

GENERAL NOTES

1. THE GROSS AREA OF THIS DEVELOPMENT IS 9.63 ACRES (419,467 S.F.)
2. THE GROSS AREA OF THE MASTER DEVELOPMENT IS 13.93 ACRES (606,754 S.F.)
3. RESIDENTIAL AREA 63,892 S.F.(49.7%) + COMMERCIAL AREA 64,715 S.F.(50.3%) = 128,607 S.F. SEE CALCS ON SHEET 2.
4. FLOOR AREA RATION (FAR) IS (128,607/606,754) = 21%
5. GROSS AREA OF ALL IMPERVIOUS SURFACES (I.E. BUILDINGS, ASPHALT, HARDSCAPE) = 6.79 ACRES (295,760 S.F.)
6. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
7. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
8. ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT WILL BE A CONDITION OF DEVELOPMENT (SEE SHEET 2 OV12-06-25B).
9. THERE ARE NO ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, A 30' BUFFERYARD IS REQUIRED ALONG THE EAST BOUNDARY LINE PER ORACLE ROAD SCENIC ROAD CORRIDOR OVERLAY DISTRICT (ORSCOD).
10. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWED BUILDING HEIGHT FOR THIS DEVELOPMENT IS 18 FEET.
2. THE PROPOSED BUILDING HEIGHT IS 17.66 FEET.
3. THE TOTAL AMOUNT OF OPEN SPACE REQUIRED FOR ORACLE VISTA CENTER DEVELOPMENT IS 25% (153,045 S.F.).
4. THE TOTAL AMOUNT OF OPEN SPACE PROVIDED WITHIN THIS PROJECT IS 188,236 S.F. (30.8%)
5. THE TOTAL AMOUNT OF LANDSCAPED AREA WITHIN THIS PROJECT IS 104,315 S.F.
6. LANDSCAPE BUFFERYARDS (B) FOR THIS PROJECT ARE:
  - NORTH (DESERT SKY ROAD) = 20'
  - EAST (ORACLE ROAD) = 30'
  - WEST (R-4) = 40'
  - SOUTH (LINDA VISTA ROAD) = 20'
7. THE BUILDING SETBACKS FOR THIS PROJECT ARE: NORTH = 30', EAST = 25', WEST = 25', SOUTH = 25'.
8. EXISTING ZONING IS C-N.
9. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO A FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE, REVISED. SECTION 27.3.
10. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS A PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE APPROVED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. MATERIALS WITHIN THE SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OR THE ROADWAY SURFACE.
5. FINAL SITE PLANS AND IMPROVEMENT PLANS MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE BEFORE ANY WATER INFRASTRUCTURE WORK BEGINS.
4. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
5. ALL FIRE SERVICES SHALL HAVE A BACKFLOW DEVICE INSTALLED ON THEM.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE NEEDED UPON REVIEW OF THE WATER IMPROVEMENT PLAN.

GENERAL UTILITY GENERAL NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED THROUGHOUT ALL GROUP A, B, E, F, H, I, M, E, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT EXISTING SYSTEM.
6. ACCESS GATES WILL BE EQUIPPED WITH OPTICOM BY TOMAR FOR AUTOMATIC FIRE OPERATION WITH A FIRE KNOX KEY AS A BACKUP. FIRE DISTRICT CODE WILL BE PROGRAMMED INTO GATE PUNCH PAD.

DRAINAGE GENERAL NOTES

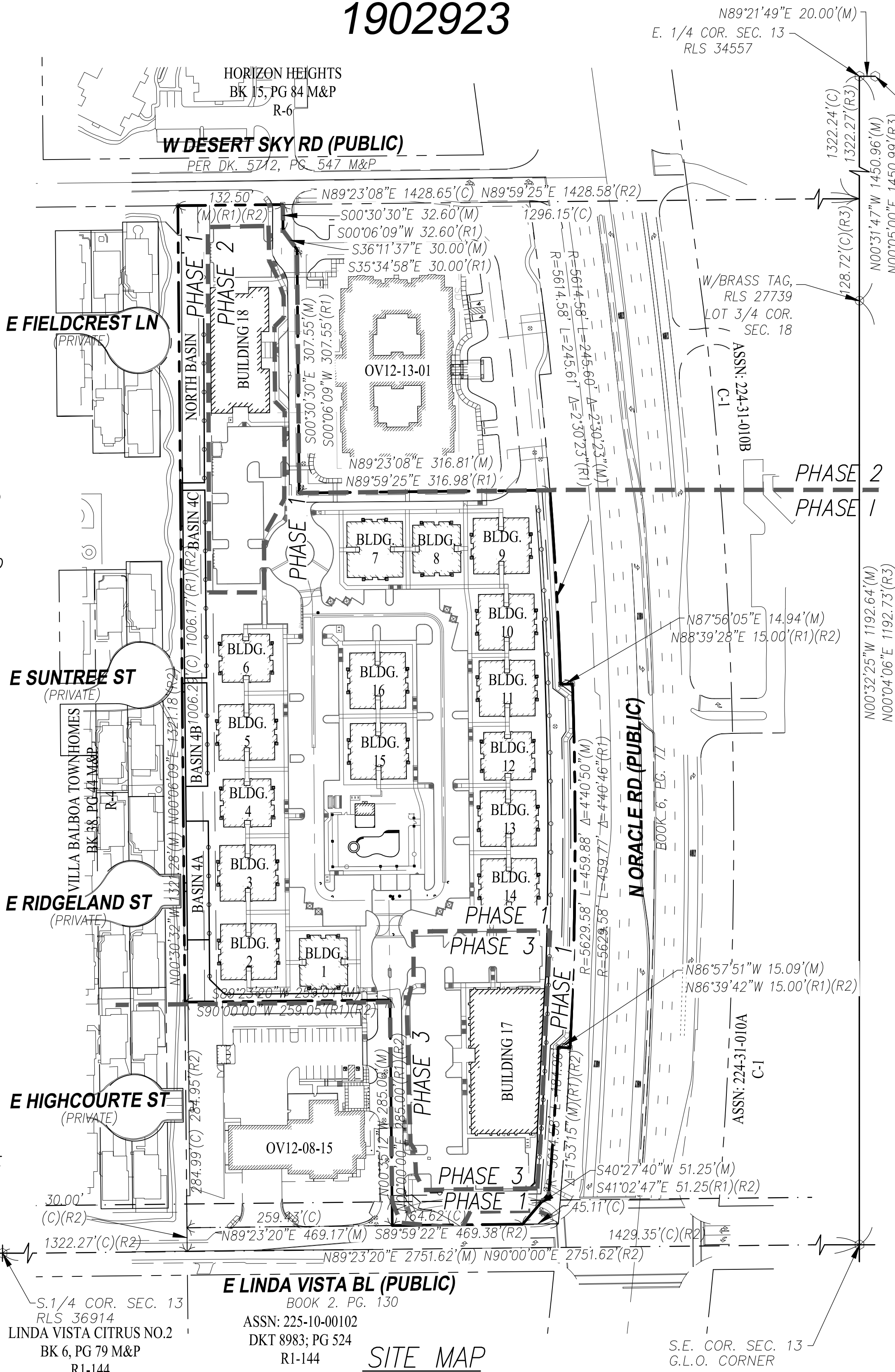
1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
2. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATIONS.
3. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
4. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
5. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED A MINIMUM OF ONCE EACH YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST.
6. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED CIVIL ENGINEER A MINIMUM OF ONCE EACH FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE 5-YEAR ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST. THE REPORT SHALL IDENTIFY THE MAINTENANCE NEEDS FOR THE NEXT 5-YEAR PERIOD, INCLUDING ANTICIPATED ANNUAL COSTS OF MAINTENANCE AND REPAIR.

PAD/LOT NUMBER	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQ.	PROV.	REQ.	PROV.		REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
COMM. NORTH	COMM.	10,891 SF	SEE BELOW	49	49	2	2	1/100,000	1	1	.3	1	3	4
APTS.	APTS.	N/A	SEE BELOW	123	123	5	12	N/A	N/A	N/A	0	0	7	14
COMM. SOUTH	COMM.	16,135 SF	SEE BELOW	73	73	3	4	1/100,000	1	1	.4	1	4	6

APARTMENT (BLDG 1-16)	(5x4 units)	1.5 SPACES/1 BEDROOM UNIT = 30
PARKING RATIO CALCULATIONS	(11x4 units)	1.75 SPACES/2 BEDROOM UNIT = 77
GUEST PARKING REQUIRED		1.0 SPACE/4 UNITS = 16
		TOTAL PARKING REQUIRED = 123

SOUTH COMMERCIAL (BLDG 17)	4.5 SPACES/1,000 S.F. = 73
PARKING RATIO CALCULATIONS	TOTAL PARKING REQUIRED = 73
NORTH COMMERCIAL (BLDG 18)	4.5 SPACES/1,000 S.F. = 49
PARKING RATIO CALCULATIONS	TOTAL PARKING REQUIRED = 49

FINAL SITE AND IMPROVEMENT PLAN  
LINDA VISTA LUXURY RENTALS  
1902923



SITE MAP

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND SHALL BE APPLICABLE TO THIS DEVELOPMENT:
  - 2018 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
  - 2011 NATIONAL ELECTRIC CODE
  - 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY ACT
  - 2018 GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
  - 2012 TOWN OF ORO VALLEY POOL CODE
  - 2015 PC/CPT STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
  - 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
  - 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
  - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
  - ORO VALLEY TOWN CODE, CURRENT REVISED
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

BASIS OF BEARING

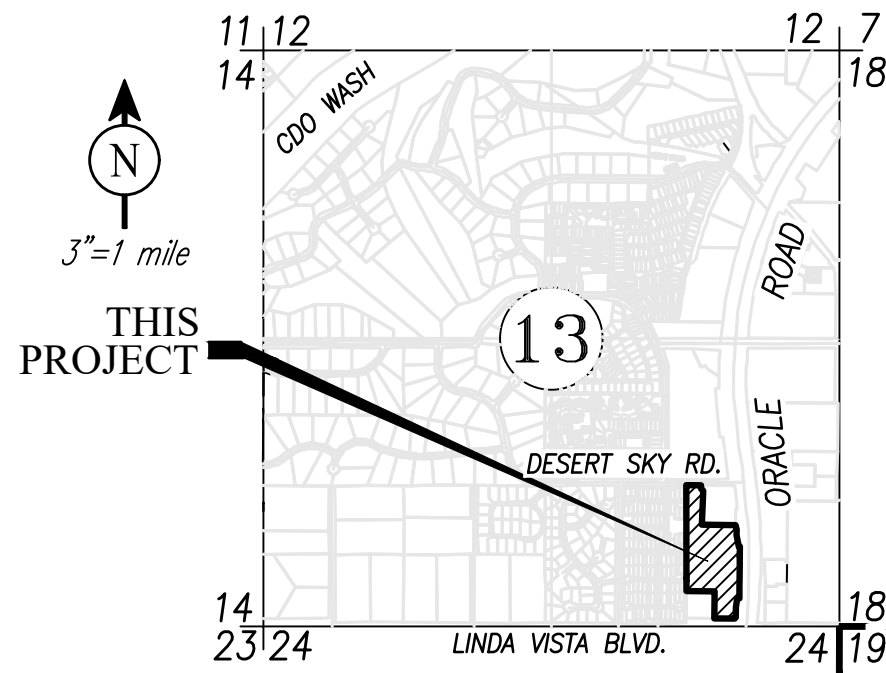
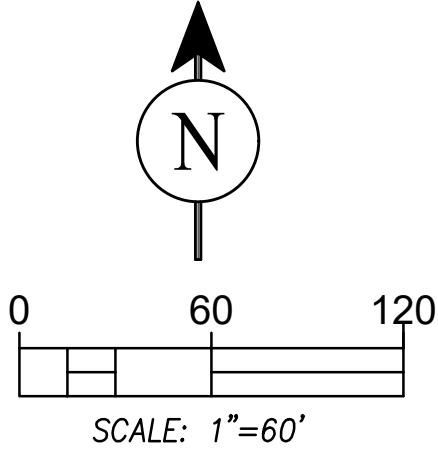
THE BASIS OF BEARING FOR THIS PROJECT IS BASED ON THE SOUTH SECTION LINE OF SECTION 13 AS MEASURED BETWEEN THE SOUTH 1/4 CORNER OF SECTION 13, BEING A BRASS CAPPED SURVEY MONUMENT, RLS 36914, AND THE SOUTHEAST CORNER OF SECTION 13, BEING A 3" BRASS G.L.O. MONUMENT. SAID BEARING IS NORTH 89° 23' 20" EAST

BASIS OF ELEVATION

THE BASIS OF ELEVATION FOR THIS PROJECT ARE BASED ON N.G.S. CONTROL POINT "NN-127" (PID # A11932). SAID ELEVATION IS 2648.88, NAVD88, PER TOWN OF ORO VALLEY DEVELOPMENT PLANS FOR THE GOLDER RANCH FIRE STATION, PLAN No. OV12-08-15, DATED 07/09/2009.

SURVEY INFORMATION

SURVEY DATA PROVIDED BY PERRY ENGINEERING, RECORD OF SURVEY DATED 09-19-19. PE JOB # 19036



LOCATION MAP

A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ

LEGEND

- 21.53 → PROPOSED SPOT ELEVATION (AS NOTED)
- D.F. DRAINAGE FLOW ARROWS DRAINAGE
- FOUND SURVEY MONUMENT AS NOTED
- FND. IRON ROD
- DISCHARGE POINT
- SLOPE INDICATOR
- EXISTING TOPO CONTOUR
- PROPOSED TOPO CONTOUR
- PROPERTY BOUNDARY
- EXISTING RIGHT OF WAY
- EASEMENT AS NOTED
- STREET CENTERLINE
- 2630.72 PROP. CONDITION WATER SURFACE ELEV.
- PROP. STORM DRAIN PIPE AS NOTED
- EXISTING UNDER GROUND ELECTRIC
- EXISTING WATER LINE AND VALVE
- EXISTING SEWER LINE AND MANHOLE
- EXISTING OVER HEAD ELECTRIC & POWER POLE
- EXISTING FENCE
- NEW BARRICADE RAILING
- EXISTING ELECTRIC PEDESTAL/TRANSFORMER
- EXISTING TELEPHONE/CABLE TV
- EXISTING EDGE OF PAVEMENT
- NEW LIGHT DUTY AC PAVEMENT
- NEW HEAVY DUTY AC PAVEMENT
- HANDPLACED ROCK RIPRAP
- GROUTED ROCK RIPRAP SPLASH PAD
- NEW CONCRETE
- EXISTING CONCRETE
- SIGHT VISIBILITY TRIANGLE
- 9 PARKING SPACE COUNTS (SEE SHEET 6-8)
- PROPOSED HYDRANT
- NEW COVERED PARKING / RAMADA
- NEW FULLY SCREENED MECHANICAL EQUIPMENT PER ARCH PLANS.

OWNER

MILLER L.L.C.  
TITLE SECURITY AGENCY  
TRUST 201427-T  
2410 E CAMINO LA ZORRELA  
TUCSON, AZ 85718

DEVELOPER

AERIE DEVELOPMENT  
6300 E. EL DORADO CIRCLE, SUITE B150  
TUCSON, AZ 85715  
SCOTT RATHBUN  
(520) 904-8327  
scott@aeriedev.com

ENGINEER

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501 WEST WETMORE ROAD  
TUCSON, AZ 85705  
CONTACT: KEN PERRY, P.E.  
PHONE: 520-620-9870  
EMAIL: kperry@perryengineering.net

LANDSCAPE ARCHITECT

THE PLANNING CENTER  
2 E CONGRESS STREET  
STE. 600  
TUCSON, AZ 85701  
CONTACT: DANIEL BRADSHAW, PLA  
PHONE: 520-623-6146

APPROVALS:

ORO VALLEY TOWN ENGINEER	DATE
ORO VALLEY PLANNING & ZONING ADMINISTRATOR	DATE
ORO VALLEY WATER UTILITY DIRECTOR	DATE

SHEET INDEX:

- 1 .....COVER SHEET & NOTES
- 2 .....REZONING CONDITIONS & NOTES
- 3 - 5 .....SITE AND PAVING PLANS
- 6 - 8 .....DIMENSIONAL PLANS
- 9 - 11.....GRADING PLANS
- 12 - 14.....UTILITY PLANS
- 15 - 17.....STORM SEWER PROFILES
- 18 - 19.....CONSTRUCTION DETAILS

REFERENCE CASE #'s:  
OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

1902923

PROJECT IS LOCATED IN

A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ

FINAL SITE AND IMPROVEMENT PLAN

COVER SHEET AND NOTES

LINDA VISTA LUXURY RENTALS

ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704

DESIGN BY: DB

DRAWN BY: DB

CHK'D BY: GV,KP

DATE: 11/11/2020

PE JOB NUMBER: 19036

CONTOUR INTERVAL:

SCALE: 1" = 100'

SHEET NO.

USE OF THE INFORMATION CONTAINED WITHIN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY PERRY ENGINEERING, L.L.C. PERRY ENGINEERING, L.L.C. SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

34010 KENNETH PERRY  
DATE: 11/11/20  
ARIZONA, U.S.A.

1 of 19



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REZONING CONDITIONS

AS NOTED ON ORACLE VISTA CENTER, 0V12-06-25B

1. COMPLETION OF THE FOLLOWING REQUIREMENTS FOR A REZONING ORDINANCE WITHIN THE TIME FRAME SPECIFIED HEREIN FROM THE DATE OF APPROVAL BY THE TOWN COUNCIL.
2. SUBMITTAL OF A COMPLETE HYDRAULIC AND HYDROLOGIC DRAINAGE REPORT.
3. SUBMITTAL OF A DEVELOPMENT PLAN AND/OR RECORDATION OF A FINAL PLAT AS NECESSARY BY THE APPROPRIATE TOWN DEPARTMENTS.
4. A SUITABLE ARRANGEMENT WITH PIMA COUNTY HEALTH DEPARTMENT OR PIMA COUNTY WASTEWATER MANAGEMENT FOR SEWAGE DISPOSAL.
5. RECORDING A COVENANT HOLDING THE TOWN OF ORO VALLEY HARMLESS IN THE EVENT OF FLOODING.
6. PROVISION OF DEVELOPMENT RELATED ASSURANCES AS REQUIRED BY THE APPROPRIATE TOWN DEPARTMENTS.
7. RECORDING A COVENANT TO REMOVE ONLY THAT VEGETATION THAT IS NECESSARY FOR BUILDING PADS AND ACCESSORY USES AND THE NECESSARY ROADS AND DRIVEWAYS AND TO SALVAGE ALL HEALTHY PALO VERDE, MESQUITE, IRONWOOD, SAGUAROS AND BARREL CACTI FOR ON-SITE LANDSCAPING PURPOSES.
8. RECORDING ANY OTHER DEVELOPMENT RELAXED COVENANTS AS DETERMINED NECESSARY BY THE APPROPRIATE TOWN DEPARTMENTS.
9. ROADS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE TOWN OF ORO VALLEY STANDARDS.
10. LANDSCAPING TO CONSIST OF LOW WATER USE AND LOW POLLEN PRODUCING VEGETATION.
11. ADHERENCE TO THE TENTATIVE DEVELOPMENT PLAN AND ASSOCIATED CONDITIONS APPROVED BY THE ORO VALLEY TOWN COUNCIL.
12. SIGNIFICANT CHANGE TO THE TENTATIVE DEVELOPMENT PLAN OR CONDITIONS OF REZONING, AS DEFINED BY SEC. 3-104B, SHALL REQUIRE RE-REVIEW BY THE PLANNING COMMISSION AND TOWN COUNCIL IN ACCORDANCE WITH CHAPTER 3 OF THE ORO VALLEY ZONING CODE REVISED.
13. THE RELOCATION AND/OR EXTENSION OF UTILITIES PURSUANT TO THE DEVELOPMENT OR REDEVELOPMENT OF THE SUBJECT PARCEL WILL BE AT NO COST TO THE TOWN OF ORO VALLEY.
14. DEDICATION OF PUBLIC RIGHTS-OF-WAY THROUGH PLAT RECORDATION IN ACCORDANCE WITH CURRENT TOWN ORDINANCES.
15. POSTING DEVELOPMENT OPPORTUNITY ASSESSMENTS (DOAS) IN AN APPROVED FORM AS DETERMINED NECESSARY BY THE APPROPRIATE TOWN DEPARTMENTS.
16. SUBMITTAL OF A TRAFFIC IMPACT ANALYSIS IN ACCORDANCE WITH SEC. 9-110 N, UNLESS MODIFIED BY THE TOWN ENGINEER AND ZONING ADMINISTRATOR.
17. COMPLETION OF THE REQUIREMENTS FOR A ZONING ORDINANCE WITHIN 2 YEARS FROM THE DATE OF APPROVAL BY THE TOWN COUNCIL, WHICH SHALL INCLUDE APPROVAL OF A DEVELOPMENT PLAN FOR THE PROJECT, ISSUANCE OF A BUILDING PERMIT FOR AT LEAST ONE STRUCTURE ON THIS SITE, AND COMMENCEMENT OF THE CONSTRUCTION ON THAT STRUCTURE, OR SUBSTANTIAL COMPLETION OF THE WATERMAIN TO SERVE THE SITE. IF THESE REQUIREMENTS ARE NOT MET, THE C-N ZONING ON THIS PARCEL SHALL EXPIRE, WITHOUT FURTHER LEGISLATIVE ACTION, AND SAID ZONING SHALL REVERT TO ITS FORMER R1-144.
18. ALL CONDITIONS WHICH REQUIRE REVISIONS TO THE TENTATIVE DEVELOPMENT PLAN AND/OR SITE ANALYSIS MUST BE COMPLETED WITHIN 30 DAYS OF THE REZONING APPROVAL AND COPIES SUBMITTED TO THE PLANNING AND ZONING ADMINISTRATOR FOR THE FILE.
19. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ON-SITE AND OFF-SITE IMPROVEMENTS ASSOCIATED WITH THE DEVELOPMENT OF THIS PROPERTY.
20. THE SIDEWALK ON THE NORTH, EAST AND SOUTH SIDES OF THE SITE SHALL BE DESIGNATED TO MEET ADA STANDARDS, AND A PEDESTRIAN ACCESS EASEMENT PROVIDED.
21. THE DEVELOPMENT SHALL DEDICATE 30' RIGHT-OF-WAY TO THE TOWN FOR LINDA VISTA BOULEVARD. THIS SHALL INCLUDE IMPROVEMENTS FOR A MULTI-USE LAND AND HORSE TRAIL, AS NOTED ON THE TOP.
22. THE DEVELOPMENT SHALL IMPROVE BOTH LINDA VISTA BOULEVARD AND DESERT SKY TO ACCOMMODATE THE TRAFFIC GENERATED FROM THIS DEVELOPMENT.
23. LINDA VISTA WILL BE WIDENED TO THE SITE'S DRIVEWAY INITIALLY. FURTHER WIDENING TO THE WEST PROPERTY LINE WILL OCCUR AT THE TIME THAT A TRAFFIC STUDY WARRANTS THE NEED. THE PROPERTY OWNER WILL PROVIDE FINANCIAL ASSURANCES TO THE TOWN FOR COMPLETION OF THE FUTURE WIDENING.
24. ADOT APPROVAL OF THE TRAFFIC IMPACT REPORT SHALL BE SUBMITTED PRIOR TO THE PROJECT BEING SUBMITTED FOR DRB.
25. ADOT APPROVAL OF THE IMPROVEMENTS TO ORACLE ROAD AND THE ACCESS POINTS ON ORACLE ROAD SHALL BE SUBMITTED PRIOR TO THE APPROVAL OF THE IMPROVEMENT PLANS FOR THIS PROJECT.
26. THE DEVELOPER WILL BE REQUIRED TO SUBMIT A PERMIT APPLICATION FOR THE USE OF ADOT RIGHT-OF-WAY FOR THE PROPOSED LAND USE. IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO MEET ANY REQUIREMENTS WITHIN ADOT RIGHT-OF-WAY AS A RESULT OF THE DEVELOPMENT.
27. EXTERIOR LIGHTING SHALL COMPLY WITH THE TOWN'S OUTDOOR LIGHTING PROVISIONS FOUND IN SECTION 27.5, OUTDOOR LIGHTING, OF THE ZONING CODE.
28. ALL BUILDINGS SHALL BE LIMITED TO ONE-STORY, 18' IN HEIGHT, IN ORDER TO MINIMIZE THE IMPACT ON VIEWS.
29. ALL BUILDINGS AND SITE SIGNAGE SHALL BE CONSISTENT IN DESIGN AND COLOR. ALL SIGNAGE MUST BE UNIFORM IN COPPER PATINA COLOR.
30. THERE SHALL BE NO CONVENIENCE USES, AS DEFINED IN THE ORO VALLEY ZONING CODE REVISED, PERMITTED ON THIS SITE.

ENGINEER'S NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLANS.
2. "BLUE STAKE" LOCATES ONLY UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS. CONTRACTOR SHALL PROVIDE OTHER MEANS OF ON-SITE UTILITY LOCATION.
3. ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE A BID ACCORDINGLY.
4. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ESTIMATES, BIDS, CONSTRUCTION, OR OTHER ACTIONS OR DECISIONS MADE WHICH HAVE BEEN MADE ON PRELIMINARY OR UNAPPROVED PLANS.
5. THE CONTRACTOR ON-SITE SHALL CONFORM TO PAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS OTHERWISE NOTED ON THE APPROVED PLANS OR SPECIFICATIONS. THE CONTRACTOR SHALL COMPLY WITH A.D.A. REQUIREMENTS RELATING TO CONSTRUCTION AT ALL TIMES.
6. ANY ALTERATIONS OR ADDITIONS TO THESE PLANS MUST BE APPROVED BY THE UNDERSIGNED REGISTERED PROFESSIONAL ENGINEER.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THE GEOTECHNICAL REPORT FOR THIS PROJECT. INCLUDING ALL ADDENDUMS AND SUPPLEMENTS ISSUES, AND FOLLOW ALL THE RECOMMENDATION THEREIN. GEOTECHNICAL REPORT FURNISHED BY PATTISON ENGINEERING, LLC, INC., DATED NOVEMBER 12, 2019, PROJECT NUMBER 19-150.
9. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
10. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM THE TOWN OF ORO VALLEY BEFORE BEGINNING ANY WORK ON THIS PROJECT.
11. SITE DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS PLAN.
12. A COPY OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
13. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES IN SERVICE. THE CONTRACTOR SHALL CALL "BLUE STAKE" CENTER AT 745-2211, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATIONS OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
14. PARCEL DIMENSIONS, REFERENCE BEARINGS AND BENCHMARKS, TOPOGRAPHY AND CULTURE DATA ARE TAKEN FROM THE RECORD OF SURVEY COMMISSIONED FOR THIS PROJECT. THE SUBJECT DOCUMENT WAS PREPARED BY PERRY ENGINEERING AND DATED ON 19 SEPT 2019.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PAG SSPI, EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
2. ALL WORK SHALL BE IN CONFORMANCE WITH CURRENT GRADING STANDARDS AND SPECIFICATIONS OF THE TOWN OF ORO VALLEY.
3. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PAG SSPI, SECTION 203-5.
4. AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI/ SECTION 303.
5. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI/ SECTION 406 MIX #2.
6. ALL CONCRETE SHALL CONFORM TO PAG SSPI, SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
7. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES OR DURING CONSTRUCTION.
8. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATION.
9. CONTRACTOR SHALL CALL BLUE STAKE (ARIZONA 811) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
11. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
12. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES/CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
14. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE NOR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
  - A. WALL(S), RETAINING OR OTHER TYPE(S).
  - B. ANY REINFORCED CONCRETE STRUCTURE(S).
  - C. ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE.
15. THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK, WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS, OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
16. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION, AND CONSTRUCTION DUST CONTROL. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
17. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE SURVEYOR. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH SUBGRADE AS DESIGNED BY THE ENGINEER.
18. THE SOILS ENGINEER SHALL OBSERVE, INSPECT, AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL.
19. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
20. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE, OR DESIGN, INDICATED ON THE PLANS, BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE, OR DESIGN PROBLEM AT LEAST FORTY-EIGHT HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
21. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS, AS APPLICABLE), TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC., FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENROACHING OR AFFECTING-DIRECTLY OR INDIRECTLY-ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS (OR) ON THIS PLAT.

GROSS SITE AREA:	606,754 SF (13.93 AC)
• FIRE STATION: PARCEL 224-31011F	73,897 SF (1.70 AC)
• MEMORY CARE: PARCEL 224-31-011H	113,390 SF (2.60 AC)
• LUXURY APARTMENTS: PORTION OF PARCEL 224-31-011G	299,141 SF (6.87 AC)
• NEW COMMERCIAL SOUTH: PORTION OF PARCEL 224-31-011G	65,434 SF (1.50 AC)
• NEW COMMERCIAL NORTH: PORTION OF PARCEL 224-31-011G	54,892 SF (1.26 AC)

GROSS BUILDING AREA:	128,607 SF
• FIRE STATION:	10,089 SF
• MEMORY CARE:	27,600 SF
• LUXURY APARTMENTS:	63,892 SF
• NEW COMMERCIAL SOUTH:	16,135 SF
• NEW COMMERCIAL NORTH:	10,891 SF

- MAXIMUM PERCENTAGE RESIDENTIAL FLOOR AREA AND GROSS SITE AREA OF THE OVERALL DEVELOPMENT (SECTION 23.8B): 50%
- PROVIDED RESIDENTIAL FLOOR AREA: 63,892 / 128,607 = 49.7%
- PROVIDED RESIDENTIAL SITE AREA: 299,141 / 606,754 = 49.3%

22. THE PROFESSIONAL ENGINEER OF RECORD SHALL CERTIFY, IN WRITING, THAT ALL IMPROVEMENTS, WHETHER PRIVATE OR PUBLIC, HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS, IN WRITING, ARE TO BE RECEIVED BY THE TOWN ENGINEER, OR THE TOWN OF ORO VALLEY, PRIOR TO THE REQUEST FOR ANY BUILDING PERMITS, FINAL INSPECTION, AND/OR RELEASE OF ASSURANCES.
23. THE TOWN ENGINEER, UPON RECEIPT OF ALL NECESSARY CERTIFICATIONS AS OUTLINED ON THE IMPROVEMENT PLANS AND FINAL PLAT, WILL PERFORM A FIELD REVIEW OF THE DEVELOPMENT. FIELD CONDITIONS, DESIGN OVERSIGHTS, ETC., MAY REQUIRE ADDITIONAL WORK AND/OR IMPROVEMENTS AS A RESULT OF SAID REVIEW.
24. ALL EASEMENTS MUST BE ACQUIRED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
25. ALL PAVEMENT MARKINGS SHALL CONFORM TO PIMA COUNTY / CITY OF TUCSON (PC/COT) STANDARDS AND SPECIFICATIONS.
26. THE CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER, WATER AND OTHER UTILITY ELEVATIONS AND ALIGNMENTS PRIOR TO CONSTRUCTION, POT-HOLING IF NECESSARY.
27. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF A GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PATTISON ENGINEERING, LLC, DATED NOVEMBER 12, 2019, THEIR PROJECT NUMBER 19-150. EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS MADE THERETO.
28. UPON COMPLETION OF THE PROJECT:
  - A. THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE PROJECT CIVIL ENGINEER OF RECORD WRITTEN AND SEALED PROFESSIONAL ENGINEER CERTIFICATION THAT THE EARTHWORK GRADING (INCLUDING BUILDING PADS AND ROADWAY SUBGRADE), PAVING, AND MATERIALS HAVE BEEN INSTALLED AND CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED REPORTS, PLANS AND SPECIFICATIONS.
  - B. THE CONTRACTOR SHALL PROVIDE A SET OF REDLINED "AS-BUILT" PLANS TO THE PROJECT CIVIL ENGINEER OF RECORD WHICH SHOW OMITTED, MOVED, ALTERED, OR ADDED FEATURES THAT OCCURRED DURING CONSTRUCTION.
  - C. THE SURVEYOR WHO PERFORMED THE CONSTRUCTION STAKING SHALL PREPARE AS-BUILTS PLANS SHOWING SPOT GRADES OF FINISHED CONSTRUCTION, INVERTS, RIM ELEVATIONS, UTILITY VERTICAL AND HORIZONTAL, PAD ELEVATIONS, AND SLOPES AND SHALL PROVIDE WRITTEN AND RLS SEALED CERTIFICATION OF LINE AND GRADE AND THE THAT THE PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND PROVIDE THOSE TO THE PROJECT CIVIL ENGINEER OF RECORD.

USE OF THE INFORMATION CONTAINED WITHIN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY PERRY ENGINEERING, LLC. PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

DESIGN BY: DB

DRAWN BY: DB

CHK'D BY: GV,KP

DATE: 11/11/2020

PE JOB NUMBER: 19036

CONTOUR INTERVAL:

SCALE: NONE

SHEET NO.

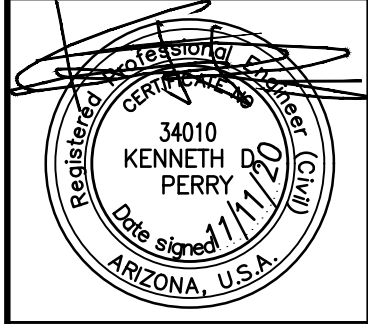
PROJECT TITLE  
LINDA VISTA LUXURY RENTALS

ADDRESS: 9845 N. ORACLE ROAD, ORO VALLEY AZ 85704

PROJECT IS LOCATED IN  
A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ

FINAL SITE AND IMPROVEMENT PLAN  
SHEET TITLE

REZONING CONDITIONS AND NOTES



PERRY  
ENGINEERING  
501 W WETMORE RD.  
TUCSON, AZ 85705  
CONTACT: KEN PERRY, P.E.  
520-620-9870  
kperry@perryengineering.net

REFERENCE CASE #'s:  
0V12-06-25B  
0V12-18-15  
0V12-13-01  
0V9-99-15  
1900612

1902923

2 of 19

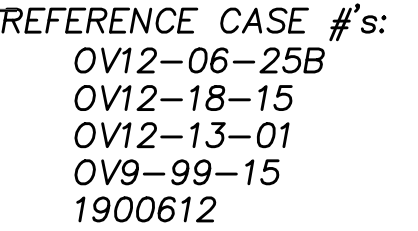
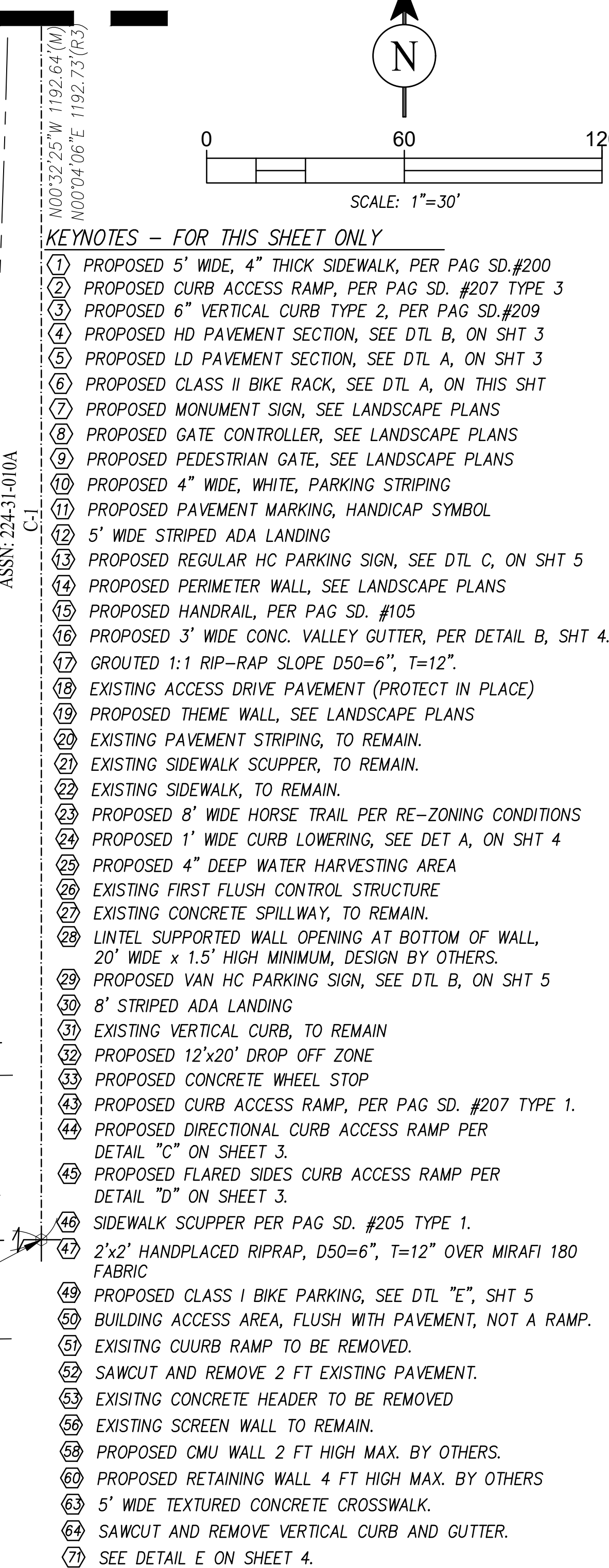




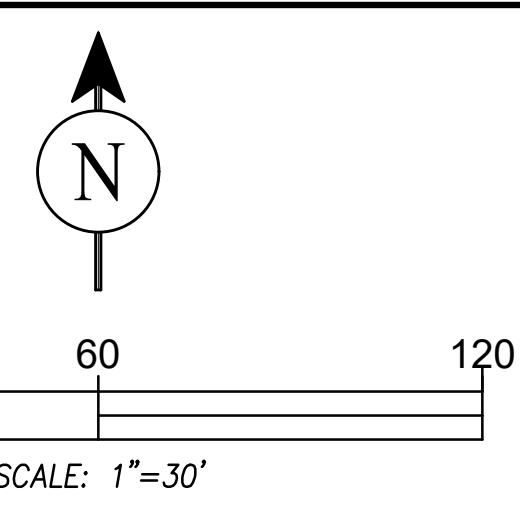
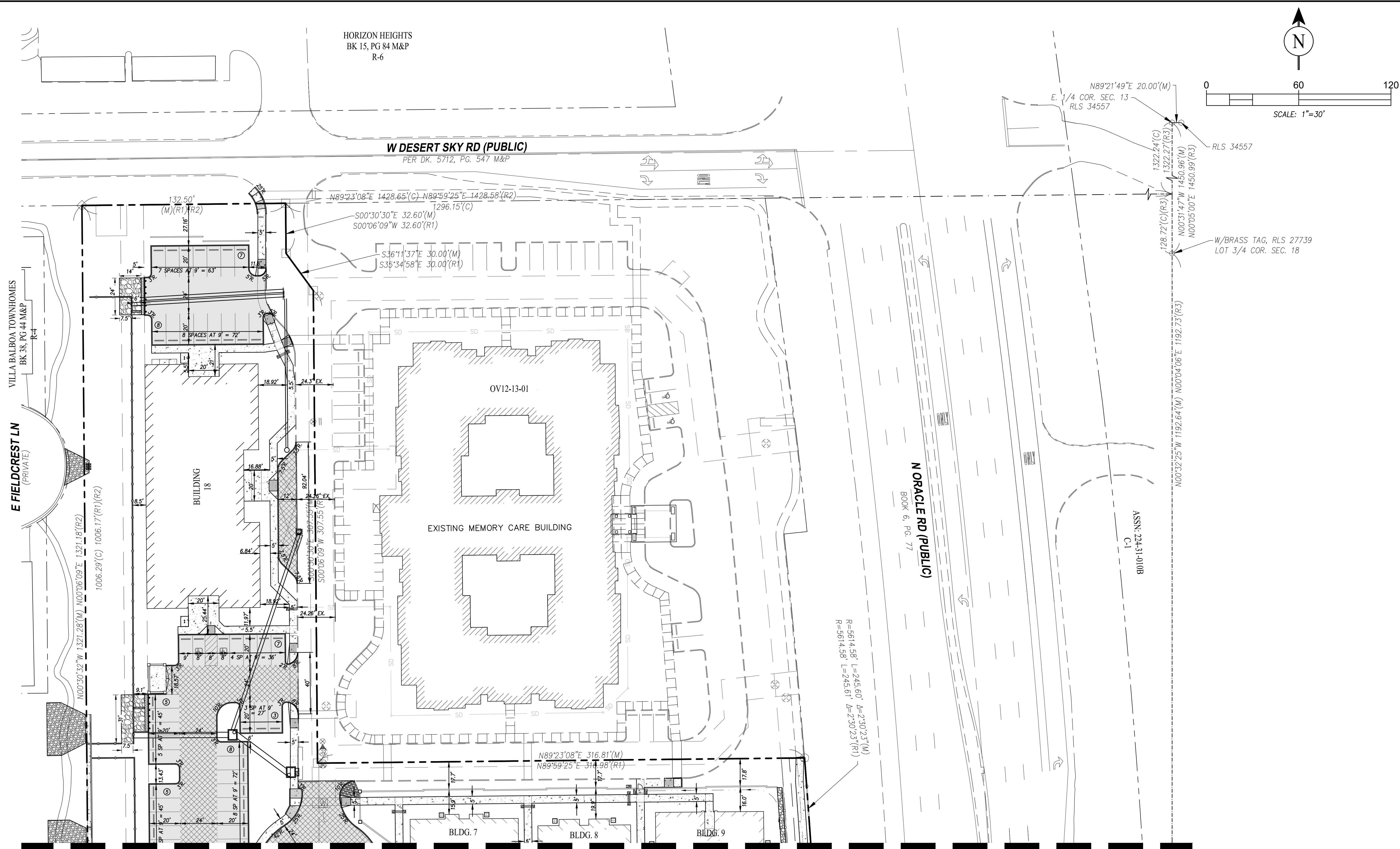












GENERAL MARKING (STRIPING) NOTES:

1. ALL PAVEMENT MARKINGS SHALL CONFORM TO PIMA COUNTY/CITY OF TUCSON (PC/COT) STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL CLEAN THE PAVEMENT SURFACE TO THE SATISFACTION OF THE ENGINEER OR REPRESENTATIVE BY SWEEPING AND AIR-JET BLOWING IMMEDIATELY PRIOR TO THE PLACEMENT OF ALL PAVEMENT MARKINGS. THE TEMPERATURE SHALL NOT BE LESS THAN 50 DEGREES FAHRENHEIT FOR THE PLACEMENT OF THERMOPLASTIC STRIPING AND 40 DEGREES FAHRENHEIT FOR THE PLACEMENT OF RPMS.
3. THE PAVEMENT MARKING DRAWINGS ARE SCHEMATIC ONLY. THE CONTRACTOR SHALL FOLLOW ALL DIMENSIONS, DETAILS AND STANDARDS WHEN INSTALLING PAVEMENT STRIPING, MARKINGS AND RPMS

DIMENSION NOTES:

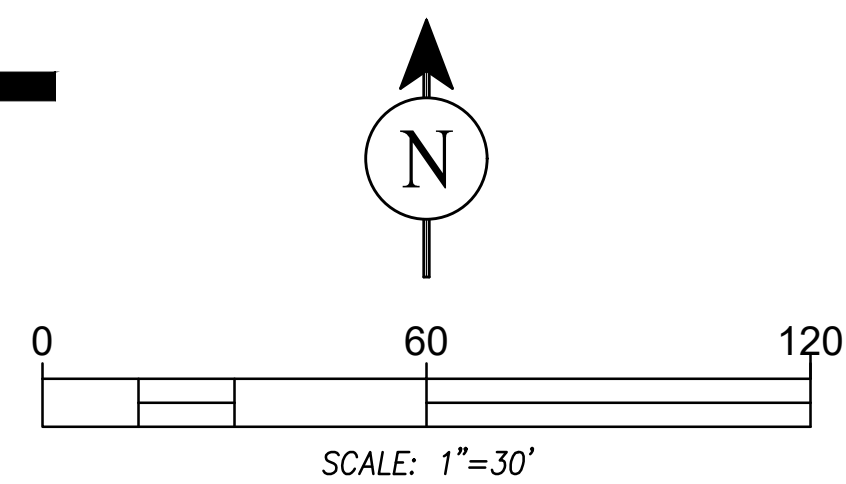
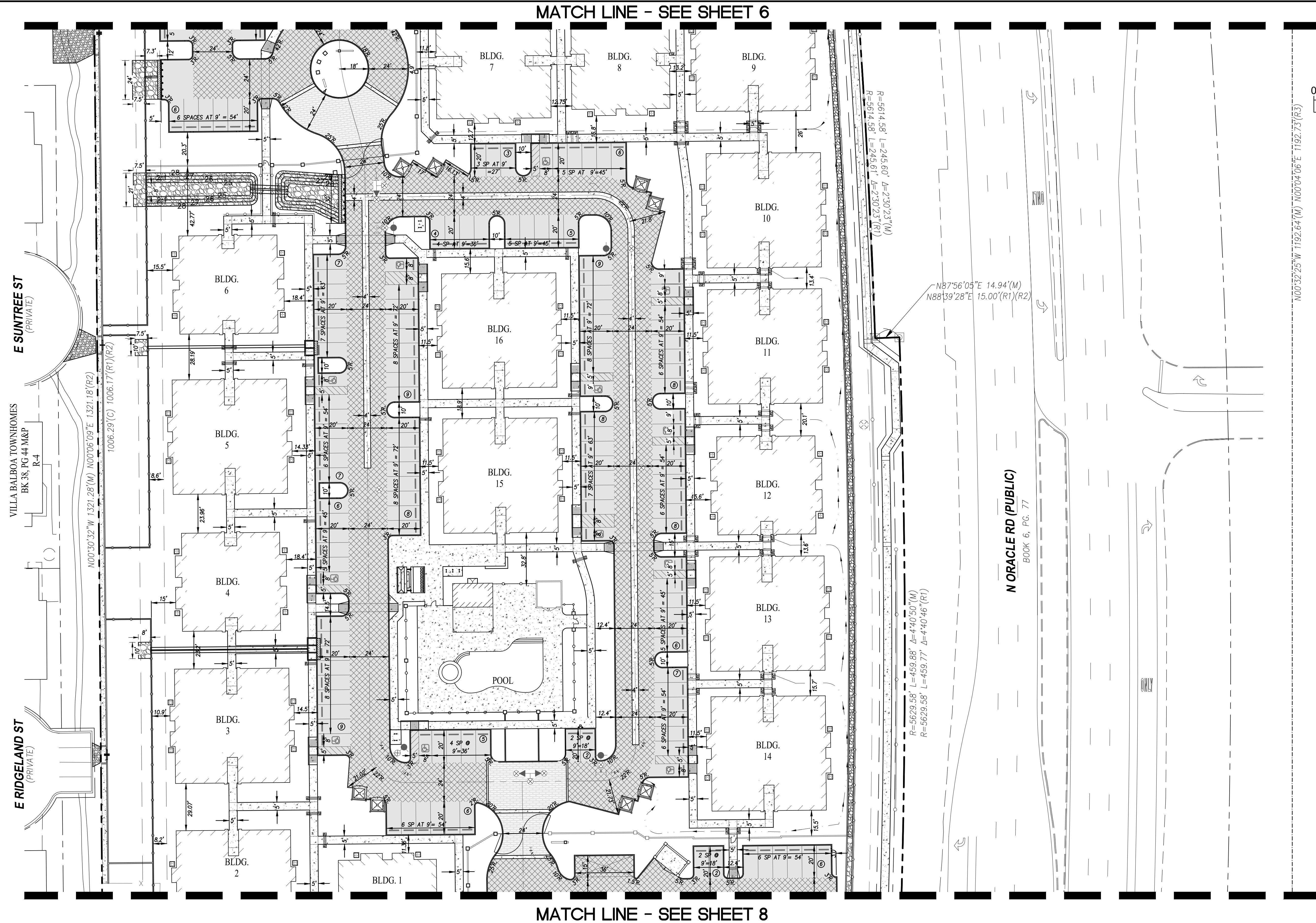
1. ALL RADII SHOWN ARE FACE OF CURB RADII.
2. ALL OTHER DIMENSIONS ARE TO FACE OF CURB, WALL, PL, ETC.
3. FOR TYPICAL PARKING SPACE DETAILS, SEE DETAIL A ON SHEET 8
4. CONTRACTOR TO ADHERE TO GENERAL PAVEMENT MARKING NOTES LOCATED ON THIS SHEET.

REFERENCE CASE #'s:  
OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

1902923

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PROJECT IS LOCATED IN		REV	DATE
A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ			
FINAL SITE AND IMPROVEMENT PLAN		DESCRIPTION	
SHEET TITLE			
DIMENSIONAL PLAN - NORTH			
PROJECT TITLE			
LINDA VISTA LUXURY RENTALS			
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704			
PERRY ENGINEERING 501 W WETMORE RD. TUCSON, AZ 85705 CONTACT: KEN PERRY, P.E. 520-620-9870 kperry@perryengineering.net			
DESIGN BY: DB			
DRAWN BY: DB			
CHK'D BY: GV,KP			
DATE: 11/11/2020			
PE JOB NUMBER: 19036			
CONTOUR INTERVAL:			
SCALE: 1" = 30'			
SHEET NO.			
6		19	





**MATCH LINE - SEE SHEET 6**

**MATCH LINE - SEE SHEET 8**

**N ORACLE RD (PUBLIC)**  
BOOK 6, PG. 77

N87°56'05"E 14.94'(M)  
N88°39'28"E 15.00'(R1)(R2)

$R=5629.58'$   $L=459.88'$   $\Delta=4^{\circ}40'50''(M)$   
 $R=5629.58'$   $L=459.77'$   $\Delta=4^{\circ}40'46''(R1)$

R=5614.58' L=245.60' Δ=2°30'23"(M)  
R=5614.58' L=245.61' Δ=2°30'23"(R1)

N00°32'25"W 1192.64'(M) N00°04'06"E 1192.73'(R3)

USE OF THIS INFORMATION CONTAINED HEREIN FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED, AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY PERRY ENGINEERING, LLC. SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.	REV. DATE 11/11/2020	DESCRIPTION PROJECT IS LOCATED IN A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PINA COUNTY, AZ	BK 1
	SHEET NO. 7 of 19	FINAL SITE AND IMPROVEMENT PLAN DIMENSIONAL PLAN — MIDDLE PROJECT TITLE LINDA VISTA LUXURY RENTALS ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704	DWG 1

*DIMENSION NOTES:*

1. ALL RADII SHOWN ARE FACE OF CURB RADII
2. ALL OTHER DIMENSIONS ARE TO FACE OF CURB, WALL, PL, ETC.
3. FOR TYPICAL PARKING SPACE DETAILS, SEE DETAIL A ON SHEET 8
4. CONTRACTOR TO ADHERE TO GENERAL PAVEMENT MARKING NOTES LOCATED ON SHEET 6.

REFERENCE CASE #'s:

OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

1902923

7 of 19



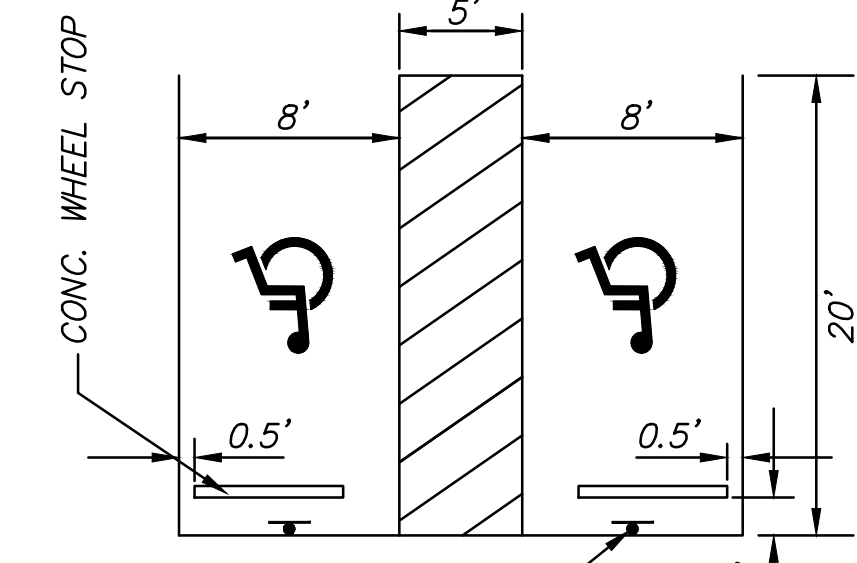


LINDA VISTA CITRUS NO.2  
BK 6, PG 79 M&P  
R1-144

ASSN: 225-10-00102  
DKT 8983; PG 524  
R1-144

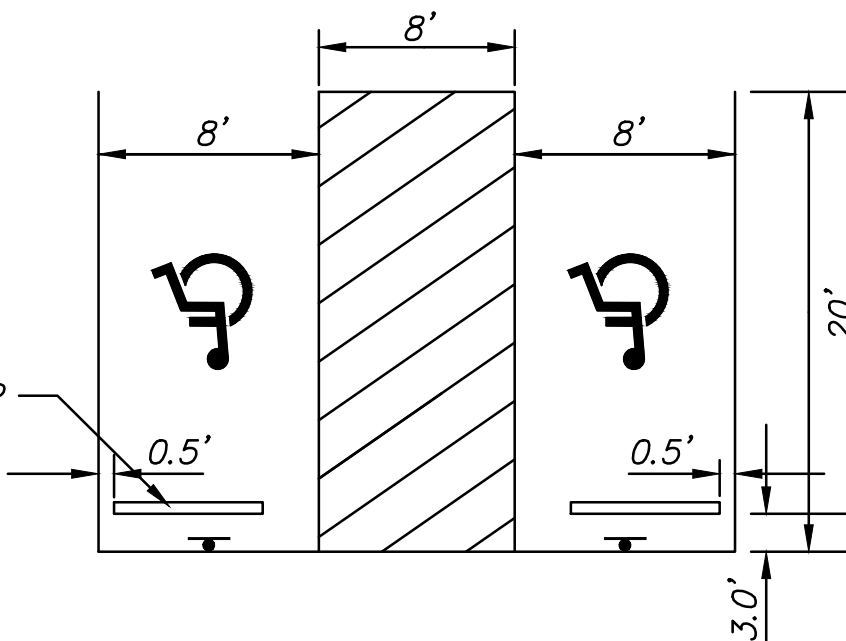
PRECAST WHEEL STOP,  
CENTERED IN PARKING  
SPACE.  
USE 2-24" #5 REBAR  
FLUSH AT TOP AND  
SEAL REBAR OR USE  
EPOXY ANCHOR.

REGULAR PARKING SPACE  
AT INTERIOR LOCATIONS



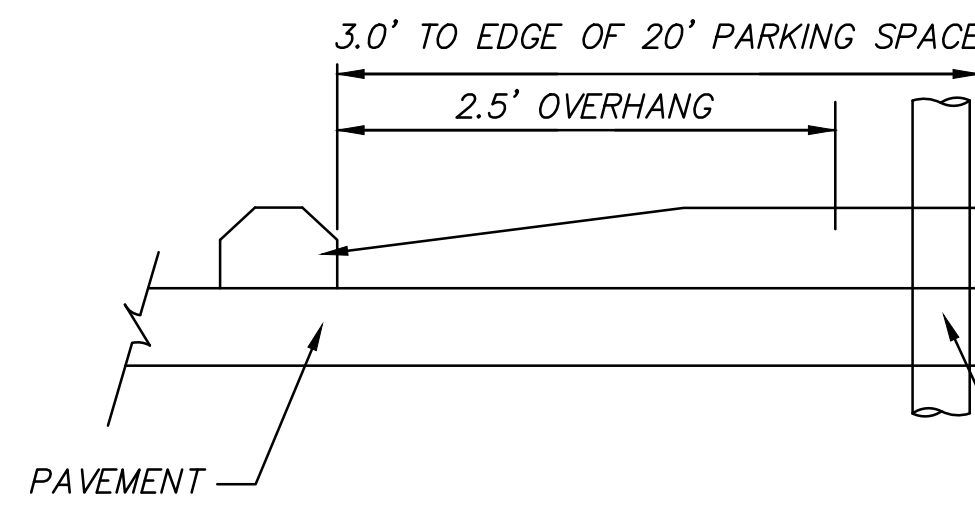
SIGN AND BOLLARD TO BE  
PLACED ADJACENT TO THE 20'  
TO STAY CLEAR OF THE 2.5' OVERHANG (TYP.)  
REGULAR HANDICAPPED PARKING SPACE

CONC. WHEEL STOP



VAN ACCESSIBLE HANDICAPPED PARKING SPACE

A  
8  
TYPICAL PARKING SPACE DETAILS  
\* SEE SIGN AND BOLLARD DETAILS ON  
SHEET 5 FOR ADDITIONAL INFORMATION



CONCRETE WHEEL STOP

PRECAST WHEEL STOP,  
CENTERED IN PARKING  
SPACE.  
USE 2-24" #5 REBAR  
FLUSH AT TOP AND  
SEAL REBAR OR USE  
EPOXY ANCHOR.

SIGN AND BOLLARD TO BE  
PLACED ADJACENT TO THE 20'  
TO STAY CLEAR OF THE 2.5'  
OVERHANG (TYP.)

#### DIMENSION NOTES:

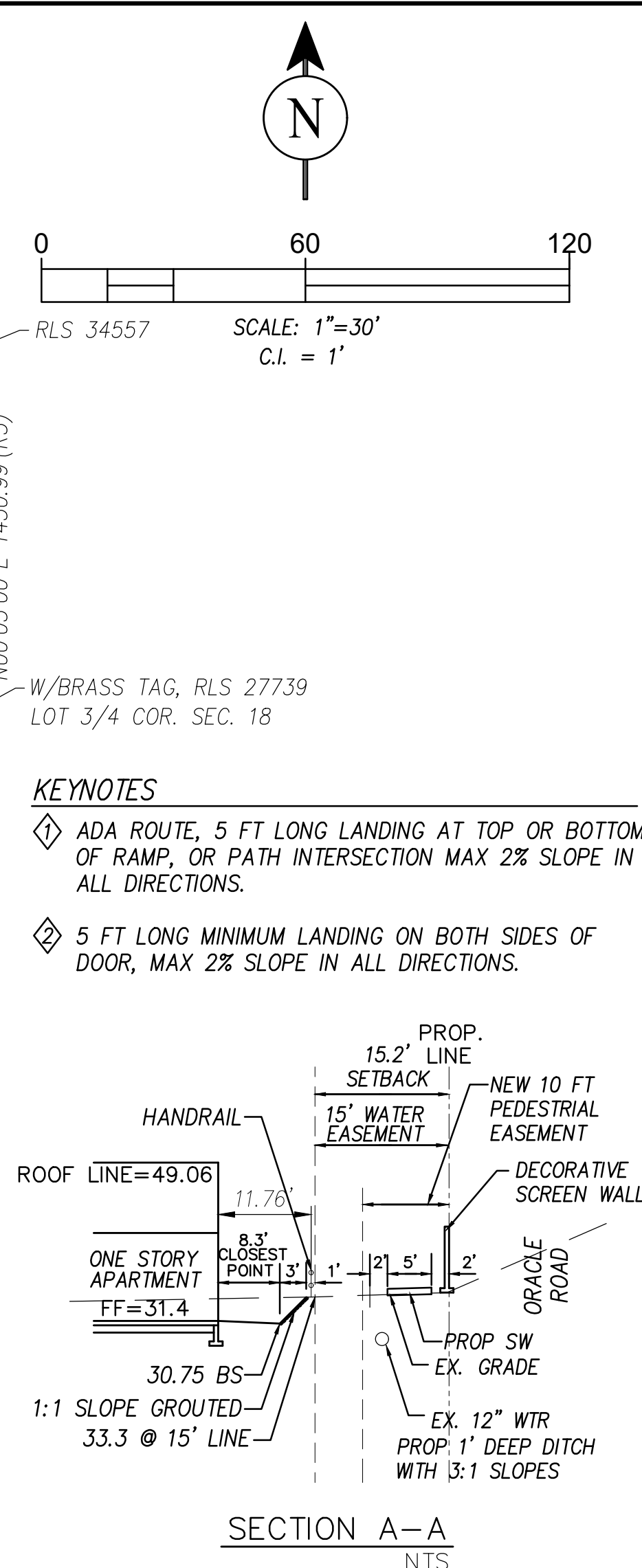
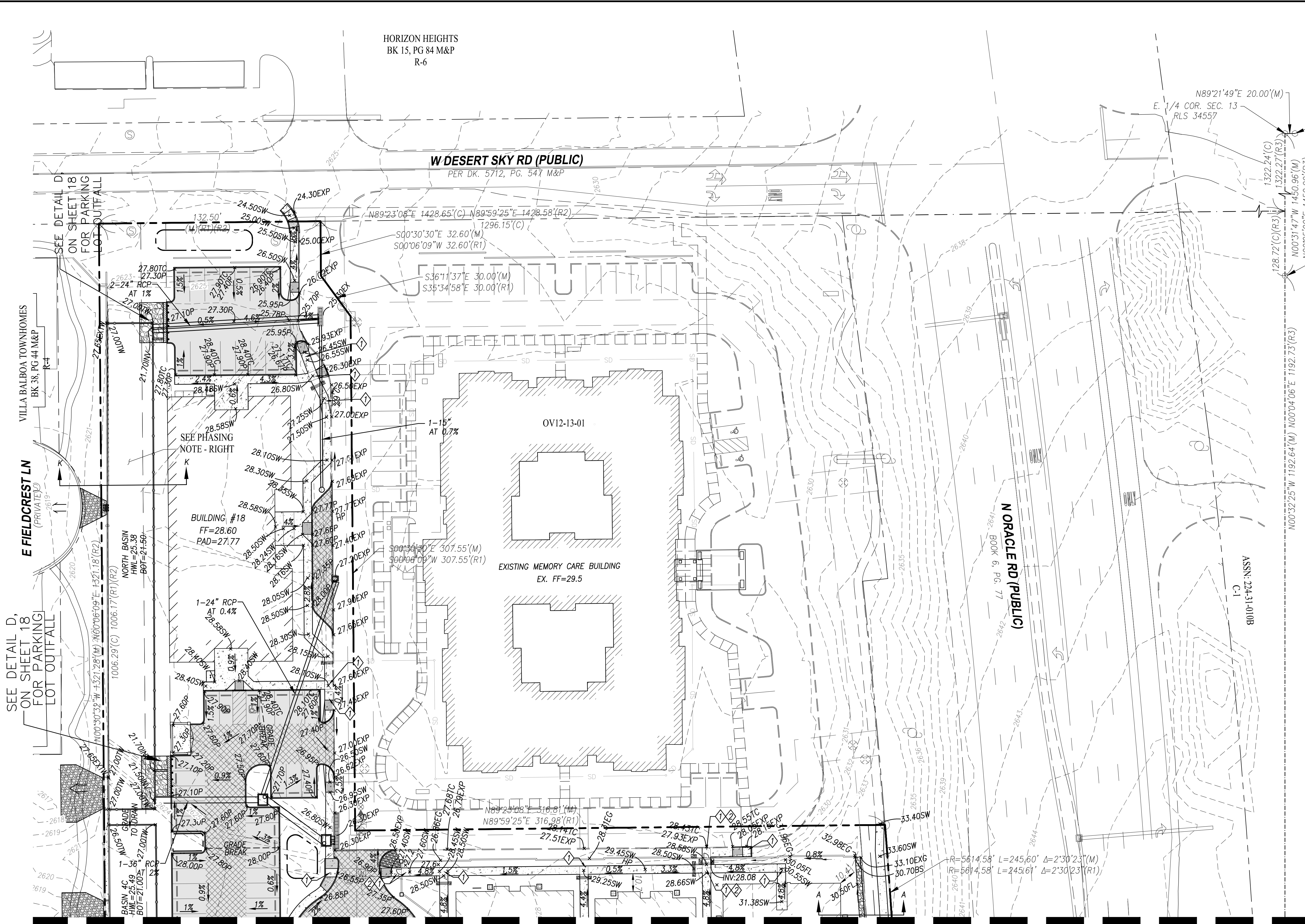
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2. ALL OTHER DIMENSIONS ARE TO FACE OF CURB, WALL, PL, ETC.
3. FOR TYPICAL PARKING SPACE DETAILS, SEE DETAIL A ON THIS SHEET
4. CONTRACTOR TO ADHERE TO GENERAL PAVEMENT MARKING NOTES  
LOCATED ON SHEET 6.

REFERENCE CASE #'s:  
OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

1902923

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FINAL SITE AND IMPROVEMENT PLAN		REV. DATE	
SHEET TITLE		DESCRIPTION	
DIMENSIONAL PLAN - SOUTH			
PROJECT TITLE			
LINDA VISTA LUXURY RENTALS			
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704			
PROJECT IS LOCATED IN			
A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ			
PERRY ENGINEERING 501 W WETMORE RD. TUCSON, AZ 85705 CONTACT: KEN PERRY, P.E. 520-620-9870 kperry@perryengineering.net			
DESIGN BY: DB			
DRAWN BY: DB			
CHK'D BY: GV,KP			
DATE: 11/11/2020			
PE JOB NUMBER: 19036			
CONTOUR INTERVAL:			
SCALE: 1" = 30'			
SHEET NO.			
8 of 19			





**PHASING NOTE**  
AS PART OF PHASE 1 BOTH OUTLET STRUCTURES, INCLUDING THE RIPRAP EROSION PROTECTION ON THE WEST SIDE OF THE NORTH BASIN WALL, SHALL BE CONSTRUCTED. ALSO, THE BASIN BOTTOM SHALL BE FULLY GRADED AT THE BOTTOM ELEVATION. FROM THE LIMITS OF BASIN FLOOR GRADE SLOPES AT 4:1 TO CATCH.

**ENGINEER'S ESTIMATED EARTHWORK QUANTITIES**

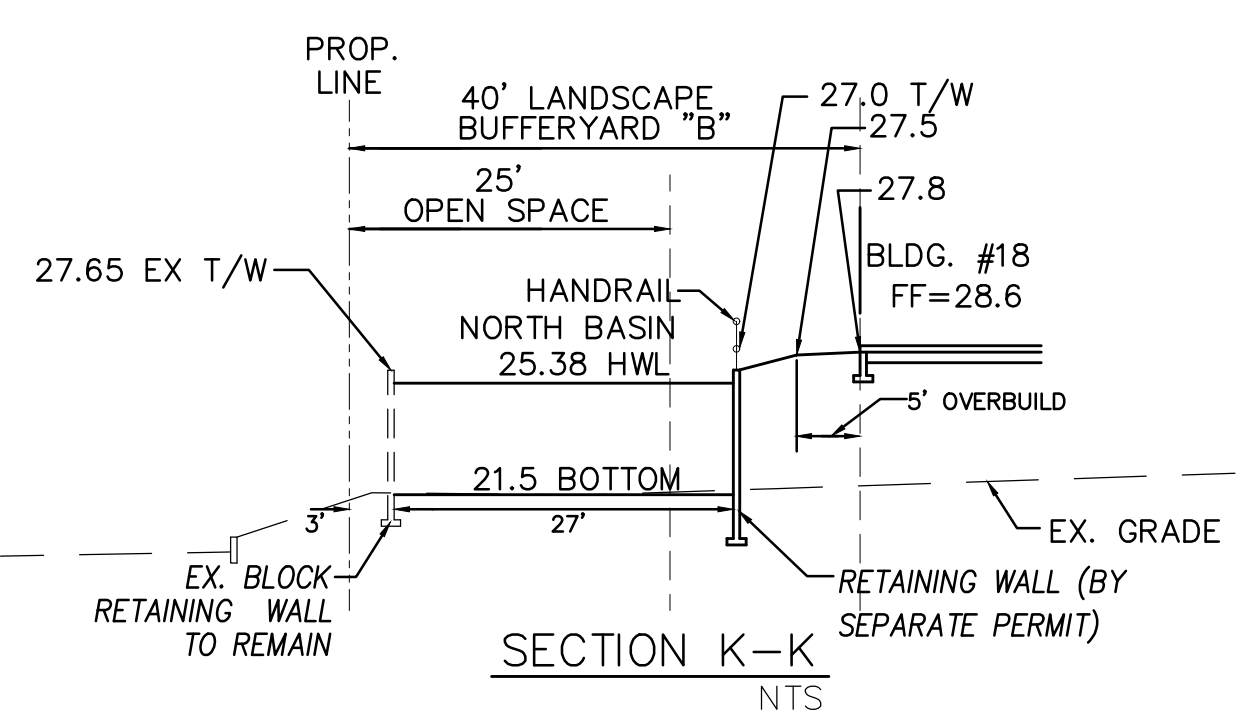
CUT = 28,140 CY  
FILL = 14,690 CY  
NET = 13,450 CY (EXPORT)  
ASSUMPTIONS:  
- 20% SHRINK ON FILL AREAS

EARTHWORK QUANTITIES SHOWN ARE FOR ENGINEER'S ESTIMATE & PERMITTING ONLY. ALL CONTRACTORS SHALL CONDUCT AND BASE THEIR BID ON THEIR OWN EARTHWORK ANALYSIS.

REFERENCE CASE #'s:  
OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

BASIN DATA TABLE							
BASIN	BOTTOM	TOP	LOW FLOW PIPES	LOW FLOW PIPE INV.	WEIR CREST LENGTH	WEIR CREST ELEVATION	100-YEAR MAX WSEL
4A	26.5	29.1	2-4"	26.5	6'	28.25	28.59
4B	26.5	28.3	1-4"	26.6	6'	27.70	27.78
4C	21.0	26.5	2-6"	21.0	3'	24.00	25.49
NORTH*	21.5	27.5	3-9"	21.5	4'	24.00	25.38

\* LOW FLOW PIPE OUTLET AND WEIR OUTLET ARE AT DIFFERENT LOCATIONS PER PLAN.



PROJECT IS LOCATED IN  
A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GLA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ

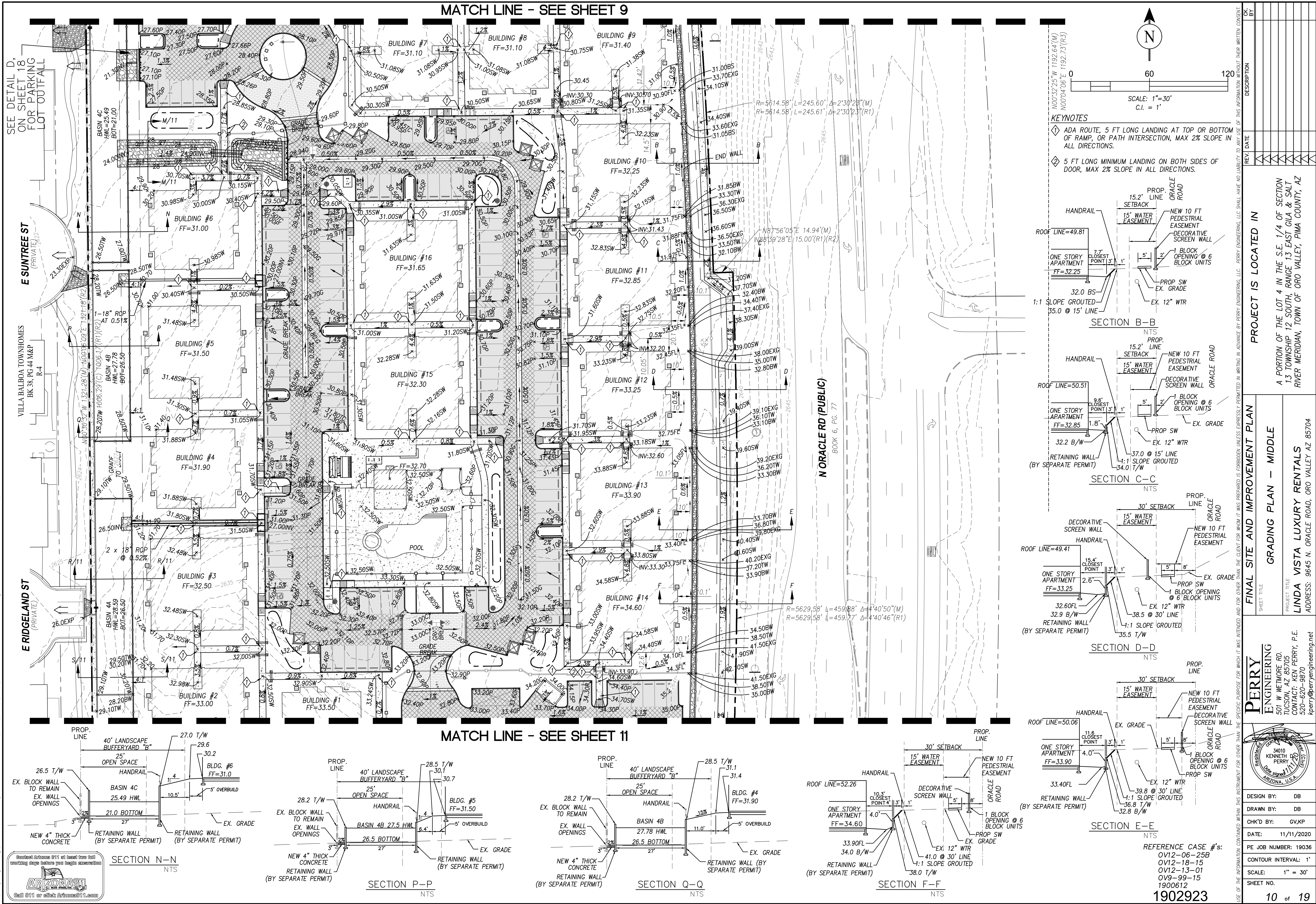
FINAL SITE AND IMPROVEMENT PLAN  
SHEET TITLE  
GRADING PLAN - NORTH  
PROJECT TITLE  
LINDA VISTA LUXURY RENTALS  
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704

**PERRY**  
ENGINEERING  
501 W WETMORE RD.  
TUCSON, AZ 85705  
CONTACT: KEN PERRY, P.E.  
520-620-9870  
kperry@perryengineering.net

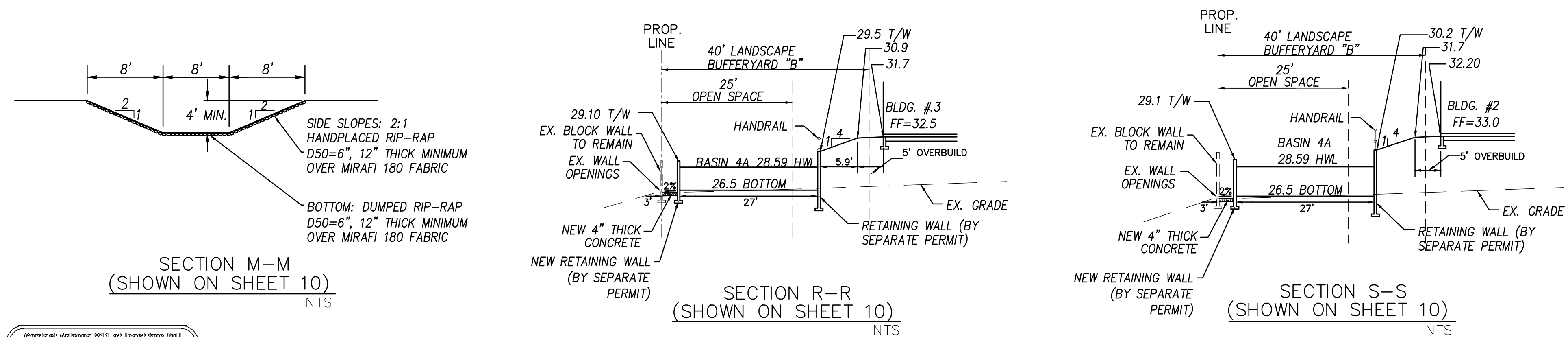
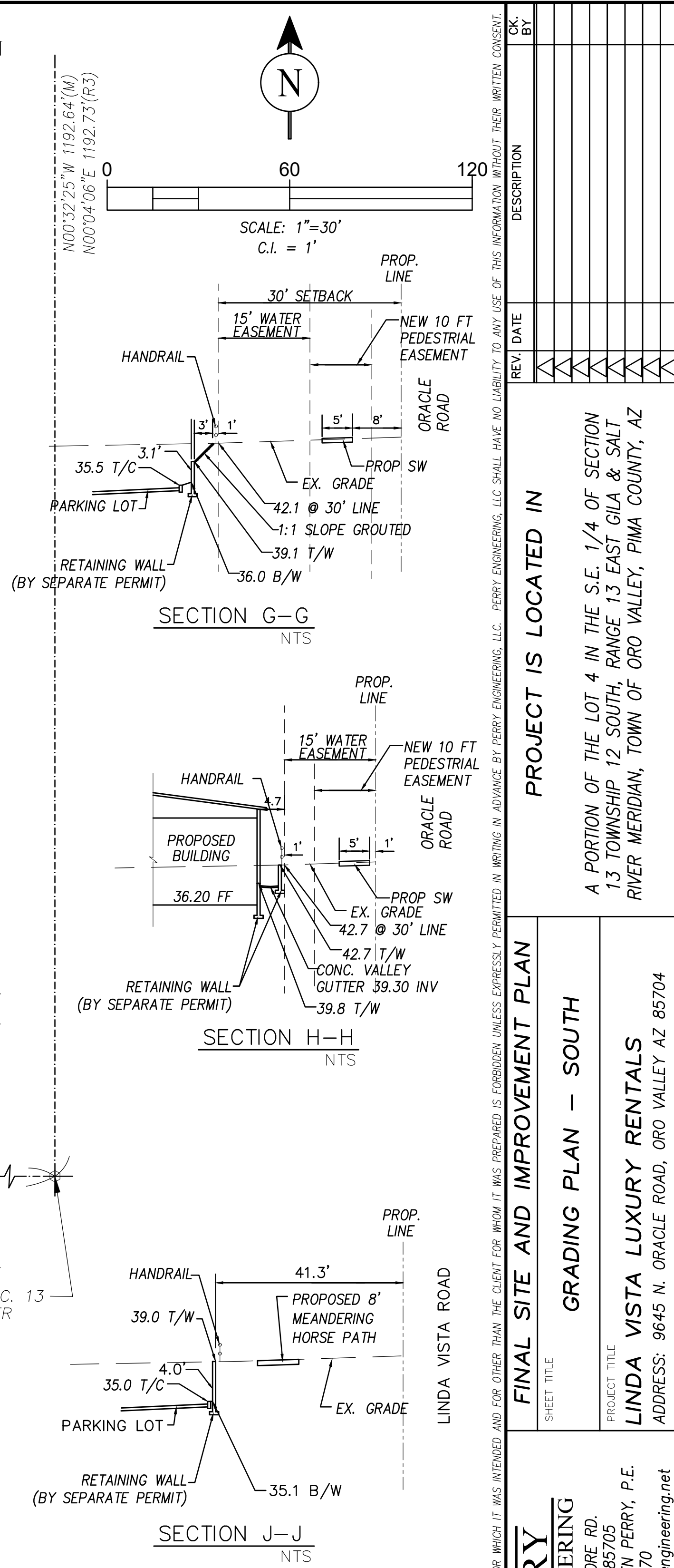
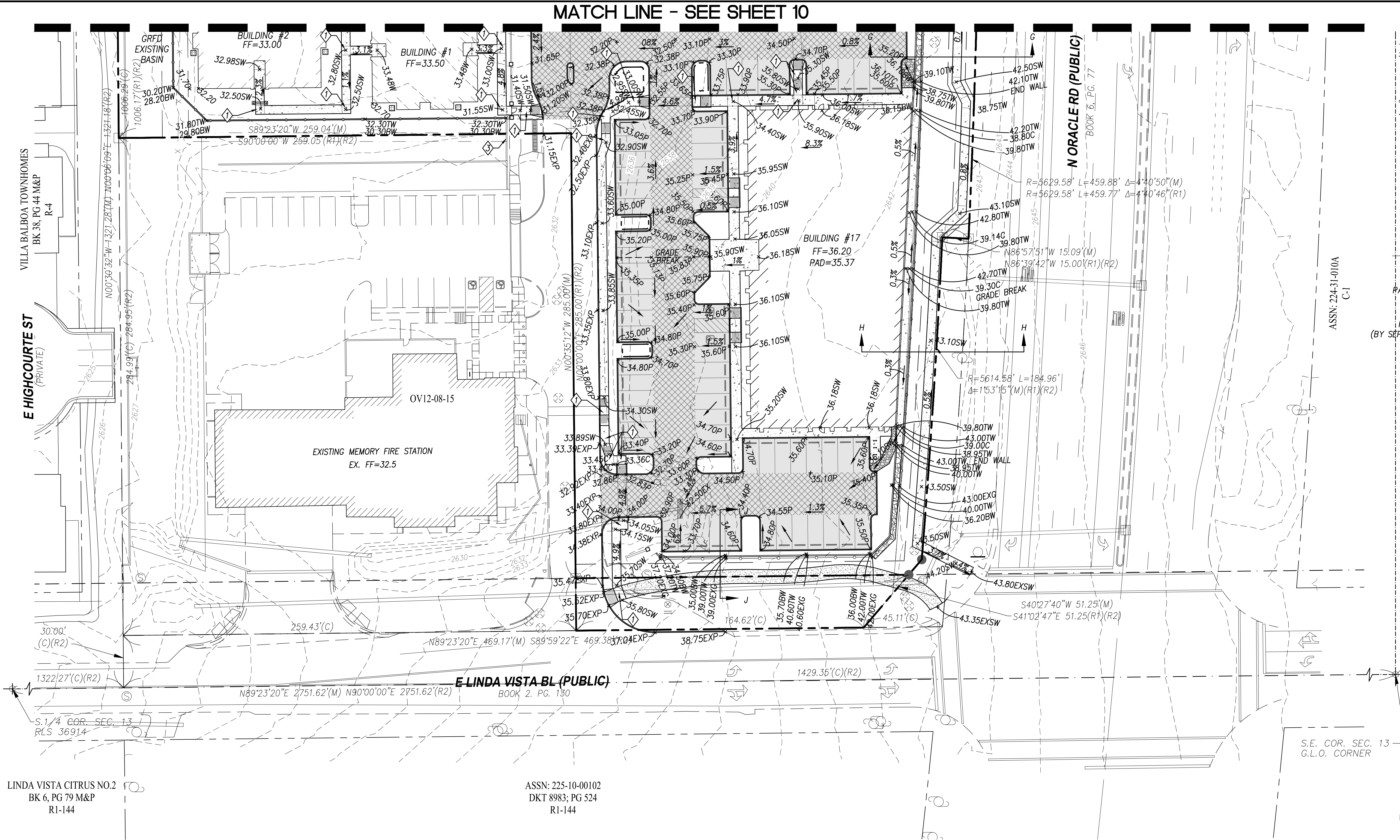
DESIGN BY: DB  
DRAWN BY: DB  
CHK'D BY: GVKP  
DATE: 11/11/2020  
PE JOB NUMBER: 19036  
CONTOUR INTERVAL: 1'  
SCALE: 1" = 30'  
SHEET NO.

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**KEYNOTES**

- ADA ROUTE, 5 FT LONG LANDING AT TOP OR BOTTOM OF RAMP, OR PATH INTERSECTION MAX 2% SLOPE IN ALL DIRECTIONS.
- 5 FT LONG MINIMUM LANDING ON BOTH SIDES OF DOOR, MAX 2% SLOPE IN ALL DIRECTIONS.
- INTEL SUPPORTED WALL OPENING AT BOTTOM OF WALL, 20' WIDE x 1.5' HIGH MINIMUM, DESIGN BY OTHERS.

**REFERENCE CASE #'s:**  
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OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612

**1902923**

**PERY ENGINEERING**  
3401 KENNETH PERRY RD.  
TUCSON, AZ 85705  
CONTACT: KEN PERRY, P.E.  
520-620-9870  
kperry@perryengineering.net

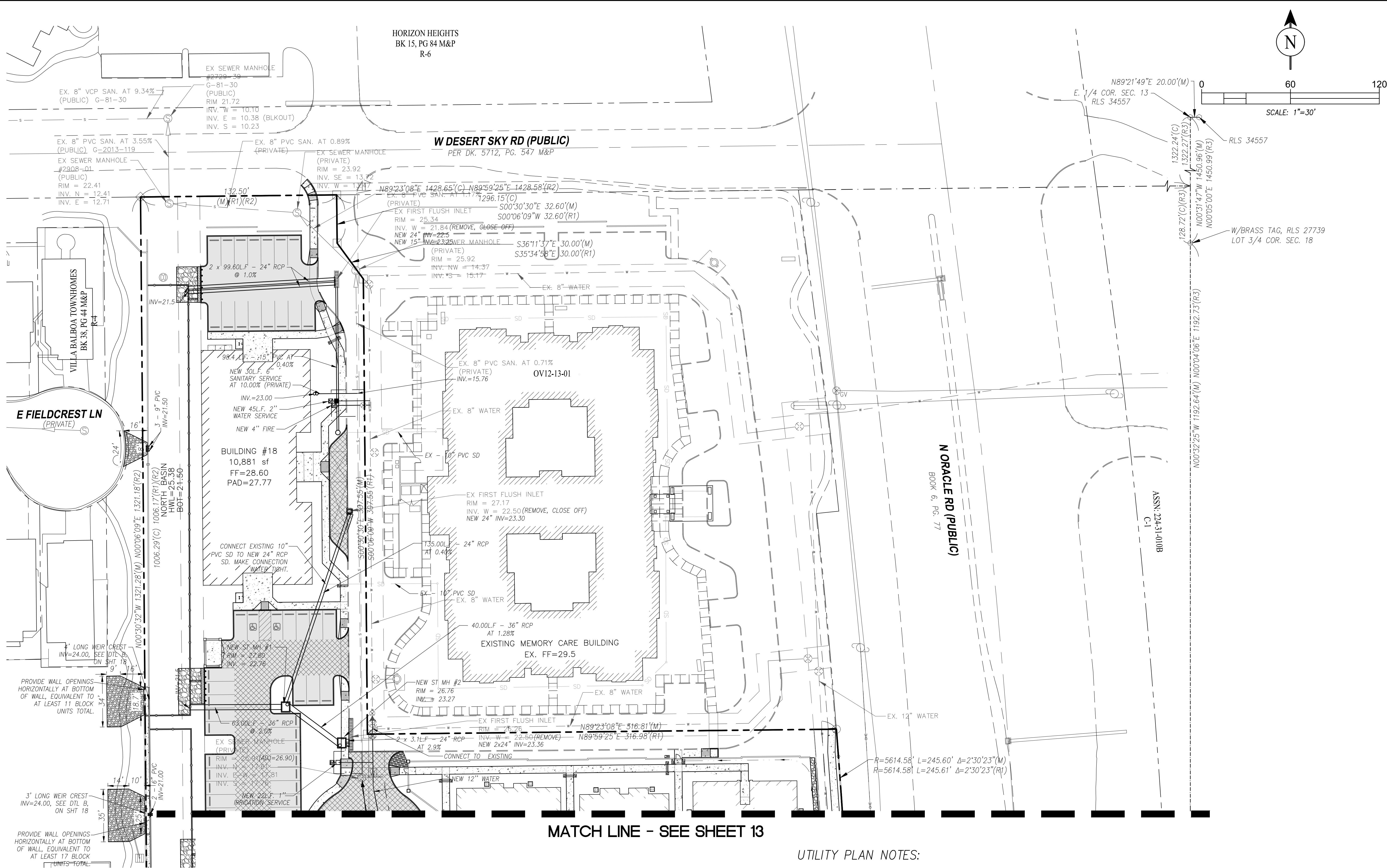
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**DRAWN BY:** DB  
**CHK'D BY:** GV/KP  
**DATE:** 11/11/2020  
**PE JOB NUMBER:** 19036  
**CONTOUR INTERVAL:** 1'  
**SCALE:** 1" = 30'  
**SHEET NO.**

**PROJECT IS LOCATED IN**  
A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GLA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ

**FINAL SITE AND IMPROVEMENT PLAN**  
GRADING PLAN - SOUTH  
PROJECT TITLE  
LINDA VISTA LUXURY RENTALS  
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704







MATCH LINE - SEE SHEET 13

UTILITY PLAN NOTES:

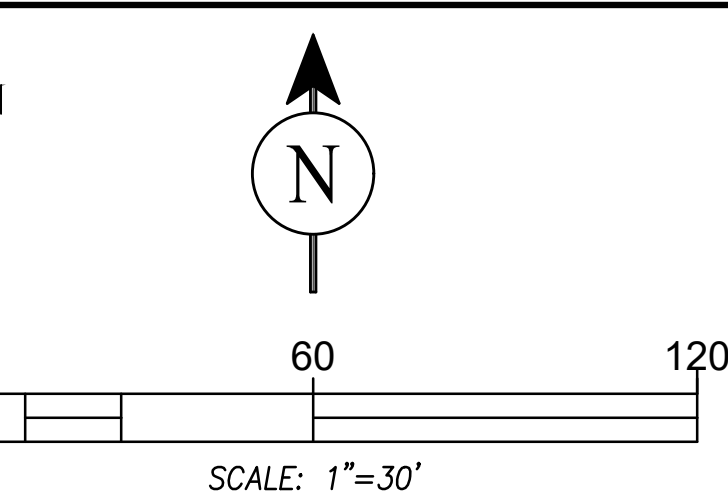
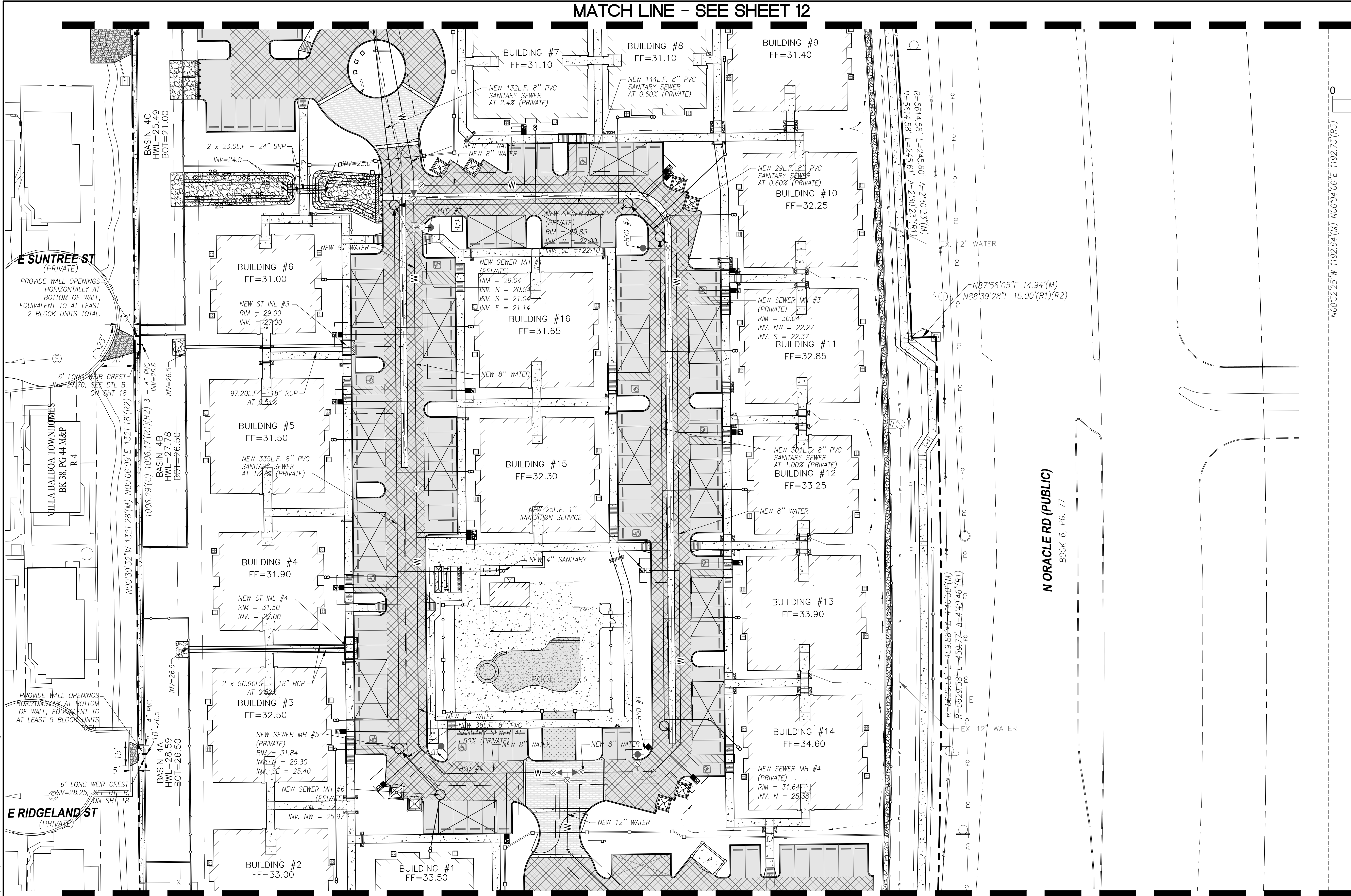
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2. ALL APARTMENT BUILDING SANITARY SERVICES WILL HAVE PRIVATE 4" CLEANOUTS AT BUILDING, BEND POINTS, AND BE TRAFFIC RATED AS REQUIRED.
3. EACH APARTMENT BUILDING WILL HAVE 1 WATER SERVICE AND IT WILL BE 2" DIAMETER THAT WILL BE USED ALSO FOR FIRE SERVICE WITH A BACK FLOW PREVENTER DEVICE.
4. ALL APARTMENT BUILDING WATER SERVICES WILL HAVE AN INDIVIDUAL ORO VALLEY WATER METER
5. ALL FIRE HYDRANTS WILL BE 6".
6. ALL ROOF DRAINS WILL BE GROUND SPLASHED, NO STORM SEWER CONNECTIONS PROVIDED OR EXPECTED.
7. SEE LANDSCAPE PLANS FOR IRRIGATION SLEEVE LOCATIONS.
8. ALL 8" WATER MAIN WILL BE PUBLIC AND BE DETAILED ON SEPARATE PLANS FOR ORO VALLEY WATER DEPARTMENT.
9. SEE PLAN FOR COMMERCIAL BUILDING SERVICE SIZES.

REFERENCE CASE #'s:  
OV12-06-25B  
OV12-18-15  
OV12-13-01  
OV9-99-15  
1900612  
1902923

USE OF THE INFORMATION CONTAINED WITHIN THIS INSTRUMENT FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY PERRY ENGINEERING, LLC. PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.		PROJECT IS LOCATED IN	
DESIGN BY:	DB	A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ	
DRAWN BY:	DB		
CHK'D BY:	GV,KP		
DATE:	11/11/2020		
PE JOB NUMBER:	19036		
CONTOUR INTERVAL:		LINDA VISTA LUXURY RENTALS	
SCALE:	1" = 30'	ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704	
SHEET NO.		UTILITY PLAN - NORTH	
PERRY ENGINEERING		FINAL SITE AND IMPROVEMENT PLAN	
34010 KENNETH PERRY		SHEET TITLE	
TUCSON, AZ 85705		PROJECT TITLE	
CONTACT: KEN PERRY, P.E.		REV. DATE	
520-620-9870		CK BY	
kperry@perryengineering.net		DESCRIPTION	



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UTILITY PLAN NOTES:

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1900612

1902923

FINAL SITE AND IMPROVEMENT PLAN		PROJECT IS LOCATED IN	
SHEET TITLE	REV. DATE	DESCRIPTION	
UTILITY PLAN - MIDDLE			
PROJECT TITLE		A PORTION OF THE LOT 4 IN THE S.E. 1/4 OF SECTION 13 TOWNSHIP 12 SOUTH, RANGE 13 EAST GLA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, AZ	
LINDA VISTA LUXURY RENTALS			
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704			
PERY ENGINEERING 501 W WETMORE RD. TUCSON, AZ 85705 CONTACT: KEN PERRY, P.E. 520-620-9870 kperry@perryengineering.net			
DESIGN BY: DB			
DRAWN BY: DB			
CHK'D BY: GVKP			
DATE: 11/11/2020			
PE JOB NUMBER: 19036			
CONTOUR INTERVAL:			
SCALE: 1" = 30'			
SHEET NO.			

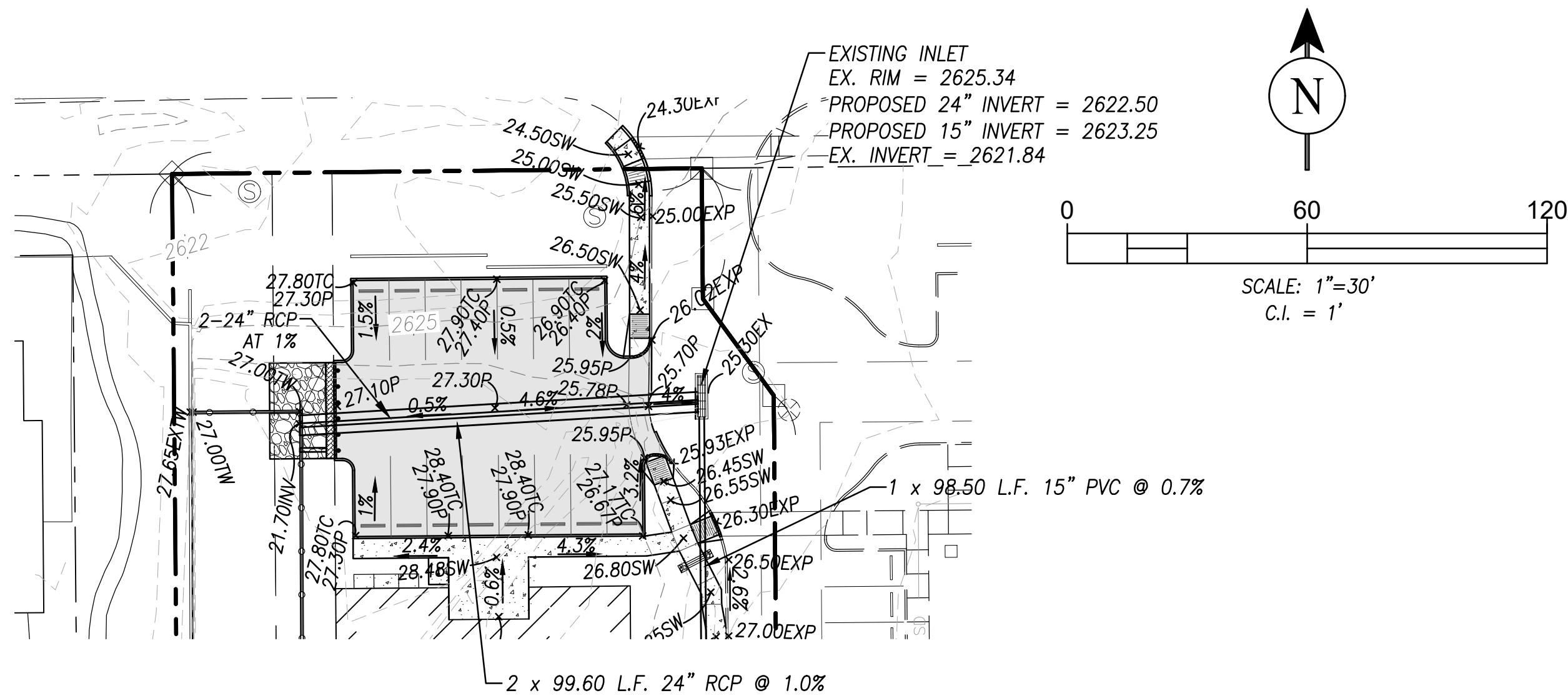
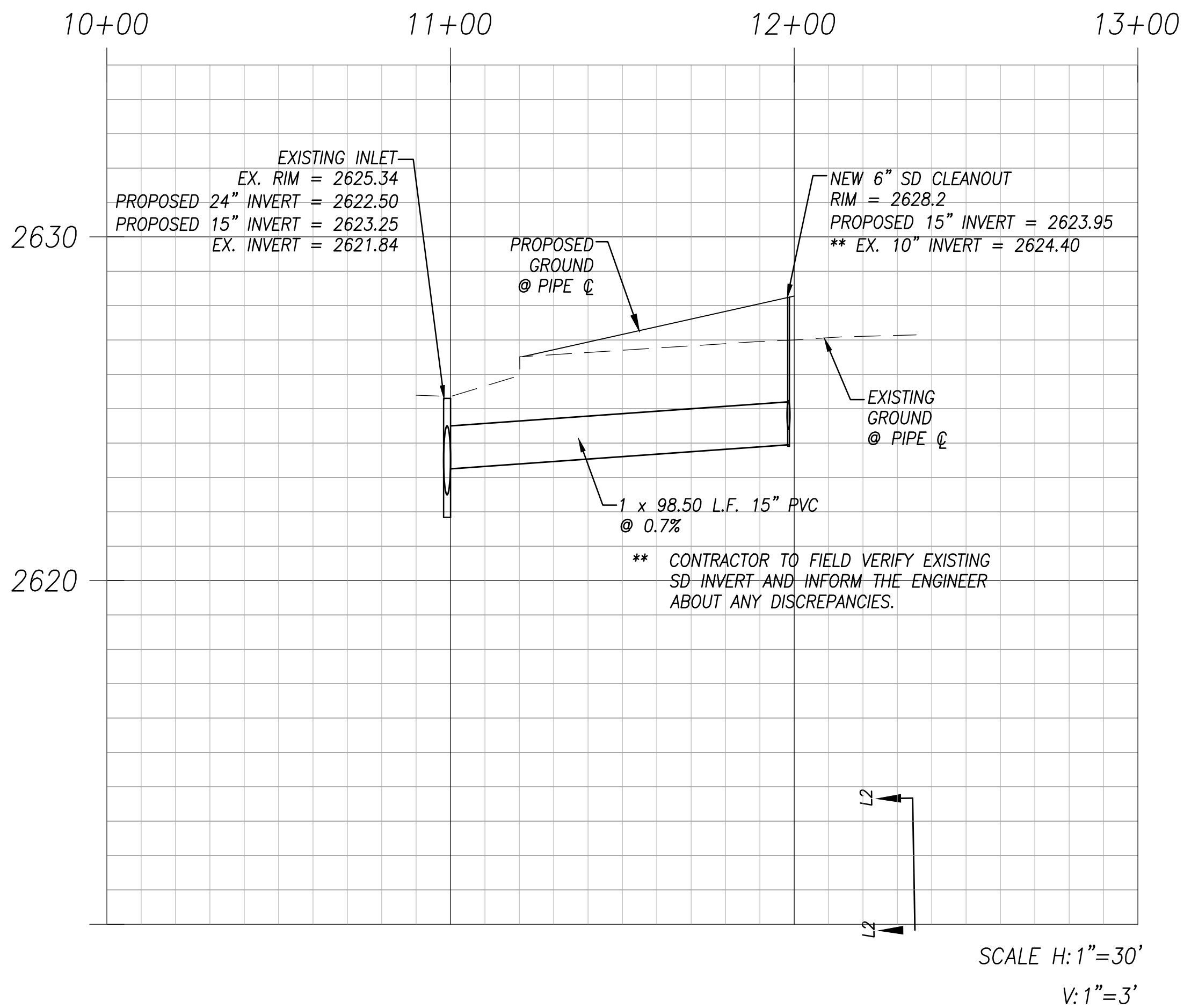
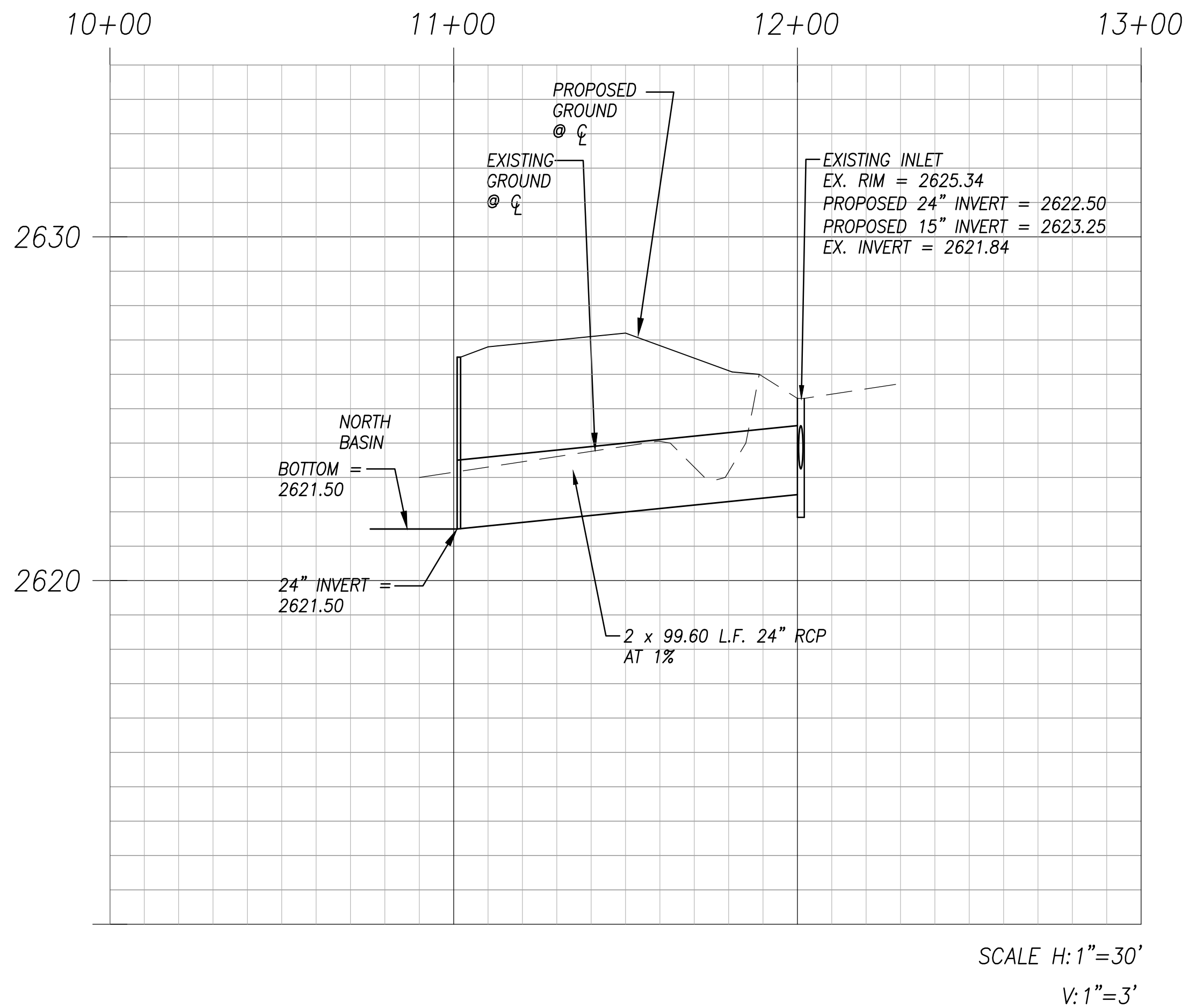




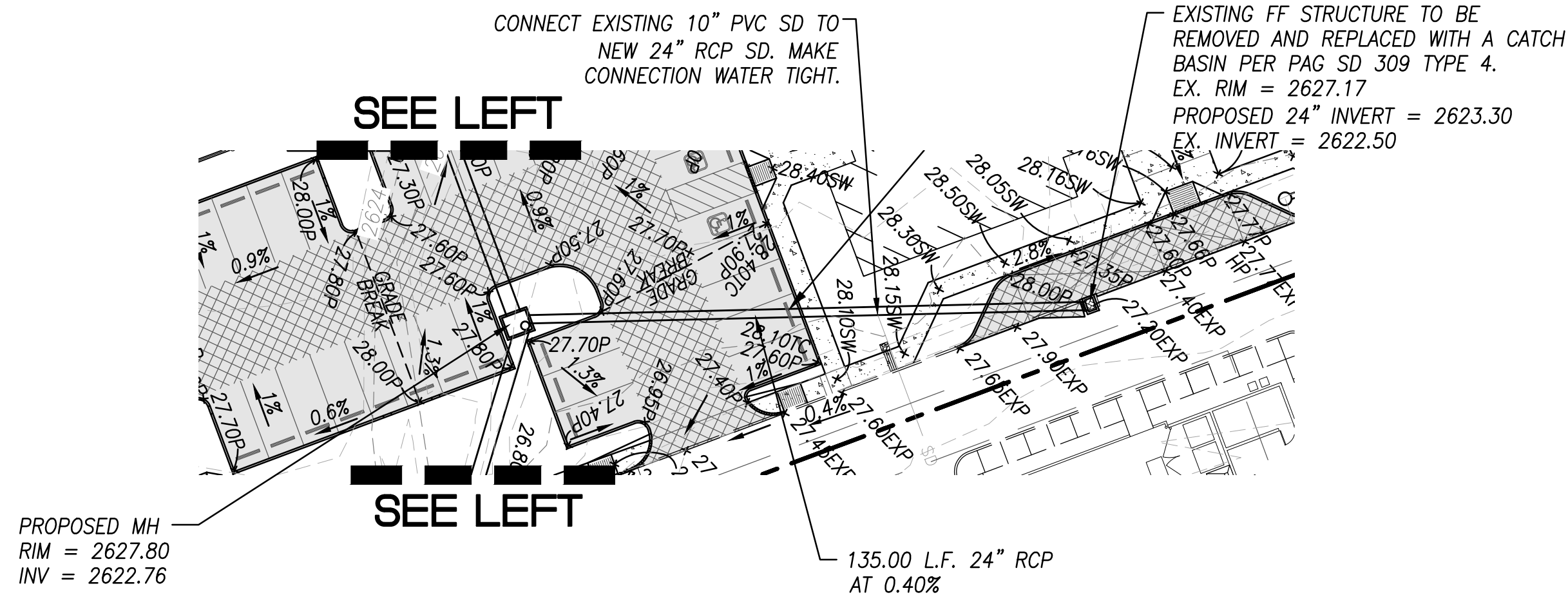
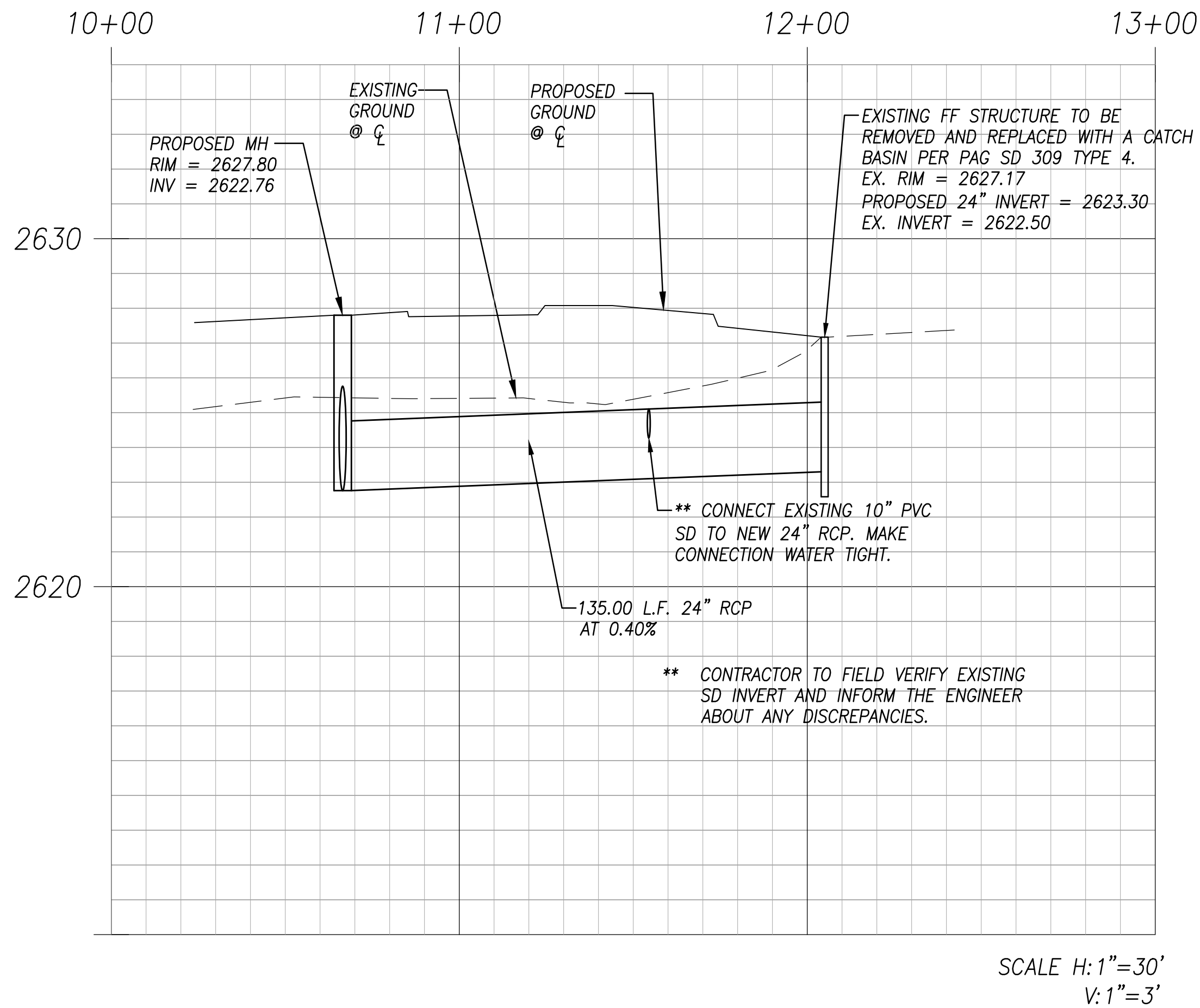
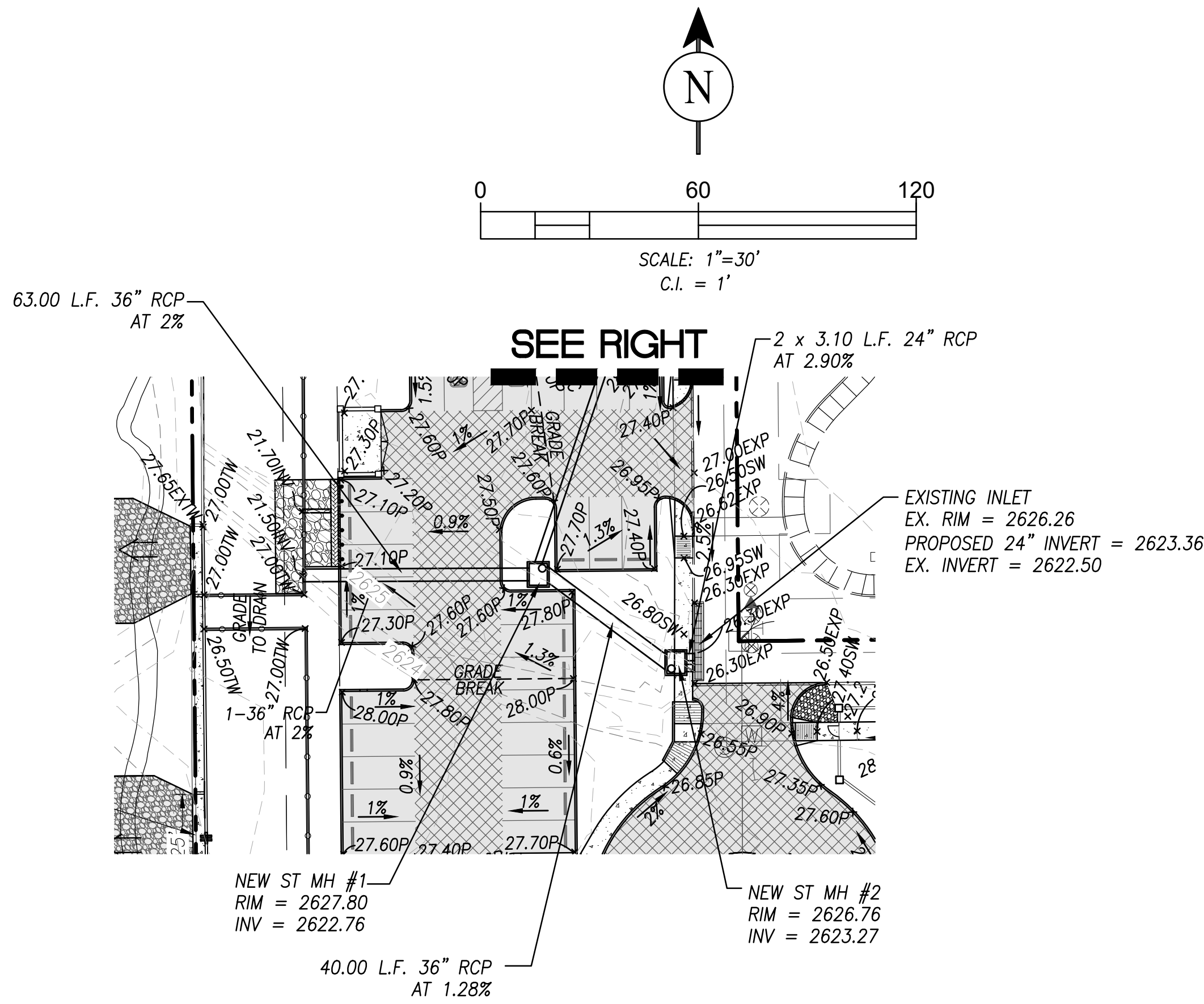
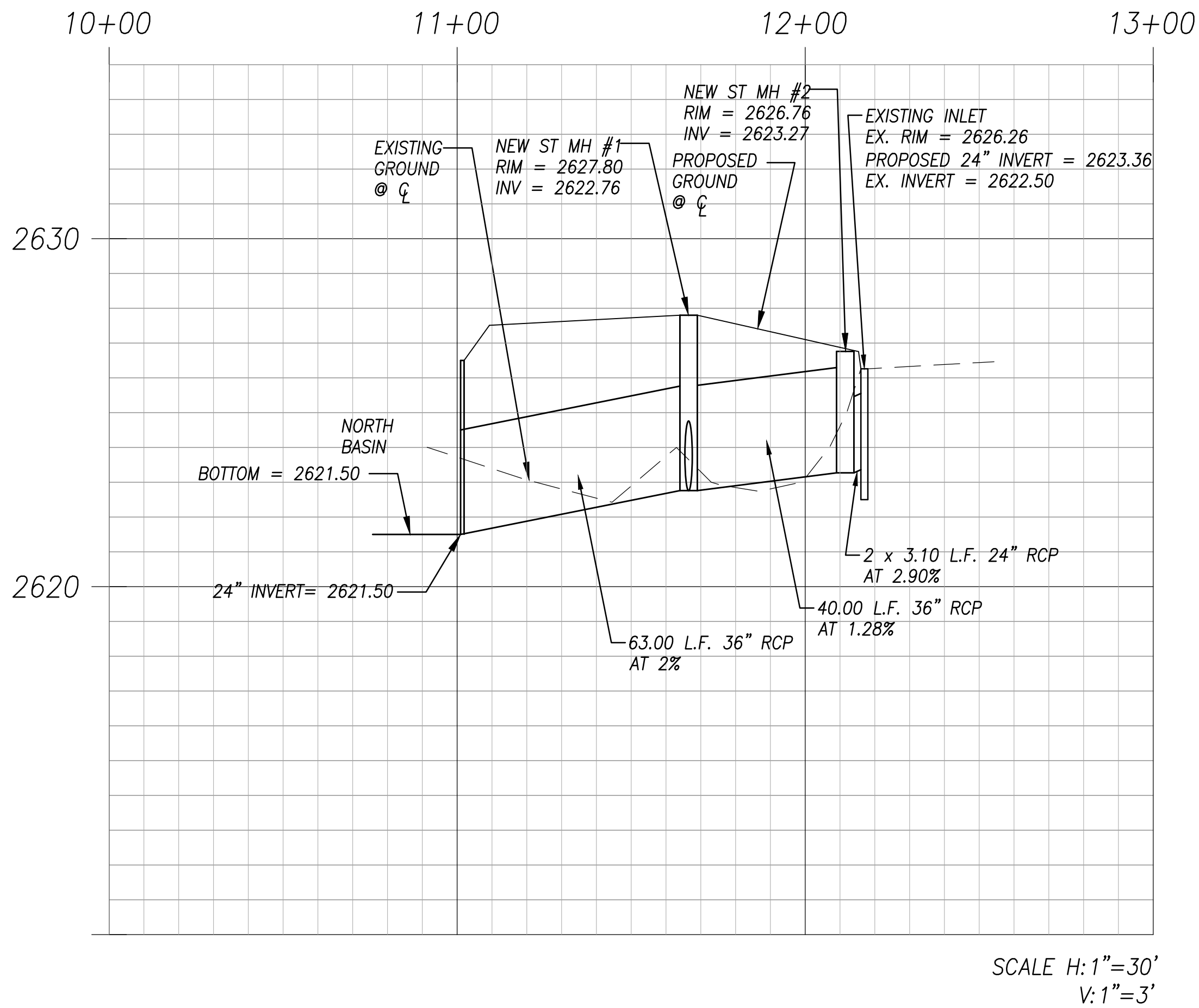
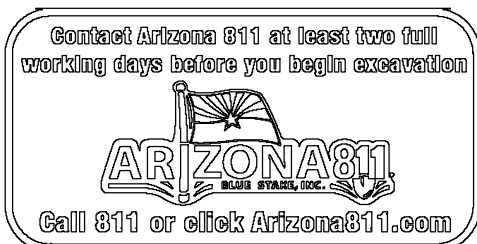
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**1902923**



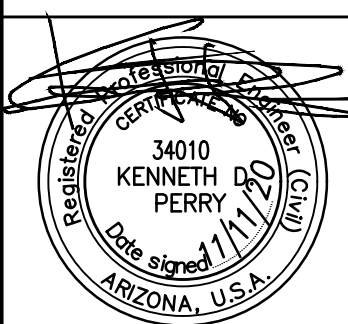






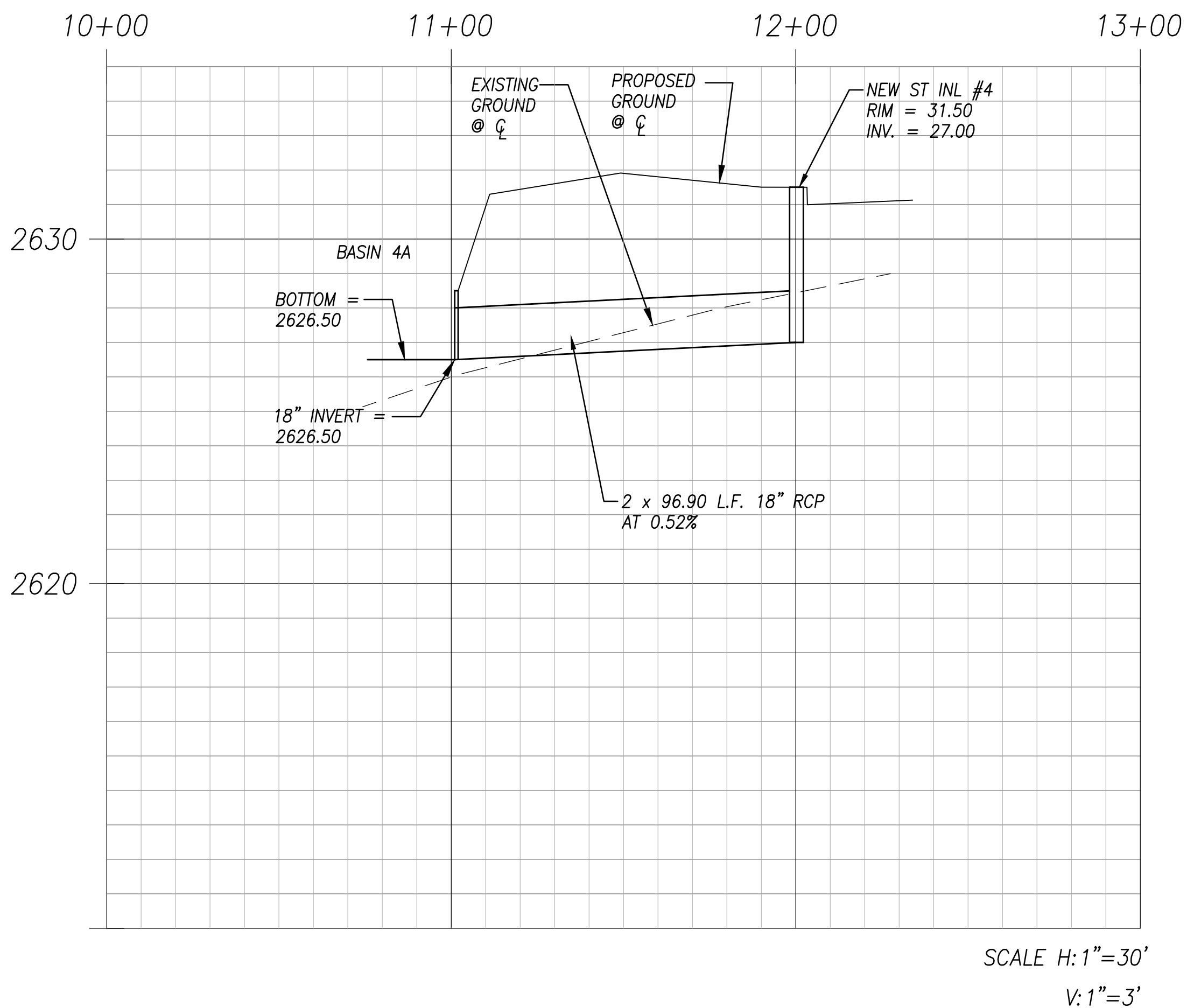
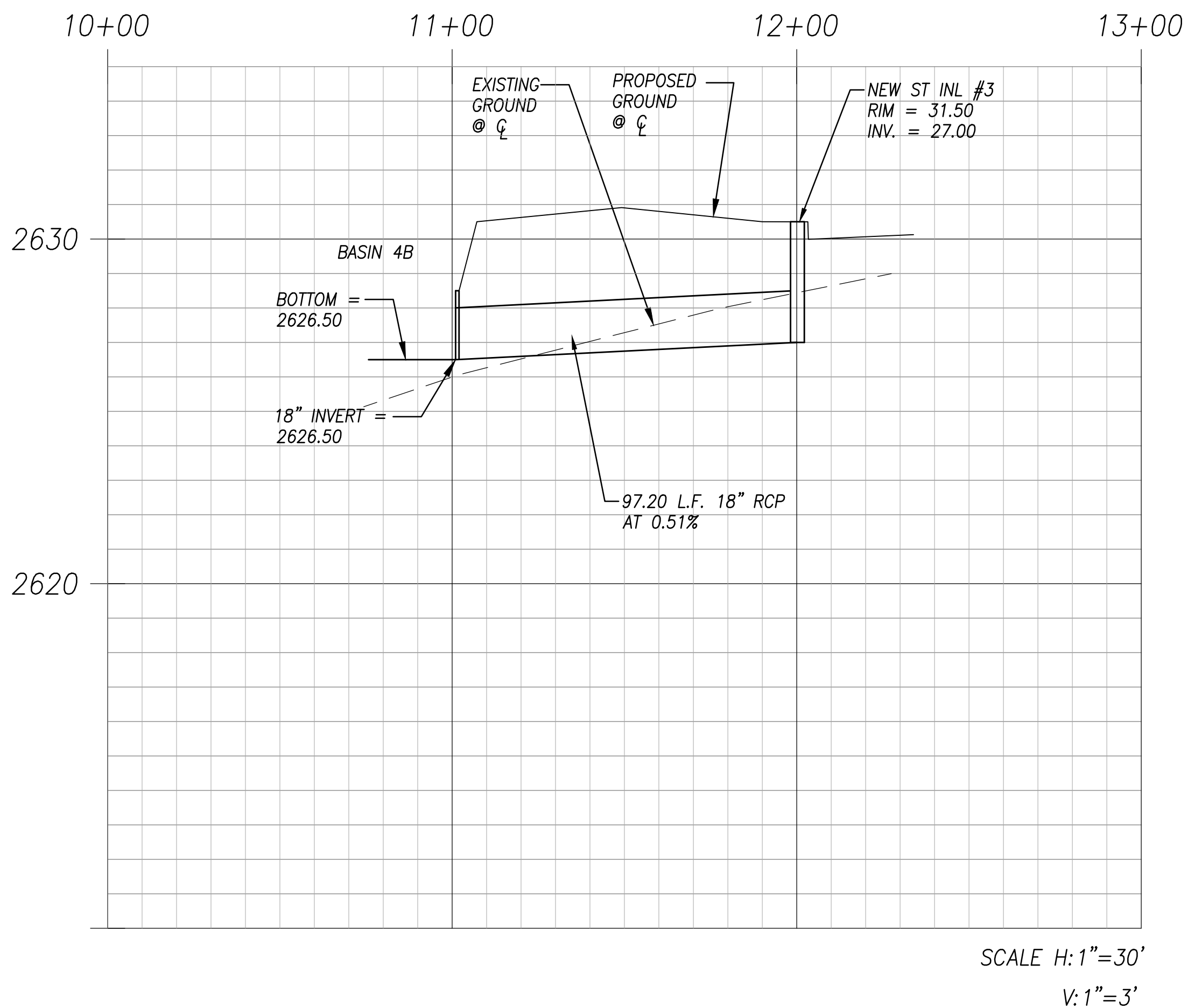
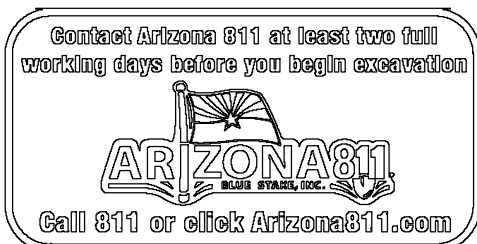
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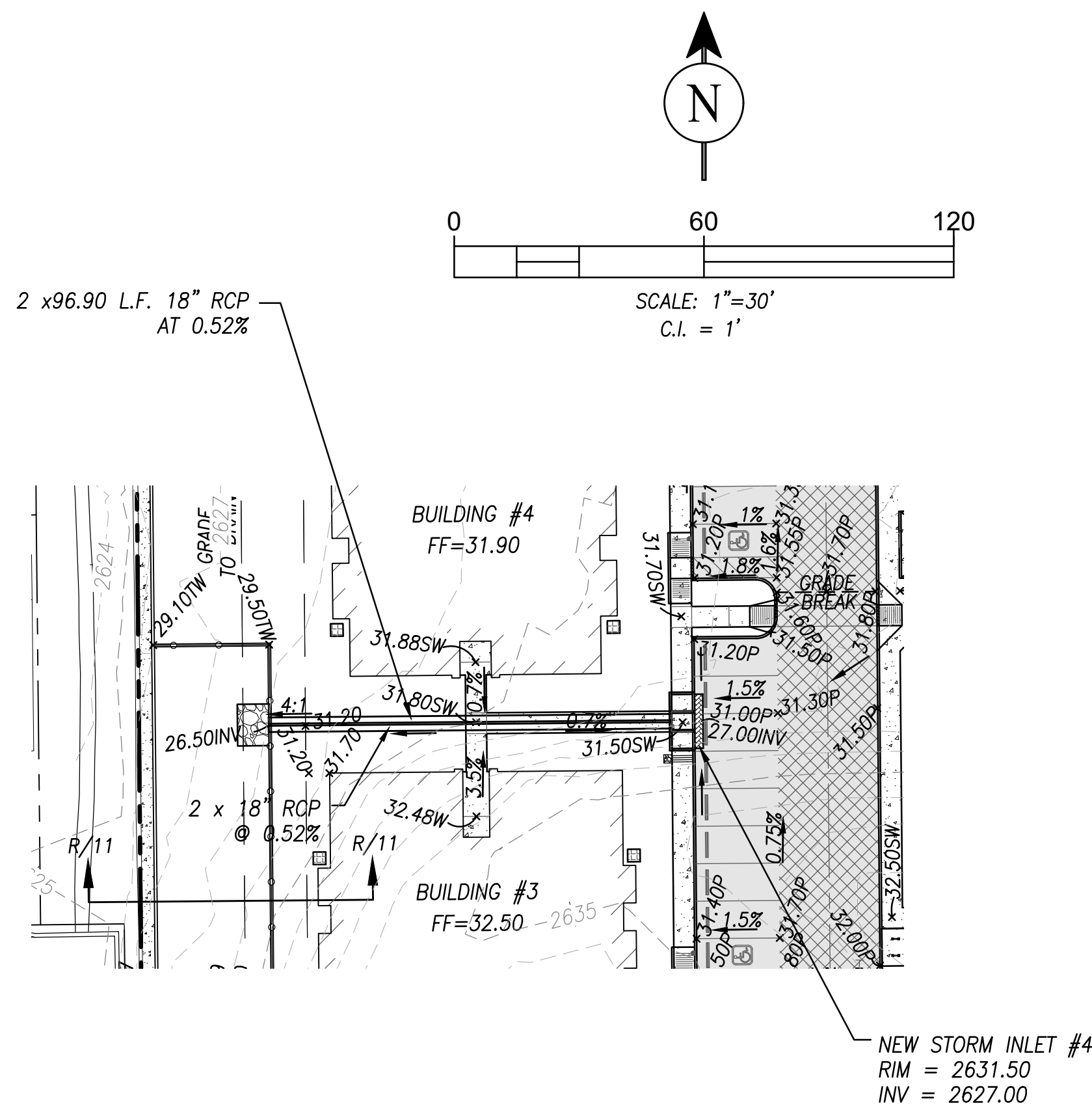
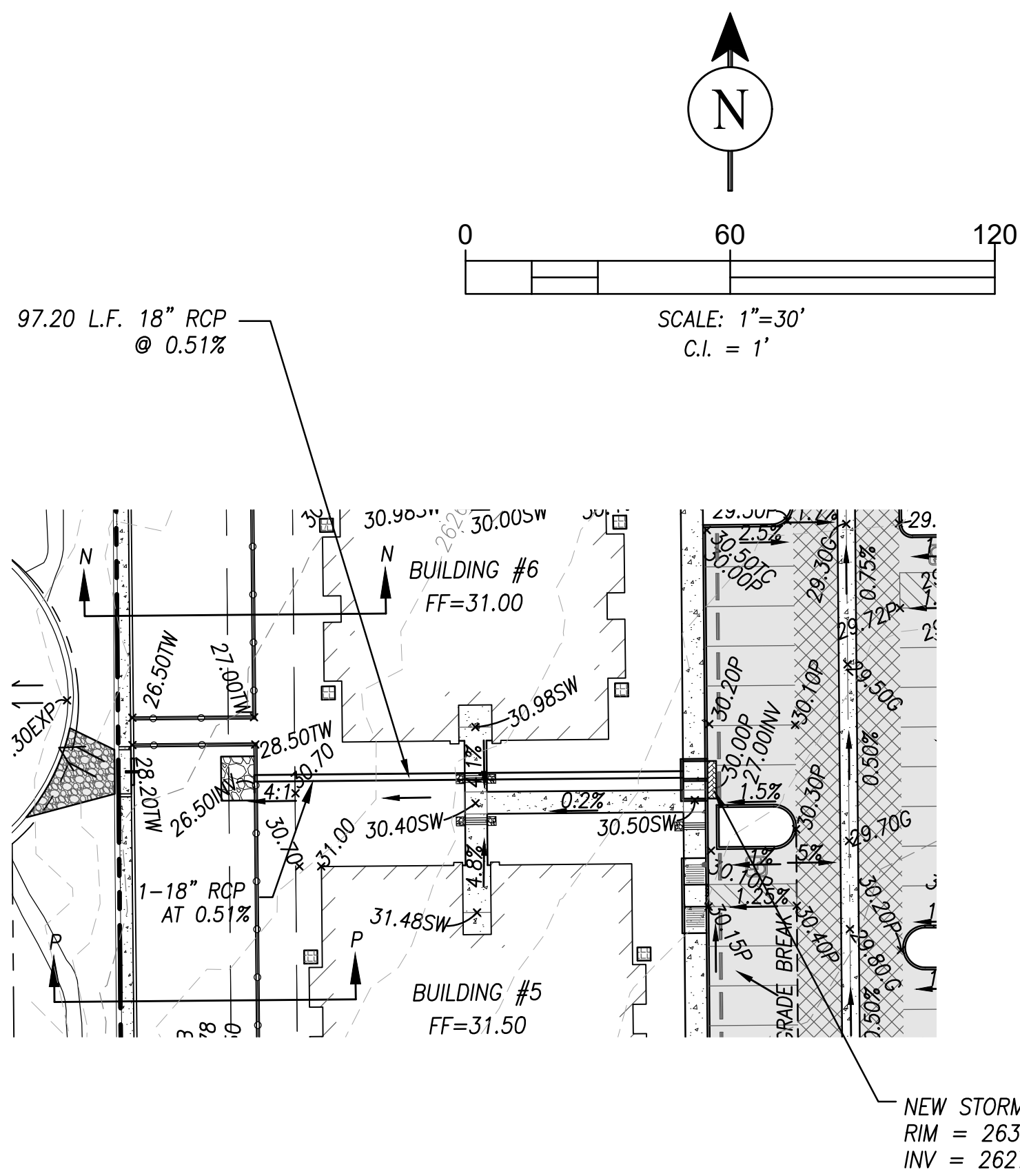
<div>USE OF THIS INFORMATION CONTAINED WITHIN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY PERRY ENGINEERING, LLC. PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.</div>		FINAL SITE AND IMPROVEMENT PLAN		PROJECT IS LOCATED IN		REV.	DATE	DESCRIPTION	CK	BY			
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STORM SEWER PROFILE							^	^					
LINDA VISTA LUXURY RENTALS							^	^					
ADDRESS: 9645 N. ORACLE ROAD, ORO VALLEY AZ 85704							^	^					
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CHK'D BY: GV,KP							^	^					
DATE: 11/11/2020							^	^					
PE JOB NUMBER: 19036							^	^					
CONTOUR INTERVAL: 1'							^	^					
SCALE: 1" = 30'							^	^					
SHEET NO.							^	^					
16		of 19											



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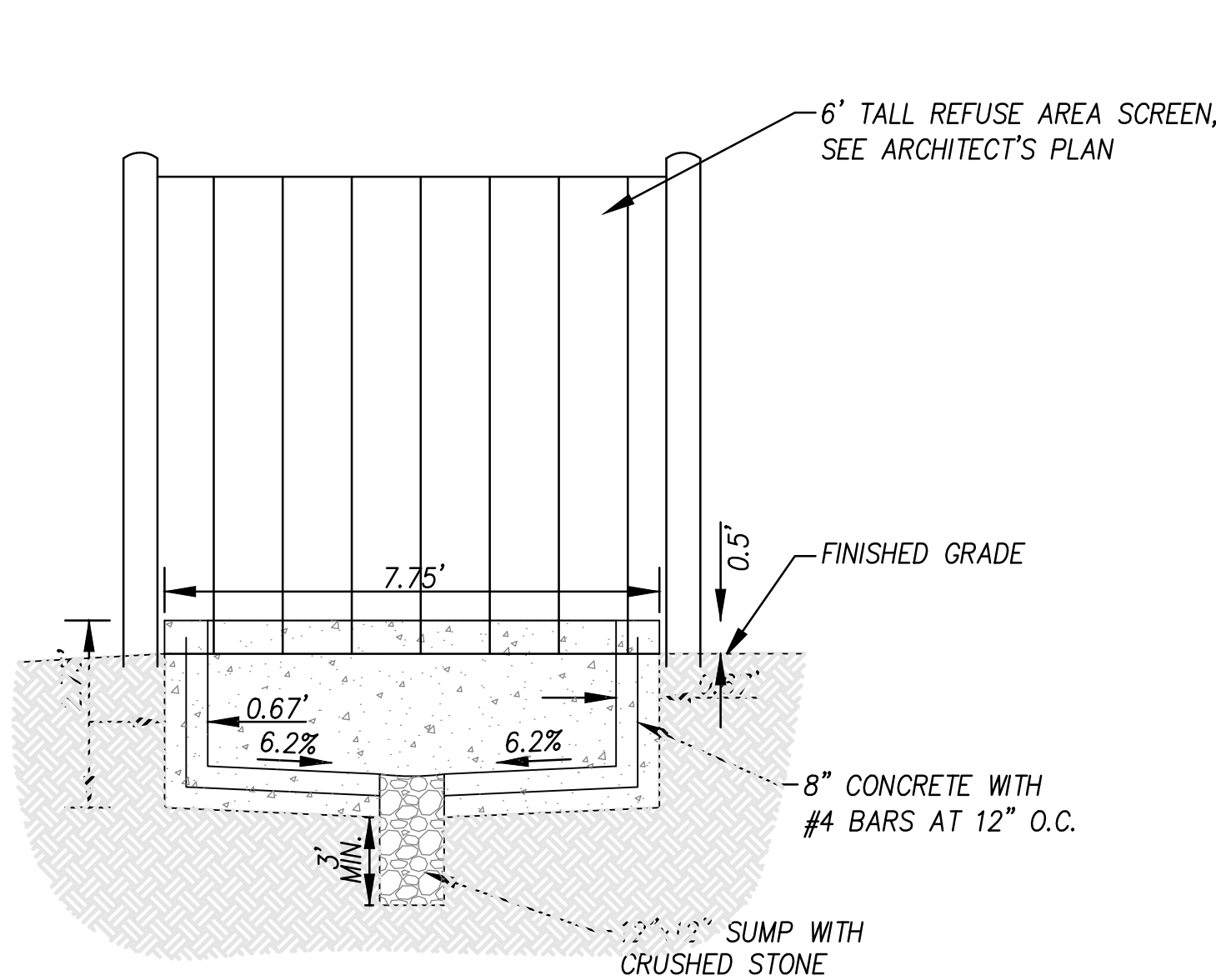
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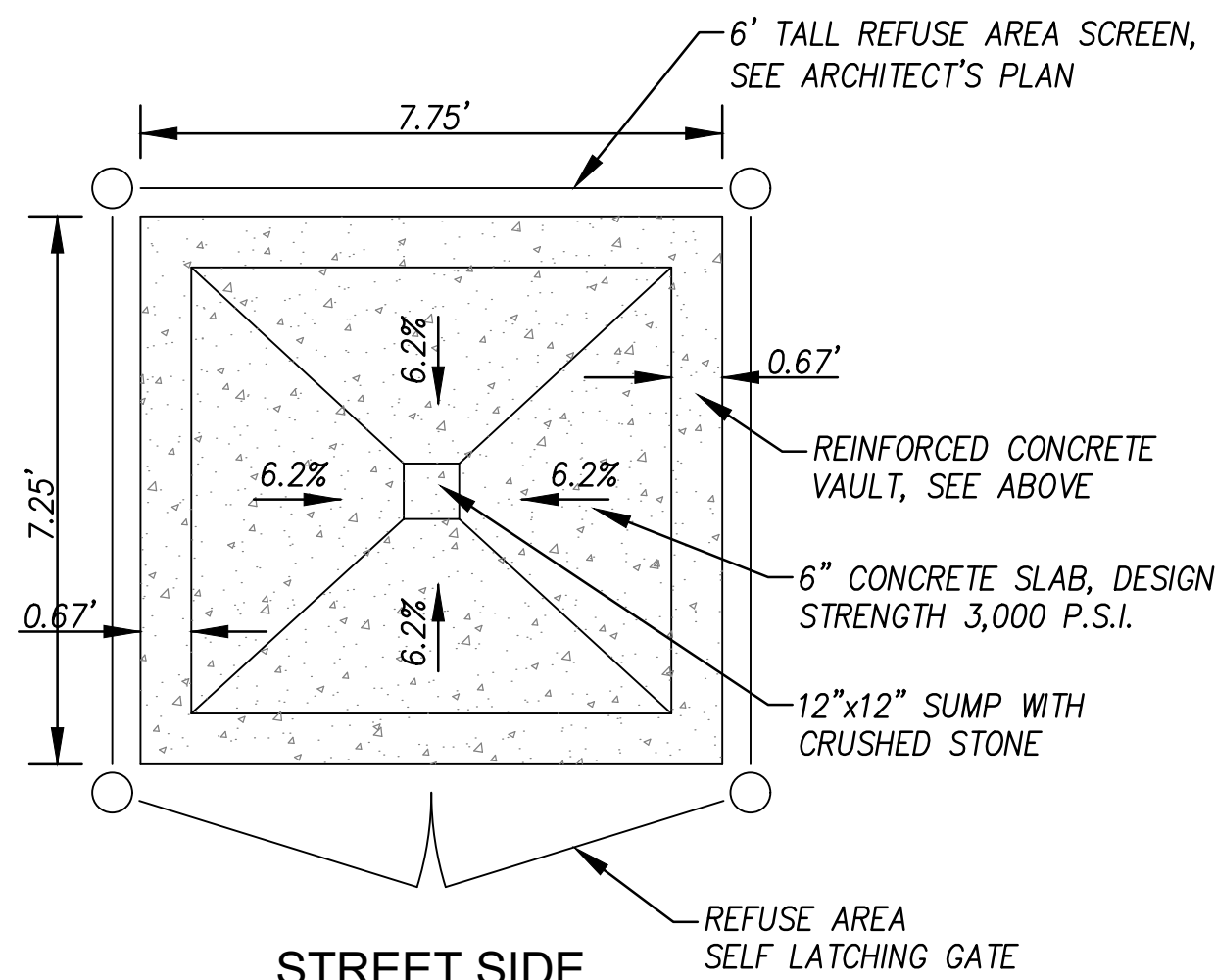
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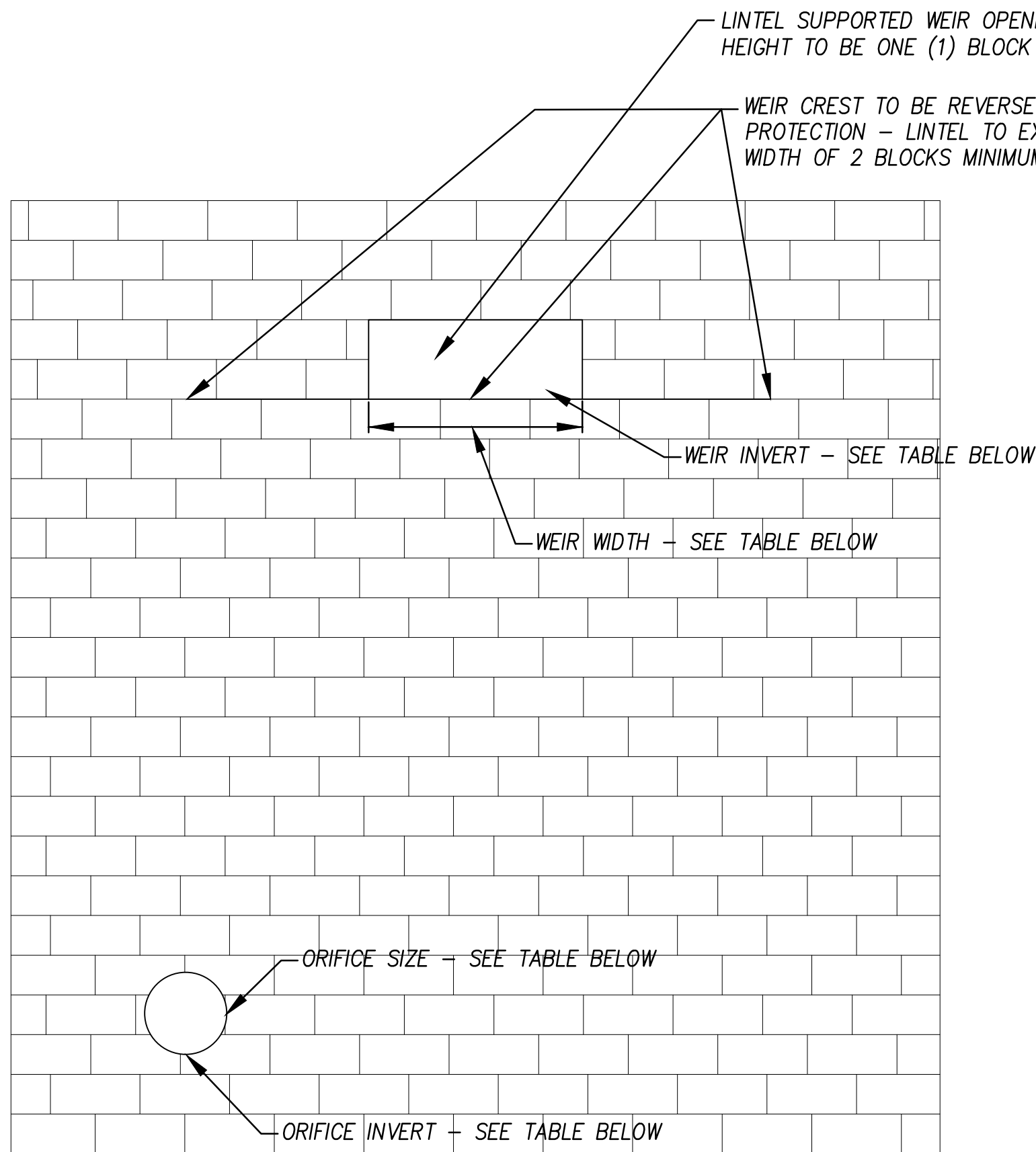


SECTION VIEW



STREET SIDE  
PLAN VIEW

A  
18 TRASH VAULT DETAIL  
NTS

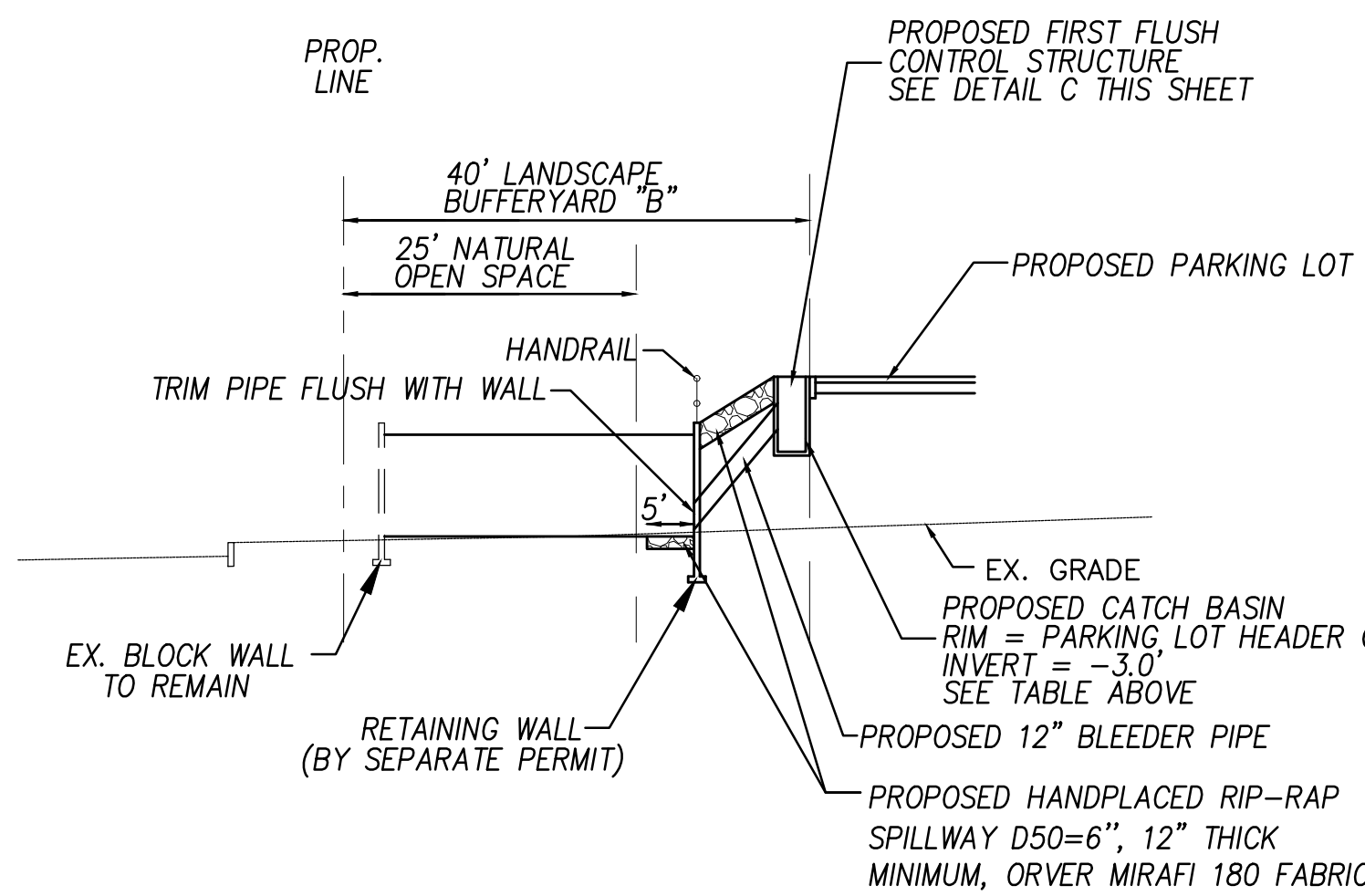


BASIN OUTLET SUMMARY TABLE

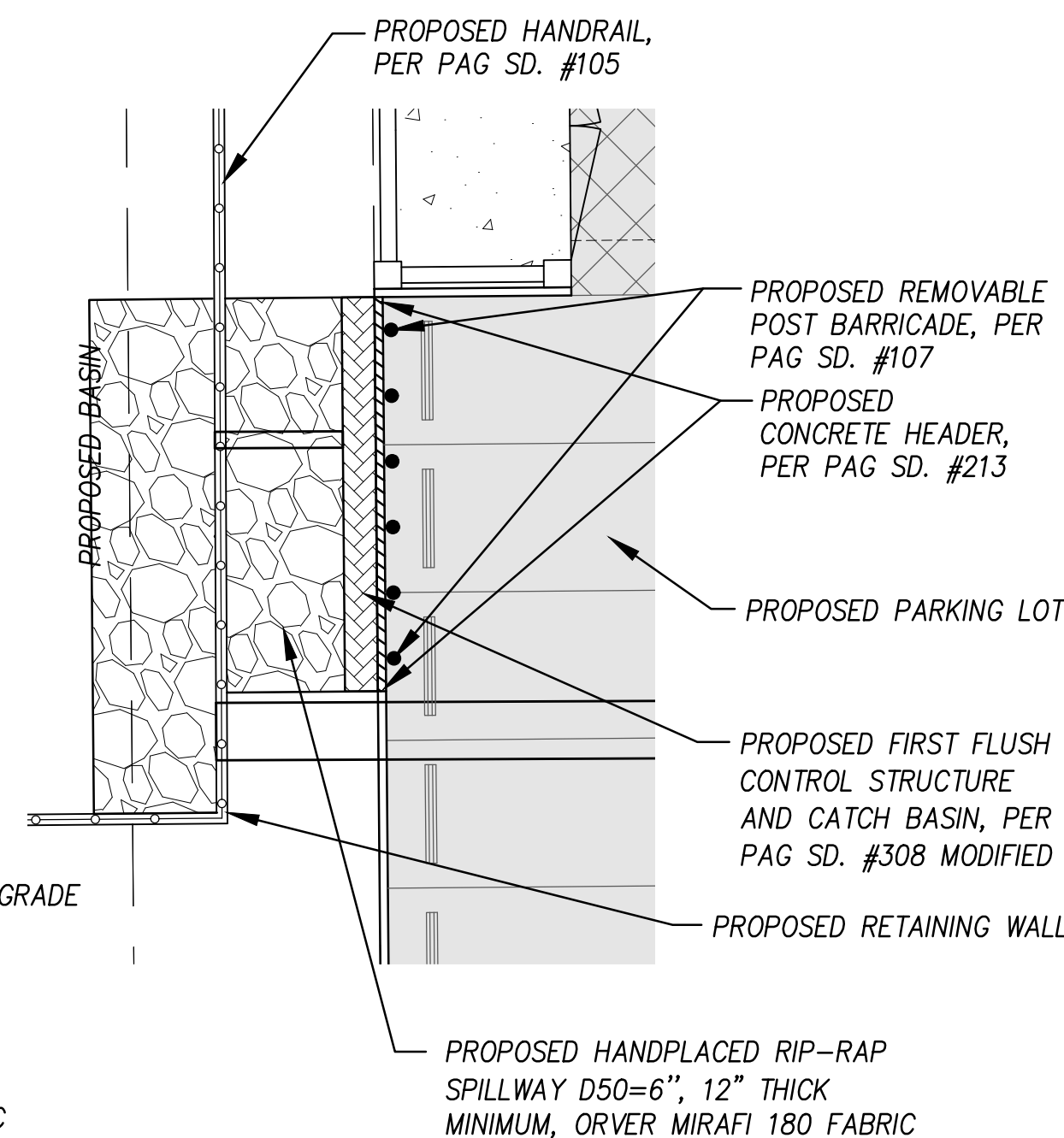
	BASIN INVERT	WEIR INVERT	WEIR WIDTH	ORIFICE INVERT	ORIFICE SIZE
BASIN 4A	26.50	28.25	6'	26.50	2 x 4"
BASIN 4B	26.50	27.70	6'	26.60	1 x 4"
BASIN 4C	21.00	24.00	3'	21.00	2 x 6"
NORTH BASIN*	21.50	24.00	4'	21.50	3 x 9"

\* WEIR AND ORIFICE OUTLETS AT DIFFERENT LOCATIONS PER PLAN

B  
18 BLOCK WALL WEIR DETAIL  
NTS



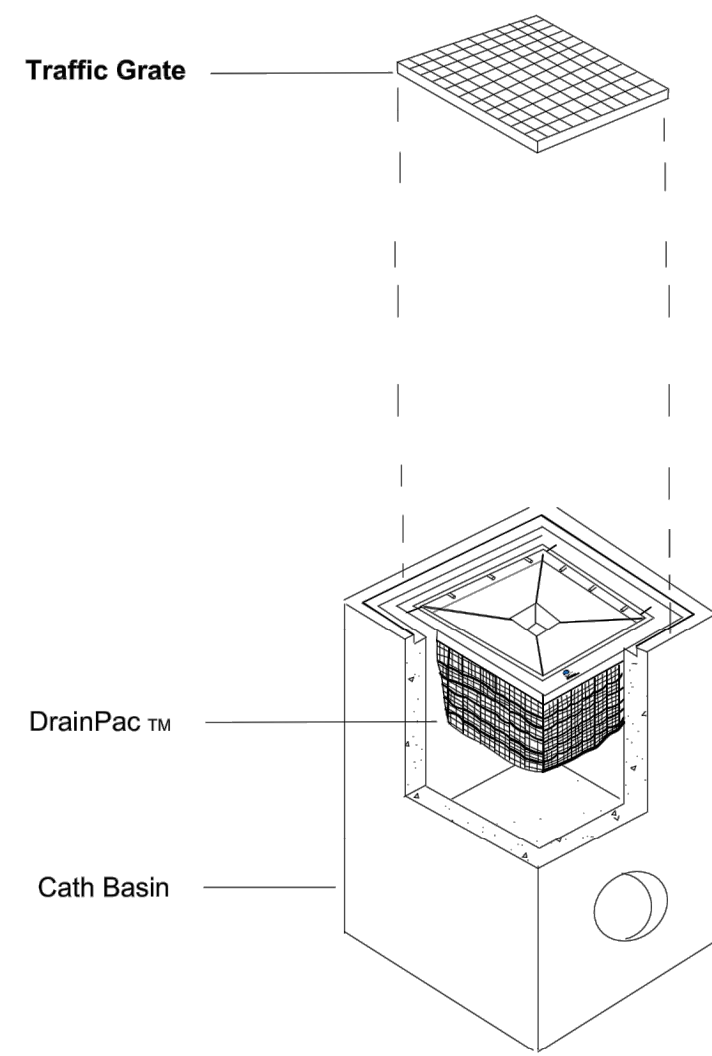
PROFILE VIEW



PLAN VIEW

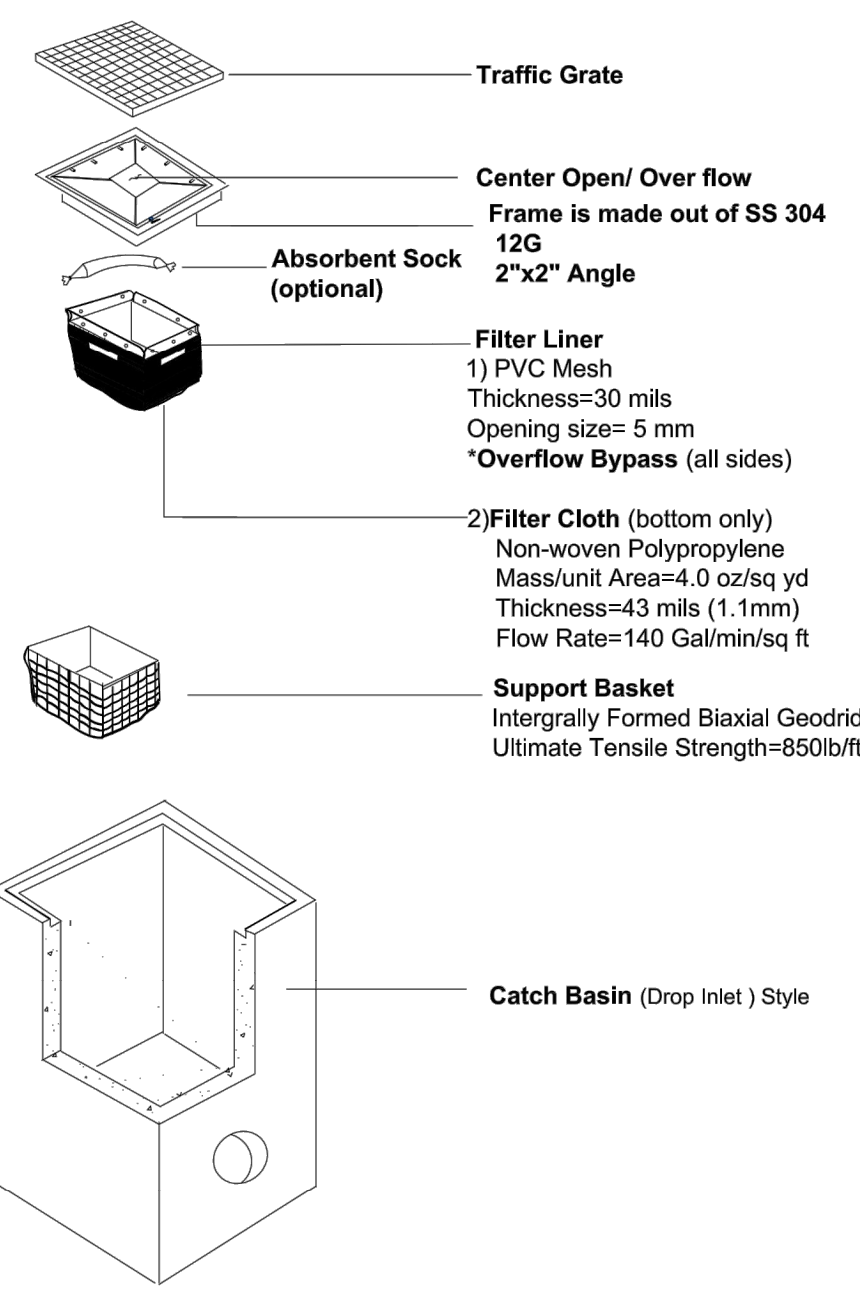
D  
18 TYPICAL PARKING LOT TO BASIN DETAIL  
SCALE: 1"=10'

MODEL DRAINPAC DROP INLET  
FLOW RATE = 140 GPM/SF, (0.31 CFS/SF)



INSTALLATION VIEW

Drawing Notes :  
1) DrainPac TM ,  
2) DrainPac TM install in drop inlet type basins are self supported filter inserts that will rest (gravity held) on the existing catch basin grate frame  
3) This product will aid in filtering constituents such as heavy metals, petroleum hydrocarbons, sediments, trash and debris



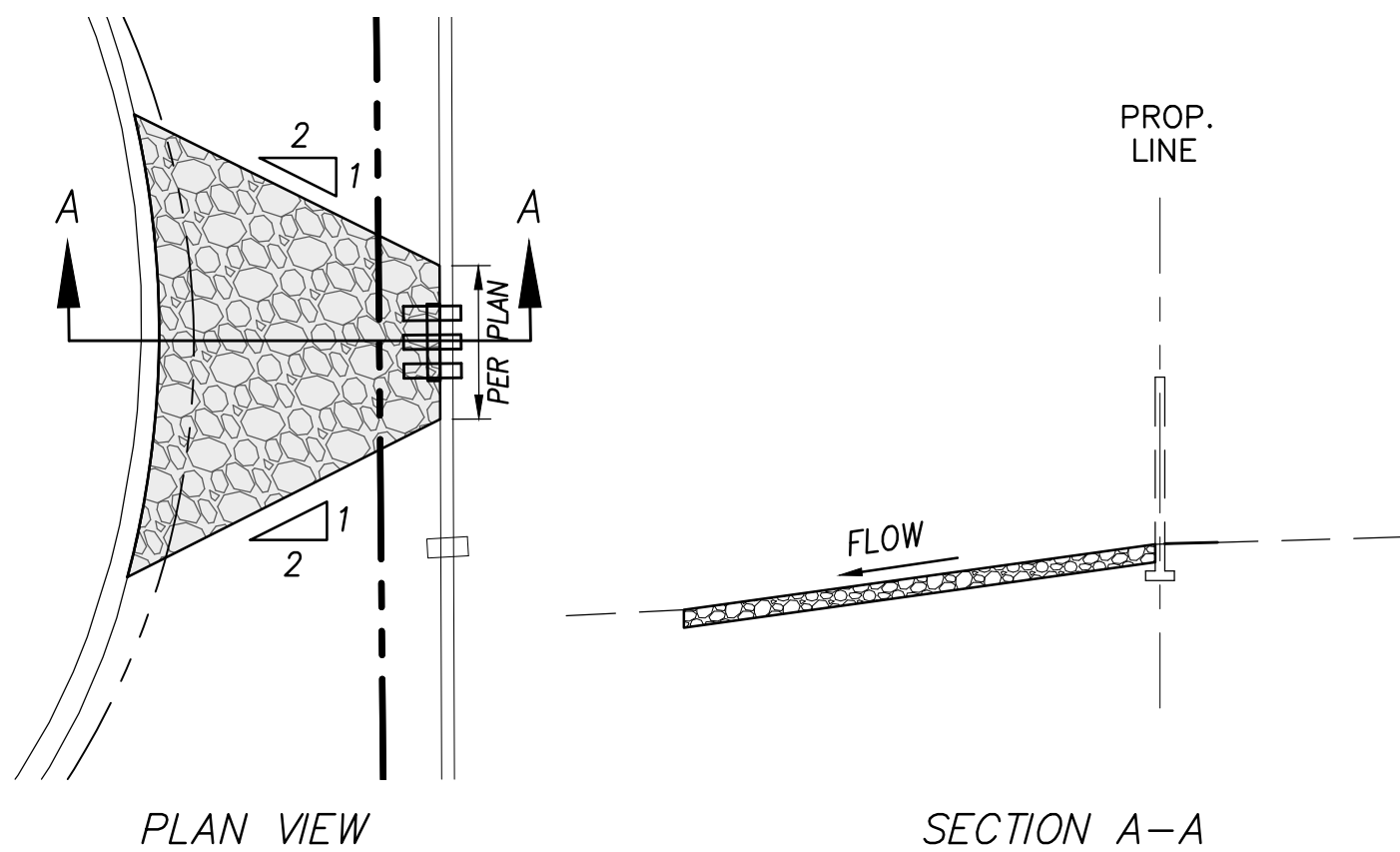
EXPLODED VIEW

DrainPac TM Installation Drawing: Drop Inlet  
UNITED STORM WATER, Inc.  
14000 E.Valley Blvd  
City of Industry, CA 91746  
Los Angeles: (877)717-8676  
San Diego: (866)440-2790  
www.unitedstormwater.com

C  
18 FIRST FLUSH CONTROL DETAIL  
NTS

CATCH BASIN OUTLET SUMMARY TABLE

	C-BASIN RIM	C-BASIN INV	12" OUTLET INV	12" BASIN INV	12" OUTLET LENGTH	CB L x W
NORTH P-LOT	27.10	23.80	24.80	21.70	8 LF	2' x 24'
MIDDLE P-LOT	27.10	23.80	24.80	21.70	9 LF	2' x 24'
SOUTH P-LOT	27.10	24.00	25.00	21.30	9 LF	2' x 24'



PLAN VIEW

SECTION A-A

GROUTED RIPRAP WITH NO VISIBLE MORTAR, EMBEDDED 1/2 D INTO 6" THICK CONCRETE WITH 6"x6" W2.1-W2.1 WOVEN WIRE FABRIC.

E  
18 TYPICAL GROUTED RIPRAP DETAIL  
NTS

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CK BY: [ ]  
REV. DATE: [ ]  
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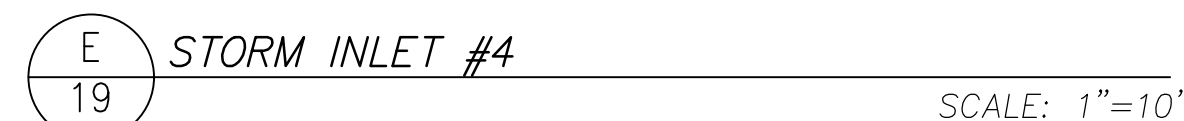
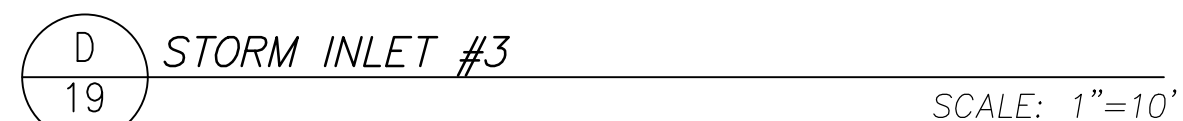
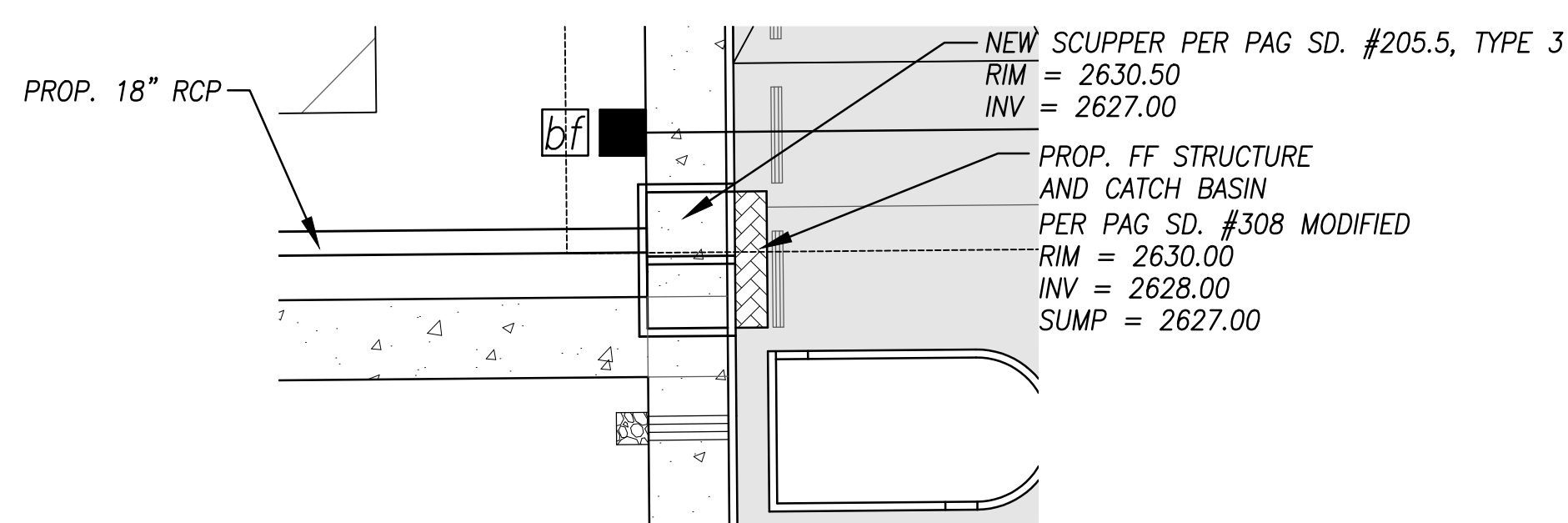
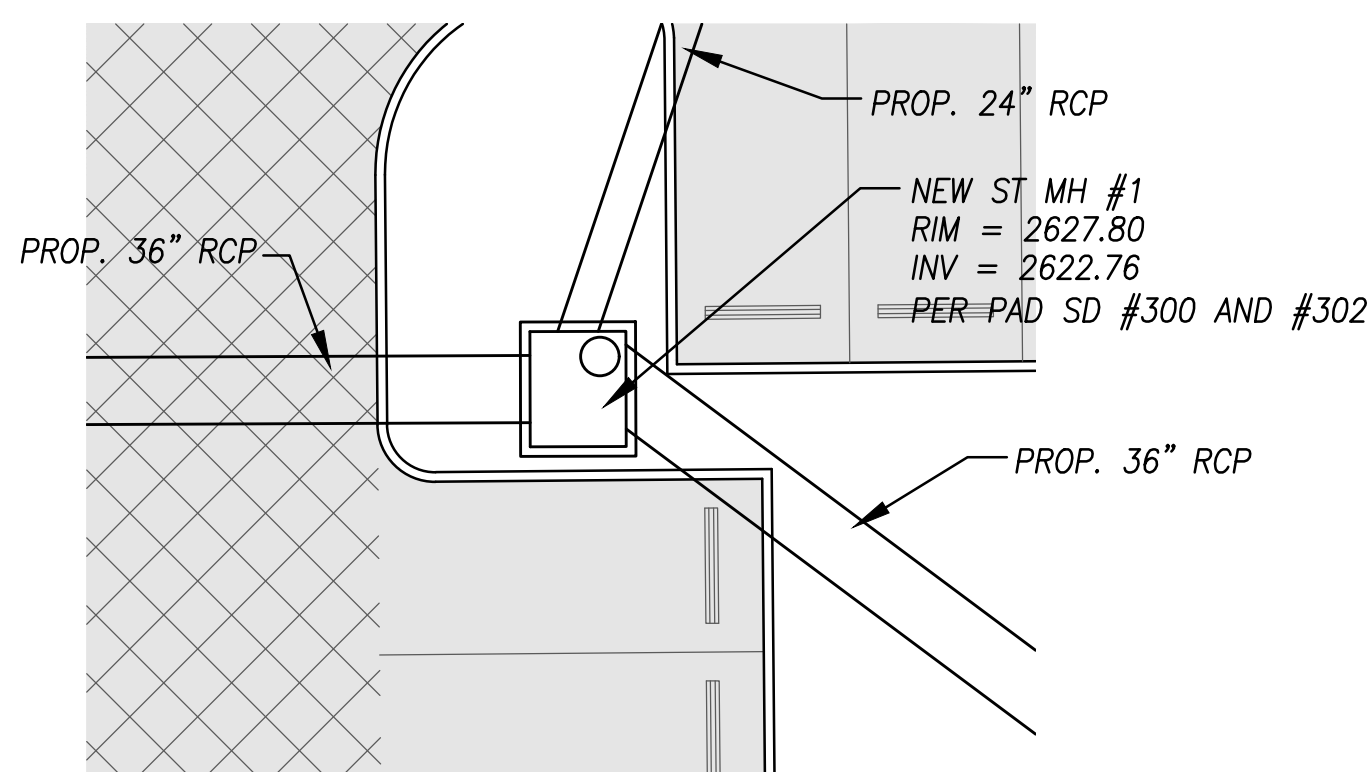
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CONSTRUCTION DETAILS  
PROJECT TITLE  
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PERRY ENGINEERING  
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DESIGN BY: DB  
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SHEET NO.

18 of 19





1902923

19 of 19