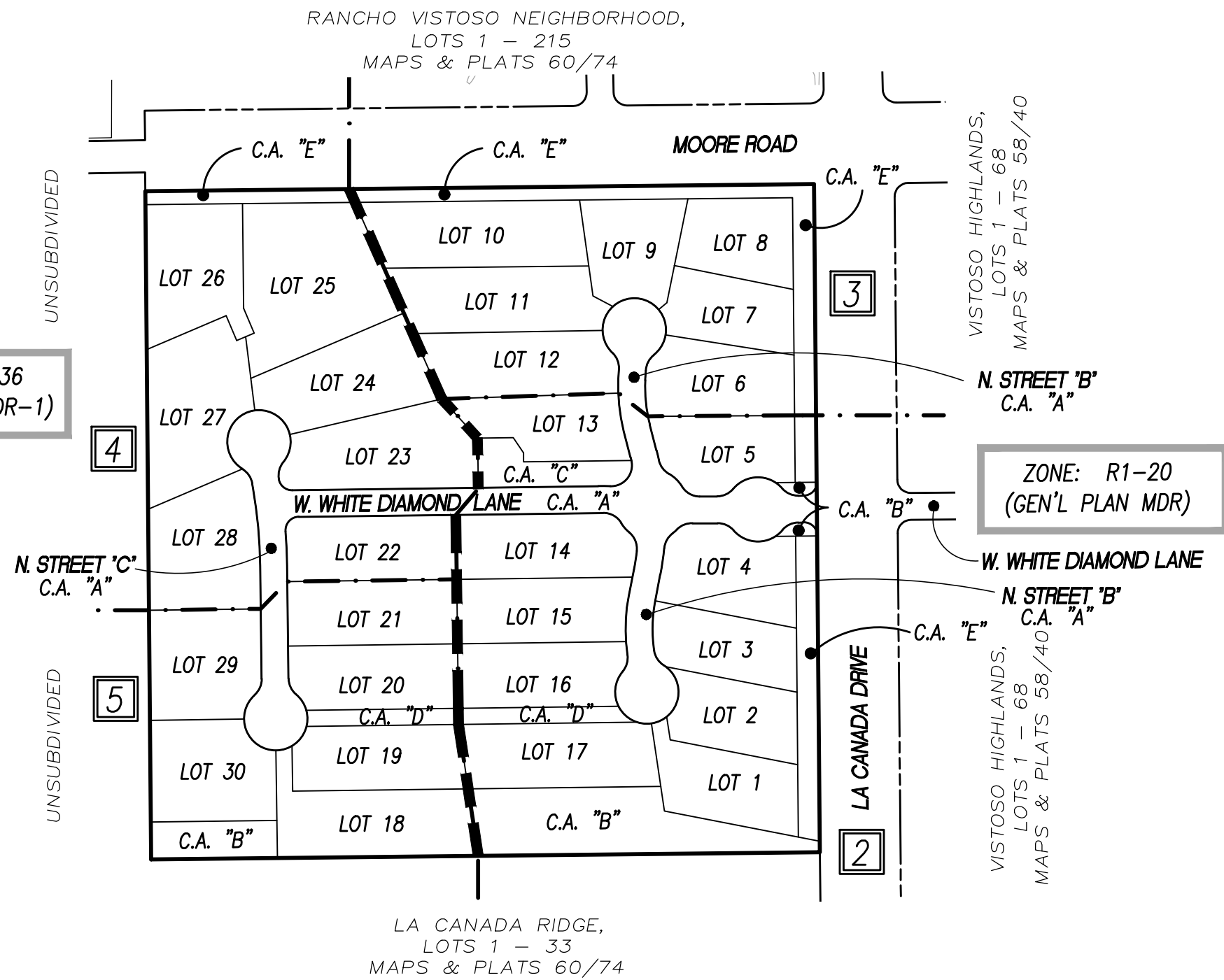
HOPSON D D H TREMONT
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PHONE: 520-241-6949, EMAIL: GREGHEWETT@OME.COM

DEVELOPER

INSIGHT HOMES, INC.
3561 E. SUNRISE DR. #201, TUCSON, AZ 85718
CONTACT: MIKE JONES
PHONE: 520-577-6688, EMAIL: MIKE@INSIGHTHOMES.COM

SHEET INDEX

SHEET 1	COVER SHEET, NOTES, SHEET/KEY MAP/ZONING BOUNDARY
SHEET 2	PLAN VIEW SHEET, CURVE TABLE
SHEET 3	PLAN VIEW SHEET
SHEET 4	PLAN VIEW SHEETS, ENVIRONMENTALLY SENSITIVE LAND (E.S.O.S.) CALCULATIONS/CHART
SHEET 5	PLAN VIEW SHEET, DETAILS



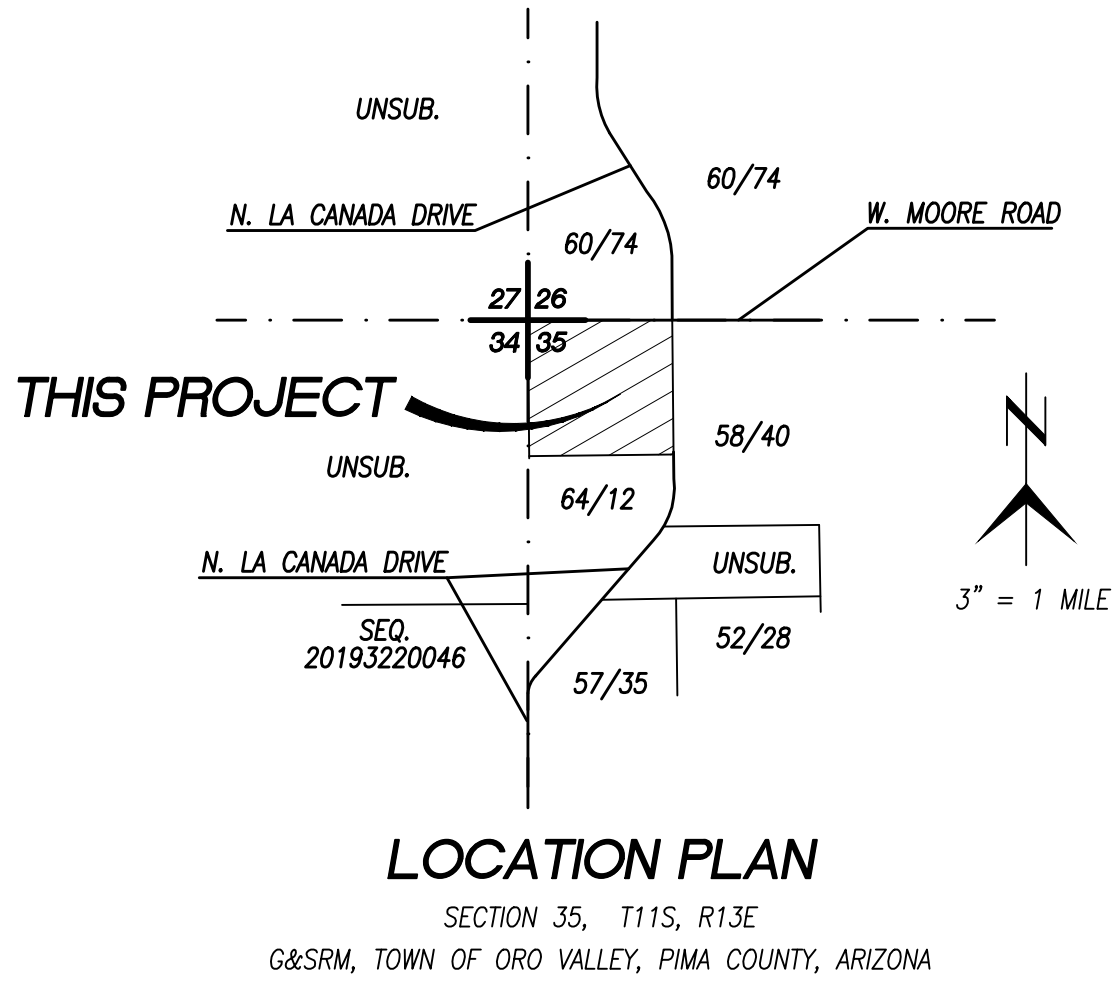
SHEET/KEY MAP

ZONING BOUNDARY

[Symbol] SHEET #

[Symbol] ZONING BOUNDARY

ORO VALLEY LANDSCAPE BUFFER YARDS								
BORDER LOCATION	BORDER TYPE	BUFFER	WIDTH	LENGTH	TREES REQUIRED	SHRUBS OR CACTUS REQUIRED	ACCENTS OR CACTUS REQUIRED	SCREENING
MOORE ROAD	COLLECTOR (NATURAL)	A	20	1204	0	0	0	NOT REQUIRED
LA CANADA ROAD	ARTERIAL (NATURAL)	B	40	1173	0	0	0	NOT REQUIRED
TOTAL AMOUNT OF LANDSCAPED COMMON AREAS (PORTIONS OF B, C, D): 103,214 SF								



LEGEND

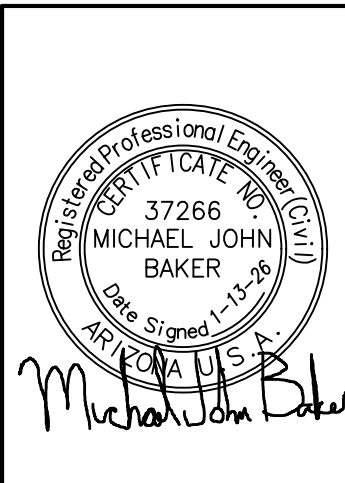
- SUBDIVISION BOUNDARY
- ROAD CENTERLINE
- FOUND CENTERLINE SURVEY MONUMENT AS SHOWN
- SURVEY MONUMENT TO BE SET
- FOUND/SET PROPERTY CORNER AS SHOWN
- EASEMENT LINE (SEE ALSO EASEMENT KEYNOTES CHARTS)
- PROPOSED PUBLIC SEWER/MANHOLE
- EXISTING PUBLIC SEWER/MANHOLE (APPROXIMATE LOCATION)
- PROPOSED WATER
- PROPOSED HYDRANT
- EXISTING WATER (APPROXIMATE LOCATION)
- EXISTING GAS (APPROXIMATE LOCATION)
- EXISTING OVERHEAD ELECTRIC (APPROXIMATE LOCATION)
- EXISTING UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
- ADDRESSING/ACCESS LOCATION
- SIGHT VISIBILITY TRIANGLE AREA (SEE EASEMENT "B" AND "B1" KEYNOTES FOR DIMENSIONS, ETC.)
- HANDICAP RAMP
- EXISTING CONTOURS
- NEW PAVEMENT
- EXISTING PAVEMENT
- DRAINAGE CONCENTRATION POINT
- 100 YEAR WATER SURFACE ELEVATION
- PRELIMINARY CENTERLINE SPOT GRADES
- PRELIMINARY FINISHED FLOOR ELEVATION
- DETAIL # SHEET #
- PRELIMINARY/GRAPHIC GRADING DISTURBANCE

ADMINISTRATIVE ADDRESS:

12701 N LA CANADA DR, TUCSON, AZ 85755

#2502020

REF: #2302611 (REZONING); #2401295 (GENERAL PLAN AMEND.); #2301772 (ANNEXATION/TRANSLATIONAL ZONING)



Baker & Associates Engineering, Inc.
3561 E. Sunrise Drive, Suite #225 Tucson, Arizona 85718 (520) 318-1950 Fax (520) 318-1930

SCALE:	DRAWN BY: JVA	1ST SUBM. DATE: 9/23/2025	DRAWING #	SHEET 1 of 5
HORIZ: 1"=N/A	DESIGNED BY: MJB	2ND SUBM. DATE: 1/13/2026	2637.1-OV-PP1.DWG	
C.I.: N/A	CHECKED BY: MJB	3RD SUBM. DATE:	PLAN # 2637.1	

HYDROLOGY LEGEND

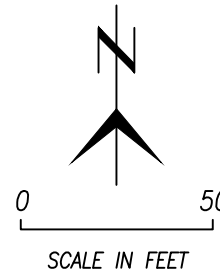
- 100 YEAR FLOODPRONE LINE ("F.P.L.")
- EROSION SETBACK LINE ("E.S.L.") - OFFSET 48' FROM BANK (SEE PLAN VIEW)

ENVIRONMENTAL SENSITIVE LAND

CRITICAL RESOURCE AREA KEYNOTE

- CRITICAL RESOURCE AREA ESOS LIMIT (CONSERVATION EASEMENT)

MATCHLINE - SEE SHEET #3



SHEET INDEX

NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENTS

- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 7 AND 8 BY FINAL PLAT
- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 10 AND 11 BY FINAL PLAT
- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 25 AND 26 BY FINAL PLAT

NEW EASEMENT KEYNOTES

- NEW 10' PUBLIC UTILITY, ROADWAY MAINTENANCE AND SIGNAGE EASEMENT TO BE GRANTED TO THE PUBLIC BY FINAL PLAT
- SIGHT VISIBILITY TRIANGLE AREA (ALL INTERIOR STREETS) TO BE GRANTED BY FINAL PLAT:
DIMENSIONS: 240' x 15' (NEAR); 190' x 15' (FAR)
- SIGHT VISIBILITY TRIANGLE AREA (LA CANADA DRIVE ONLY) TO BE GRANTED BY FINAL PLAT:
DIMENSIONS: 480' x 15' (NEAR); 370' x 15' (FAR)
- NEW 30' PUBLIC SEWER & WATER EASEMENT TO BE GRANTED BY FINAL PLAT
- NEW 20' PUBLIC SEWER EASEMENT TO BE GRANTED BY FINAL PLAT
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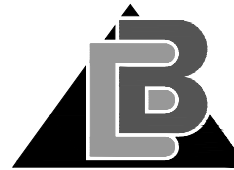
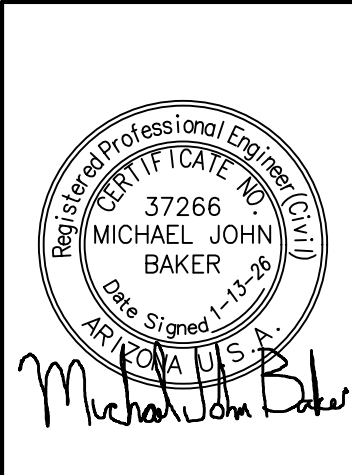
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH
C1	02°00'05"	952.12	33.26
C2	06°56'27"	952.12	115.34
C3	12°31'09"	455.45	99.52
C4	17°17'57"	300.00	90.58
C5	11°01'39"	500.00	96.23
C6	14°23'48"	500.00	125.63
C7	19°27'37"	300.00	101.89
C8	12°17'09"	464.98	99.70

CURVE TABLE

DET/RET BASIN #2 CHART	
TOTAL VOLUME	48,170 cu. ft.
Q100 VOLUME	35,730 cu. ft.
Q100 IN	42 cfs
Q100 OUT	10 cfs
TOP ELEVATION	2660 ft.
100 YR. W.S. ELEV.	2659.3 ft.
Q100 DEPTH	2.3 ft.
BOTTOM ELEVATION	2857 ft.

#2502020

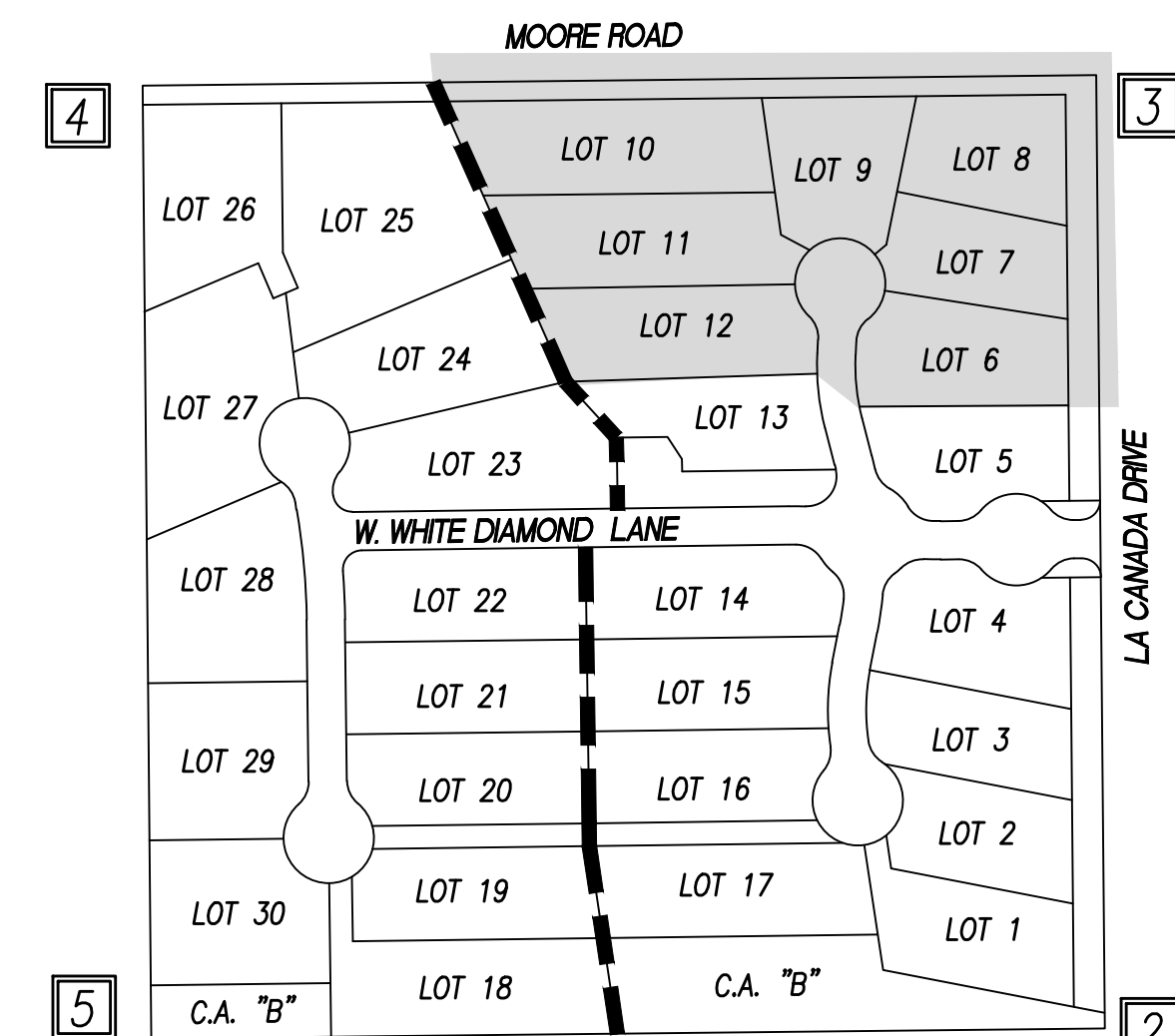
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PRELIMINARY PLAT for
NORTH RIDGE ESTATES-RESIDENTIAL LOTS 1-30
AND COMMON AREA "A" (PRIVATE STREETS), "B" (OPEN/DRAINAGE)
"C" (RECREATION), "D" (OPEN/DRAINAGE/UTILITY) AND "E" (OPEN SPACE)
BEING A DEVELOPMENT OF A PORTION OF THE NW 1/4 OF THE NW 1/4 OF
SECTION 35, T11S, R13E, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Baker & Associates Engineering, Inc.
3561 E. Sunrise Drive, Suite #225 Tucson, Arizona 85718 (520) 318-1950 Fax (520) 318-1930

SCALE: HORIZ: 1"=40' V: 1"=10'	DRAWN BY: JVA DESIGNED BY: MJB CHECKED BY: MJB	1ST SUBM. DATE: 9/23/2025 2ND SUBM. DATE: 1/13/2026 3RD SUBM. DATE:	DRAWING # 2637.1-OV-PP1.DWG PLAN # 2637.1	SHEET 2 of 5
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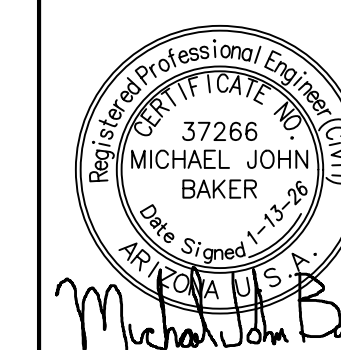


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3. NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 25 AND 26 BY FINAL PLAT

- (A) NEW 10' PUBLIC UTILITY, ROADWAY MAINTENANCE AND SIGNAGE EASEMENT TO BE GRANTED TO THE PUBLIC BY FINAL PLAT
- (B) SIGHT VISIBILITY TRIANGLE AREA (ALL INTERIOR STREETS) TO BE GRANTED BY FINAL PLAT:
DIMENSIONS: 240' x 15' (NEAR); 190' x 15' (FAR)
- (B1) SIGHT VISIBILITY TRIANGLE AREA (LA CANADA DRIVE ONLY) TO BE GRANTED BY FINAL PLAT:
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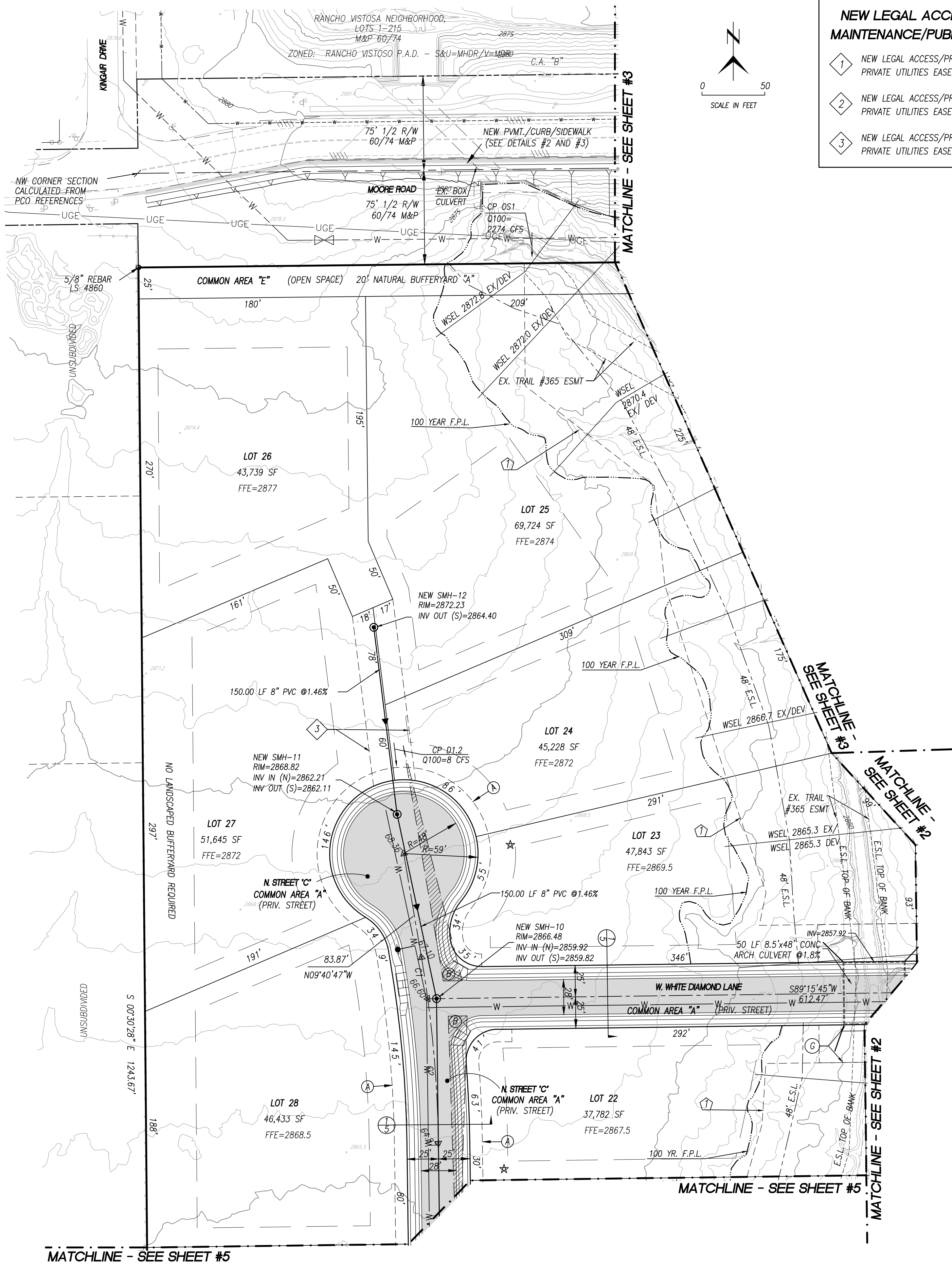
CRITICAL RESOURCE AREA ESOS LIMIT (CONSERVATION EASEMENT)

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 - - - - - EROSION SETBACK LINE ("E.S.L.") -
 OFFSET 48' FROM BANK (SEE PLAN VIEW)



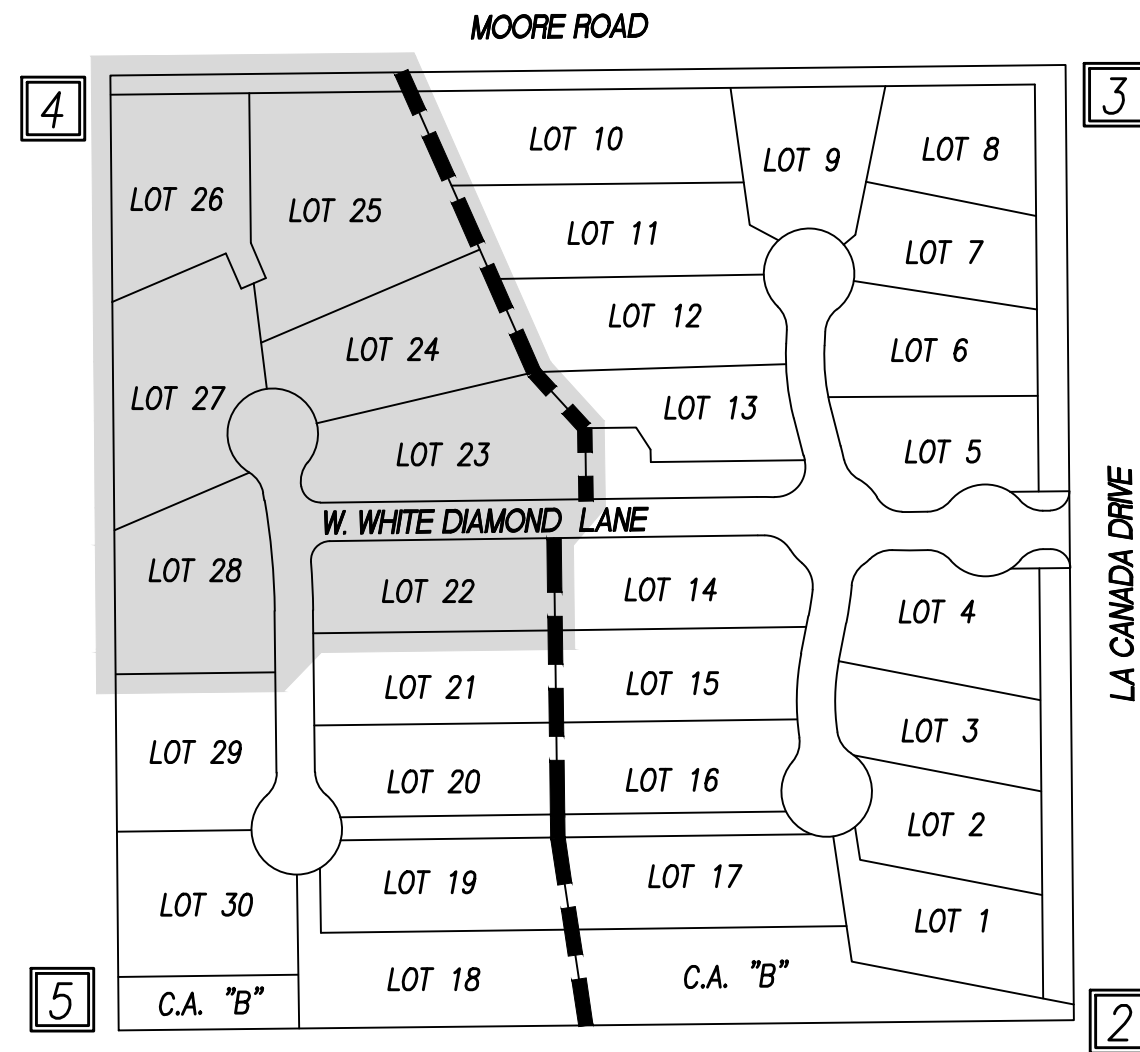
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HORIZ: 1"=40'	DESIGNED BY: MJB	2ND SUBM. DATE: 1/13/2026	2637.1-OV-PP1.DWG	
C.L.: 1'	CHECKED BY: MJB	3RD SUBM. DATE:	PLAN # 2637.1	



- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENTS**
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ENVIRONMENTALLY SENSITIVE LANDS ("E.S.O.S.") CALCULATIONS/CHARTS

REQUIRED OPEN SPACE PER REZONING SEC. III.C.1. CHART

CRITICAL RESOURCE AREA - OVER-ALL PROJECT

REQUIRED OPEN SPACE AREA - 3.6± ACRES

PROVIDED OPEN SPACE AREA - 3.6 ACRES
(ESOS ESMT. TO BE PROVIDED BY FINAL PLAT)

RESOURCE MGMT. TIER 1 (WEST OF WASH)

TOTAL REQUIRED OPEN SPACE AREA = 5.5± ACRES

PROVIDED OPEN SPACE AREA (ON-LOT) = 5.3 ACRES (SEE CHART BELOW)

PROVIDED OPEN SPACE AREA (PORTION OF OPEN SPACE/Common Area "E") = .2 ACRES

TOTAL PROVIDED OPEN SPACE AREA (ON-LOT PLUS PORTION OF COMMON AREA "E") = 5.5 ACRES

LOT #	GROSS AREA	CRITICAL RESOURCE WITHIN LOT	ESMT. DISTURB. ALLOWANCE	GROSS AREA MINUS CRITICAL RESOURCE/ESMT	MINIMUM OPEN SPACE ON-LOT
18	47,856 S.F.	16,984 S.F.	3,577 S.F. (B)	27,025 S.F.	8,761 S.F. *
19	37,580 S.F.	15,820 S.F.		21,760 S.F.	3,496 S.F. *
20	36,956 S.F.	12,853 S.F.		24,102 S.F.	5,838 S.F. *
21	37,817 S.F.	11,811 S.F.		26,006 S.F.	7,742 S.F. *
22	37,782 S.F.	7,593 S.F.	937 S.F. (B)	29,252 S.F.	10,998 S.F. *
23	47,843 S.F.	15,098 S.F.	2,210 S.F. (B)	30,535 S.F.	12,271 S.F. *
24	45,228 S.F.	12,789 S.F.		32,439 S.F.	14,175 S.F. *
25	69,724 S.F.	17,478 S.F.		52,246 S.F.	33,982 S.F. *
26	43,739 S.F.	N/A		43,739 S.F.	25,475 S.F. *
27	51,647 S.F.	N/A		51,647 S.F.	33,383 S.F. *
28	46,433 S.F.	N/A		46,433 S.F.	28,169 S.F. *
29	41,304 S.F.	N/A		41,304 S.F.	23,040 S.F. *
30	41,530 S.F.	N/A	525 S.F. (B)	41,005 S.F.	22,741 S.F. *

* FINAL CONFIGURATION OF MAXIMUM DISTURBANCE AREA (18,264 S.F. PER MAXIMUM) WILL BE DETERMINED/DELINEATED AT THE TIME OF INDIVIDUAL BUILDING PERMIT

RESOURCE MGMT. TIER 2 (EAST OF WASH)

TOTAL REQUIRED OPEN SPACE AREA = 7.8± ACRES

PROVIDED OPEN SPACE AREA (ON-LOT) = 6.0 ACRES (SEE CHART BELOW)

PROVIDED OPEN SPACE AREA (RECREATION/Common Area "C") = .4 ACRES

PROVIDED OPEN SPACE AREA (PORTION OF OPEN SPACE/Common Area "E") = 1.5 ACRES

TOTAL PROVIDED OPEN SPACE AREA (ON-LOT PLUS COMMON AREA "C" AND A PORTION OF COMMON AREA "E") = 7.9 ACRES

LOT #	GROSS AREA	CRITICAL RESOURCE WITHIN LOT	ESMT. DISTURB. ALLOWANCE	GROSS AREA MINUS CRITICAL RESOURCE/ESMT	MINIMUM OPEN SPACE ON-LOT
1	35,780 S.F.	N/A		35,780 S.F.	16,075 S.F. **
2	31,171 S.F.	N/A		31,171 S.F.	11,466 S.F. **
3	31,504 S.F.	N/A		31,504 S.F.	11,799 S.F. **
4	38,819 S.F.	N/A		38,819 S.F.	19,114 S.F. **
5	33,446 S.F.	N/A		33,446 S.F.	13,741 S.F. **
6	38,904 S.F.	N/A		38,904 S.F.	19,199 S.F. **
7	29,795 S.F.	N/A		29,795 S.F.	10,090 S.F. **
8	30,982 S.F.	N/A		30,982 S.F.	11,277 S.F. **
9	32,222 S.F.	N/A		32,222 S.F.	12,517 S.F. **
10	49,172 S.F.	9,923 S.F.	302 S.F. (A)	38,947 S.F.	19,242 S.F. **
11	45,090 S.F.	8,686 S.F.		36,404 S.F.	16,699 S.F. **
12	41,488 S.F.	5,443 S.F.		36,045 S.F.	16,340 S.F. **
13	32,284 S.F.	1,297 S.F.		30,987 S.F.	11,282 S.F. **
14	38,838 S.F.	4,023 S.F.	1,162 S.F. (B)	33,653 S.F.	13,948 S.F. **
15	38,054 S.F.	5,222 S.F.		32,832 S.F.	23,127 S.F. **
16	36,469 S.F.	3,650 S.F.		32,819 S.F.	13,114 S.F. **
17	42,909 S.F.	2,730 S.F.		40,179 S.F.	20,474 S.F. **

** FINAL CONFIGURATION OF MAXIMUM DISTURBANCE AREA (19,705 S.F. PER LOT MAXIMUM) WILL BE DETERMINED/DELINEATED AT THE TIME OF INDIVIDUAL BUILDING PERMIT

ENVIRONMENTAL SENSITIVE LAND

CRITICAL RESOURCE AREA KEYNOTE

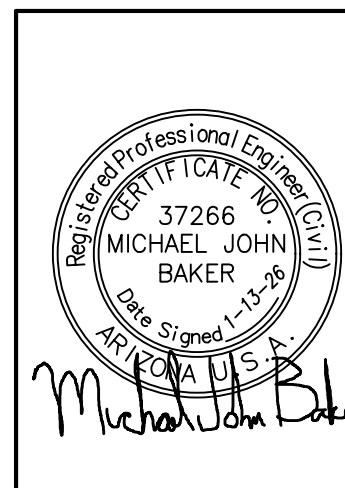
- 1 CRITICAL RESOURCE AREA ESOS LIMIT (CONSERVATION EASEMENT)

HYDROLOGY LEGEND

- 100 YEAR FLOODPRONE LINE ("F.P.L.")
- EROSION SETBACK LINE ("E.S.L.") - OFFSET 48' FROM BANK (SEE PLAN VIEW)

#2502020

REF: #2302611 (REZONING); #2401295 (GENERAL PLAN AMEND.); #2301772 (ANNEXATION/TRANSLATIONAL ZONING)



PRELIMINARY PLAT for
NORTH RIDGE ESTATES-RESIDENTIAL LOTS 1-30
AND COMMON AREA "A" (PRIVATE STREETS), "B" (OPEN/DRAINAGE)
"C" (RECREATION), "D" (OPEN/DRAINAGE/UTILITY) AND "E" (OPEN SPACE)
BEING A DEVELOPMENT OF A PORTION OF THE NW 1/4 OF THE NW 1/4 OF
SECTION 35, T11S, R13E, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

Baker & Associates Engineering, Inc.
3561 E. Sunrise Drive, Suite #225 Tucson, Arizona 85718 (520) 318-1950 Fax (520) 318-1930

SCALE: HORIZ: 1"=40' VERT: 1"=10'	DRAWN BY: JVA DESIGNED BY: MJB CHECKED BY: MJB	1ST SUBM. DATE: 9/23/2025 2ND SUBM. DATE: 1/13/2026 3RD SUBM. DATE:	DRAWING # 2637-1-OV-PP1.DWG PLAN # 2637.1	SHEET 4 of 5
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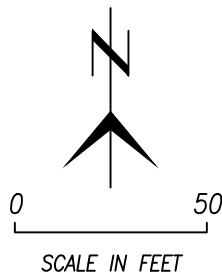
HYDROLOGY LEGEND

100 YEAR FLOODPRONE LINE ("F.P.L.")
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OFFSET 48' FROM BANK (SEE PLAN VIEW)

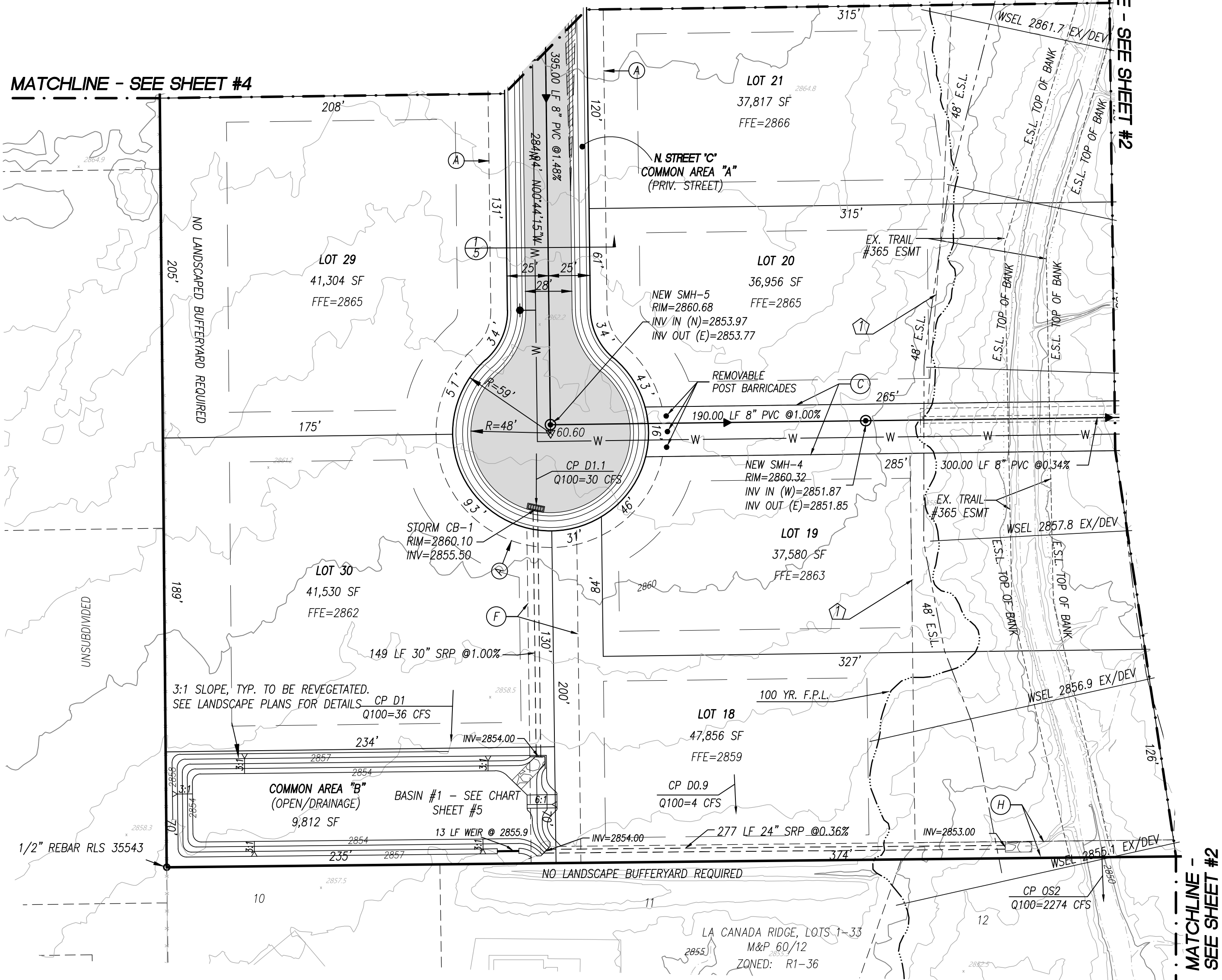
ENVIRONMENTAL SENSITIVE LAND

CRITICAL RESOURCE AREA KEYNOTE

CRITICAL RESOURCE AREA ESOS LIMIT (CONSERVATION
EASEMENT)

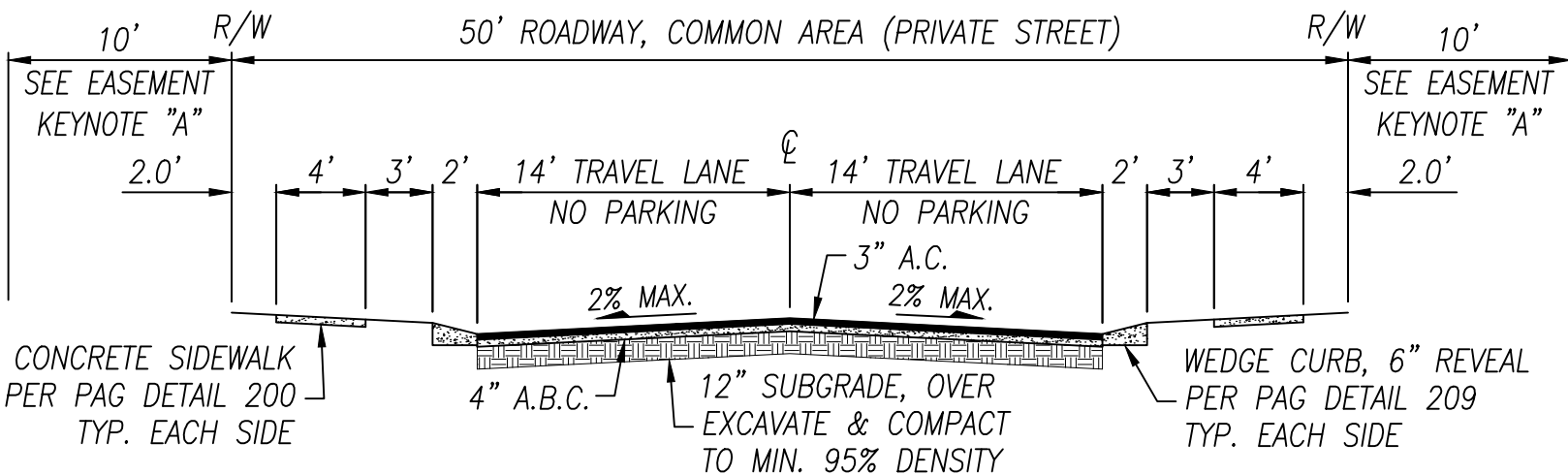


MATCHLINE - SEE SHEET #4

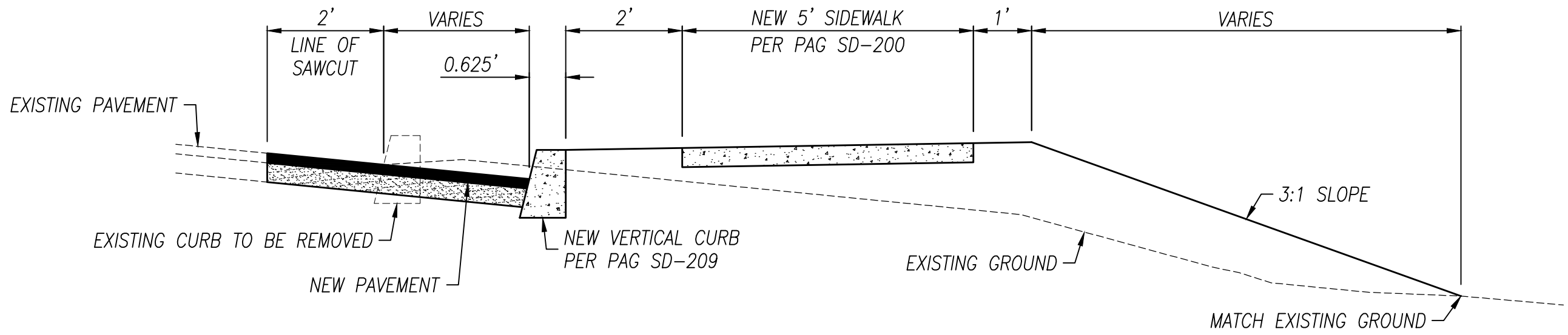


MATCHLINE - SEE SHEET #2

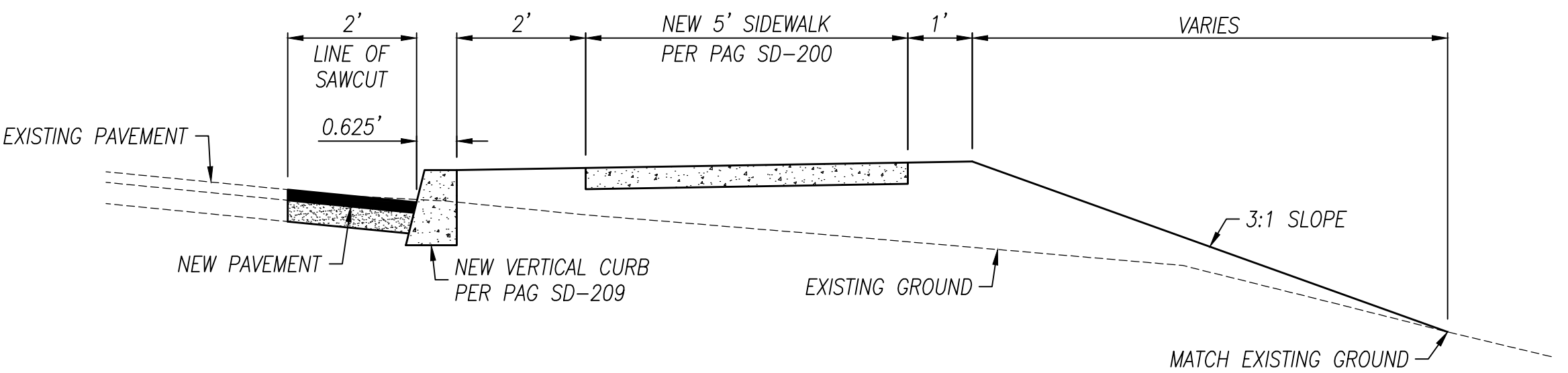
MATCHLINE -
SEE SHEET #2



1 TYPICAL PRIVATE 50' ROADWAY X-SECTION



2 MOORE ROAD (OFFSITE) X-SECTION "A"



3 MOORE ROAD (OFFSITE) X-SECTION "B"

DET/RET BASIN #1 CHART	
TOTAL VOLUME	32,170 cu. ft.
Q100 VOLUME	18,700 cu. ft.
Q100 IN	39 cfs
Q100 OUT	24 cfs
TOP ELEVATION	2657 ft.
100 YR. W.S. ELEV.	2655.9 ft.
Q100 DEPTH	1.9 ft.
BOTTOM ELEVATION	2854 ft.

NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND
MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENTS

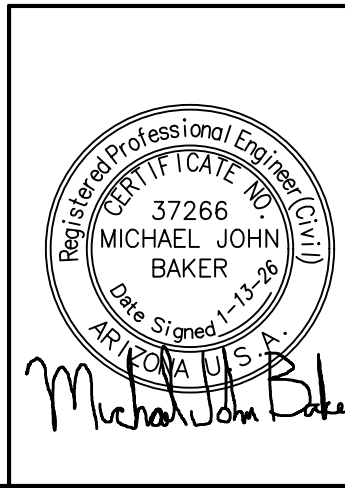
- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 7 AND 8 BY FINAL PLAT
- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 10 AND 11 BY FINAL PLAT
- NEW LEGAL ACCESS/PRIVATE DRIVEWAY ACCESS AND MAINTENANCE/PUBLIC AND PRIVATE UTILITIES EASEMENT TO BE GRANTED TO LOTS 25 AND 26 BY FINAL PLAT

NEW EASEMENT KEYNOTES

- NEW 10' PUBLIC UTILITY, ROADWAY MAINTENANCE AND SIGNAGE EASEMENT TO BE GRANTED TO THE PUBLIC BY FINAL PLAT
- SIGHT VISIBILITY TRIANGLE AREA (ALL INTERIOR STREETS) TO BE GRANTED BY FINAL PLAT:
DIMENSIONS: 240' x 15' (NEAR); 190' x 15' (FAR)
- SIGHT VISIBILITY TRIANGLE AREA (LA CANADA DRIVE ONLY) TO BE GRANTED BY FINAL PLAT:
DIMENSIONS: 480' x 15' (NEAR); 370' x 15' (FAR)
- NEW 30' PUBLIC SEWER & WATER EASEMENT TO BE GRANTED BY FINAL PLAT
- NEW 20' PUBLIC SEWER EASEMENT TO BE GRANTED BY FINAL PLAT
- NEW 20' PUBLIC WATER EASEMENT TO BE GRANTED BY FINAL PLAT
- NEW 30' (TOTAL) PRIVATE DRAINAGE & MAINTENANCE EASEMENT (15' EACH SIDE) TO BE GRANTED BY FINAL PLAT
- NEW 30' PRIVATE DRAINAGE & MAINTENANCE EASEMENT TO BE GRANTED BY FINAL PLAT
- NEW 10' PRIVATE DRAINAGE & MAINTENANCE EASEMENT TO BE GRANTED BY FINAL PLAT

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