

GENERAL NOTES

1. EXISTING ZONING IS C-1 (COMMERCIAL DISTRICT) AND TP (TECHNOLOGICAL PARK).
2. THE BASIS OF BEARINGS FOR THIS PROJECT IS GEODETIC NORTH WHICH ESTABLISHES A BEARING FROM THE GLO BRASS DISC AT THE EAST QUARTER CORNER OF SECTION 34 TO THE BRASS DISC AT THE INTERSECTION OF THE CENTER LINE OF TANGERINE ROAD AND THE SOUTHERLY PROLONGATION OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 34 (BEING 7.8 FEET SOUTH OF THE UNMONUMENTED SOUTHEAST CORNER OF SAID SECTION 34) SOUTH 00°33'22"EAST.
3. THE BASIS OF ELEVATION FOR THIS PROJECT IS A 1/2"INCH REBAR AT THE SOUTHWEST CORNER OF THE INTERSECTION OF LA CANADA DRIVE AND TANGERINE ROAD, DESCRIBED AS BENCH MARK BM10 AT STATION 149+15.75 - 66.69' LEFT PER TOWN OF ORO VALLEY PLAN OF LA CANADA DRIVE PROJECT OV 30 04/05 27, ELEVATION BEING 2793.36 NAVD88 DATUM.
4. DEVELOPER WILL COVENANT TO HOLD TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
5. DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
6. ACCESS ACROSS FLOOD PRONE AREAS TO BUILDING SITES WILL BE APPROVED BY THE TOWN ENGINEER AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
7. DEVELOPMENT PLANS WILL BE SUBMITTED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. DESIGN SPEED IS 15 M.P.H., DESIGN VEHICLE IS SU-30.
9. APPROVED IMPROVEMENT PLANS AND APPROVED ASSURANCES WILL BE REQUIRED PRIOR TO ISSUANCE OF GRADING PERMITS.
10. THE WATER DISTRICT FOR THIS DEVELOPMENT IS THE ORO VALLEY WATER UTILITY COMPANY, WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
11. THE SEWAGE FROM THIS DEVELOPMENT WILL FLOW INTO THE SEWAGE SYSTEM OPERATED BY PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DISTRICT. THE PROJECT WILL BE CONNECTED TO THE EXISTING 8" SEWER MAIN IN TANGERINE ROAD.
12. THE ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED, THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.
13. ANY WASTEWATER DISCHARGE INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
14. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
15. MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SEWER IS THE RESPONSIBILITY OF THE PROPERTY OWNER OR BUSINESS OWNER'S ASSOCIATION.
16. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
17. DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMIT FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR THIS PROJECT.
18. A BUSINESS OWNER'S ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY AND LIABILITY OF PRIVATE DRAINAGE WAYS, DRAINAGE EASEMENTS, COMMON AREAS AND PRIVATE SEWERS.
19. ANY RELOCATION, MODIFICATION, ETC. OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
20. THE FOLLOWING UTILITIES WILL PROVIDE SERVICE TO THIS DEVELOPMENT:
- (A) ELECTRIC TUCSON ELECTRIC POWER COMPANY
- (B) GAS SOUTHWEST GAS COMPANY
- (C) WATER ORO VALLEY WATER UTILITY COMPANY
- (D) SEWER PIMA COUNTY REGIONAL WASTEWATER
- (E) TELEPHONE QWEST COMMUNICATIONS
- (F) FIRE PROTECTION GOLDER RANCH FIRE DEPARTMENT
- (G) CABLE TELEVISION COMCAST
21. THE PROPERTY OWNER, HIS SUCCESSORS OR ASSIGNS AGREE TO:
- 1) KEEP ALL REQUIRED LANDSCAPE AREAS MAINTAINED IN A WEED FREE, TRASH FREE CONDITION.
- 2) REPLACE ANY DEAD PLANT MATERIALS WITHIN 90 DAYS.
- 3) MAINTAIN THE IRRIGATION SYSTEM IN A PROPER WORKING ORDER.
22. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1,500 GPM FOR FIRE PROTECTION SHALL BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIALS.
23. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
24. AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT EACH BUILDING.
25. WATER SERVICE WILL BE PROVIDED BY ORO VALLEY WATER UTILITY.
26. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION SHALL BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
27. THE PARKING AND LOADING SPACES PROVIDED WITHIN THE MASTER DEVELOPMENT PLAN, AS REFLECTED IN THE SPACES PROVIDED WITHIN INDIVIDUAL LOTS AND WITHIN COMMON AREAS, SHALL MEET THE PARKING AND LOADING ZONE REQUIREMENTS OF CHAPTER 27 OF OVZCR FOR THE USES SHOWN ON THE PLAN. AS THE INDIVIDUAL LOTS ARE DEVELOPED PER AN APPROVED DEVELOPMENT PLAN, THE MASTER DEVELOPMENT PLAN SHALL BE AMENDED AND UPDATED, AS APPROPRIATE, TO REFLECT THE BUILD-OUT OF THE PROJECT OVER TIME AND EACH ITERATION SHALL MEET THE PROVISIONS OF CHAPTER 27, OR THE APPLICANT SHALL FOLLOW THE STANDARD PROCEDURES FOR SEEKING AND JUSTIFYING A VARIANCE.
28. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALLOCATING 1% OF THE CONSTRUCTION COST TO PROVIDE FUNDING FOR PUBLIC ART.
29. THE REQUIRED OFF-SITE PUBLIC SANITARY SEWER LINE BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT STANDARDS.

NOTES AND CALCULATIONS

1. GROSS AREA OF THE DEVELOPMENT IS: 913,461 SF OR 20.97 AC
2. PROPOSED USE: INSTITUTIONAL - LEMAN ACADEMY K-12
PERSONAL STORAGE (CUP 2200864)
MEDICAL & PROFESSIONAL OFFICES, BANK
RESTAURANT & RETAIL
- OCCUPANCY GROUP:
TYPE OF CONSTRUCTION: I1-B & V-B
3. TOTAL AREA OF OPEN SPACE : 49,906 SF MIN FOR C1 & 164,226 SF MIN FOR TP
PERCENT OF OPEN SPACE: 20% FOR C-1 & 25% FOR TP

REVISED MASTER DEVELOPMENT PLAN FOR
MILLER RANCH
OV - - - -

CAP STORAGE

(PROPOSED DEVELOPMENT)

ASSESSOR PARCEL NUMBER:	219-47-018B	
ZONE:	T-P	
GROSS SITE AREA:	2.53 AC	
PROPOSED USE:	SELF-STORAGE RETAIL (4,208 SF)	
	108,705 SF (3 STORIES x 36,235 SF)	
	REQUIRED/ALLOWED	PROPOSED
BUILDING AREA:		
SITE/LOT AREA:	2.53 ACRES	
BUILDING HEIGHT (H):	34' MAX IN T-P	34' MAX IN T-P
SETBACK:		
NORTH: INTERNAL	--	--
EAST: LA CANADA DRIVE	40'	40' MIN
SOUTH: INTERNAL	--	--
WEST: R1-144 ADJACENT TO TP	102'	102' MIN
LANDSCAPE BUFFERYARDS:		
NORTH: INTERNAL	--	--
EAST: LA CANADA DRIVE	30'	30' MIN TYPE "B"
SOUTH: INTERNAL	--	--
WEST: R1-144	0'	15' WASH PROTECTION APRON & RESTORED WASH
PARKING AND LOADING SPACES CALCULATIONS:		
	PARKING REQUIRED	PARKING PROVIDED
VEHICLE:		
SELF-STORAGE		
1 SPACE / 50 UNITS x 534 UNITS	11 SPACES	
RETAIL		
4,208 SF @ 4 SPACES / 1,000 SF	17 SPACES	
TOTAL		
	28 SPACES	28 SPACES
HANDICAP: 25 TO 50 SPACES	2 SPACES	2 SPACES
VAN ACCESSIBLE = 1 PER 8 HC SPACES =	1 SPACE	1 SPACE
BICYCLE (1 PER EACH 20 SPACES REQUIRED)	2 SPACES	2 SPACES
		(ALL CL 11)
LOADING SPACES ARE PROVIDED INSIDE THE BUILDING ALONG THE VEHICLE PASSAGE LANE		

COMMERCIAL DEVELOPMENT (FUTURE)

ASSESSOR PARCEL NUMBER:	219-47-017C, 017D, 017E, & 017F	
ZONE:	C-1	
GROSS SITE AREA:	5.06 AC	
PROPOSED USE:	BANK, RESTAURANT, & RETAIL	
TOTAL AREA OF OPEN SPACE :	49,906 SF (20%) MIN FOR C1	
BUILDING AREA:		
BUILDING 1	4,200 SF	BANK
BUILDING 2	9,000 SF	RETAIL/RESTAURANT
BUILDING 3	6,000 SF	RETAIL/RESTAURANT
BUILDING 4	4,800 SF	RETAIL/RESTAURANT
TOTAL	24,000 SF	
	REQUIRED/ALLOWED	PROPOSED
SITE/LOT AREA:		20.4 ACRES
FAR:	0.30	0.11
BUILDING HEIGHT (H):	25' MAX IN C-1	25' MAX IN C-1
SETBACK:		
NORTH: INTERNAL	--	--
EAST: LA CANADA DRIVE	40'	40' MIN
SOUTH: TANGERINE ROAD	50'	50' MIN
WEST: R1-144 ADJACENT TO C-1	75'	75' MIN
LANDSCAPE BUFFERYARDS:		
NORTH: INTERNAL	--	--
EAST: LA CANADA DRIVE	30'	30' MIN TYPE "B"
SOUTH: TANGERINE ROAD	30'	30' MIN TYPE "B"
WEST: R1-144	0'	15' WASH PROTECTION APRON & RESTORED WASH
PARKING AND LOADING SPACES CALCULATIONS:		
	PARKING REQUIRED	PARKING PROVIDED
VEHICLE:		
BANK		
4,200 SF @ 3.5 SPACES/1,000 SF	15 SPACES	
RETAIL		
10,800 SF @ 4 SPACES/1,000 SF	43 SPACES	
RESTAURANT		
9,000 SF @ 10 SPACES/1,000 SF	90 SPACES	
	TOTAL =	148 SPACES
HANDICAP: 101 TO 150 SPACES	5 SPACES	10 SPACES
VAN ACCESSIBLE = 1 PER 8 HC SPACES =	2 SPACES	2 SPACES
BICYCLE(1 PER EACH 20 SPACES REQUIRED)	7 SPACES	8 SPACES
(10% CLASS 1, 90% CLASS 11)		(2 CL 1, 6 CL 11)
LOADING SPACES: 12' x 35'		
RESTAURANT 9,600 SF	1 SPACE	1 SPACE
RETAIL 10,800 SF	1 SPACE	1 SPACE

OWNER/DEVELOPER
CAP STORAGE

CAP STORAGE, TANGERINE, LLC
C/O CENTENNIAL AMERICAN PROPERTIES
P.O. BOX 10588
GREENVILLE, SC 29603
PHONE: (864) 271-3894
ATTN: JASON TANKERSLEY
jasont@capllc.com

OWNER/DEVELOPER
LEMAN ACADEMY

LEMAN ACADEMY OF EXCELLENCE, L.L.C.
7720 NORTH SILVERBELL ROAD
TUCSON, AZ 85743
PHONE (520) 639-8080
ATTN: JOE HIGGINS
jhiggins@lemanacademy.org

LEMAN ACADEMY (EXIST)

ASSESSOR PARCEL NUMBER:	219-47-006A	
ZONE:	T-P	
GROSS SITE AREA:	8.63 AC	
PROPOSED USE:	INSTITUTIONAL - LEMAN ACADEMY K-12	
BUILDING AREA:	65,892 SF	
COVERED PATIO AREA:	1,629 SF	
PLAYGROUND AREA:	49,771 SF	
PARKING AND LOADING SPACES CALCULATIONS:		
	PARKING REQUIRED	PARKING PROVIDED
VEHICLE:		
SCHOOL		
1 SPACE / 4 SEATS = 936 / 4 =	234 SPACES	
2 SPACES/ 3 EMPLOYEES = 80*2/3 =	54 SPACES	
TOTAL		
	288 SPACES	219 SPACES
HANDICAP: 201 TO 250 SPACES	7 SPACES	10 SPACES
VAN ACCESSIBLE = 1 PER 8 HC SPACES =	2 SPACES	2 SPACES
BICYCLE(1 PER EACH 20 SPACES REQUIRED)	14 SPACES	20 SPACES
(10% CLASS 1, 90% CLASS 11)		(2 CL 1, 18 CL 11)
LOADING SPACES: 12' x 35'	NONE	NONE

LEGEND - CONTINUED

ITEM	STANDARD DETAIL	SYMBOL
EXIST RIGHT-OF-WAY		---
GRADING LIMIT		---
SECTION LINE		---
PROPOSED SEWER W/CLEANOUT		○
SEWER KEYNOTES		◇
ROADWAY CENTERLINE		---
TELEPHONE PEDESTAL		Ⓣ
TRAFFIC DIRECTIONAL SIGN		ⓐ
DETAIL REFERENCE	A = DETAIL IDENTIFICATION, 1 = SHEET SHOWING DETAIL	ⓐ
GROUTED RIP RAP		ⓐ
DETAIL CROSS SECTION		ⓐ
BASIS OF ELEVATION		★
CAR POOL SIGN		ⓐ
INVERT ELEVATION		IE
TOP OF GRATE		TG
FLOW LINE		FL
FINISH SURFACE		FS
RECLAIMED WATER		RW
SIGHT VISIBILITY TRIANGLE		SVT
FINISH GRADE (1)		FG(1)
FINISH GRADE (2)		FG(2)
OVER HANG		OH
WATER HARVESTING AREAS		ⓐ

ACCEPTED

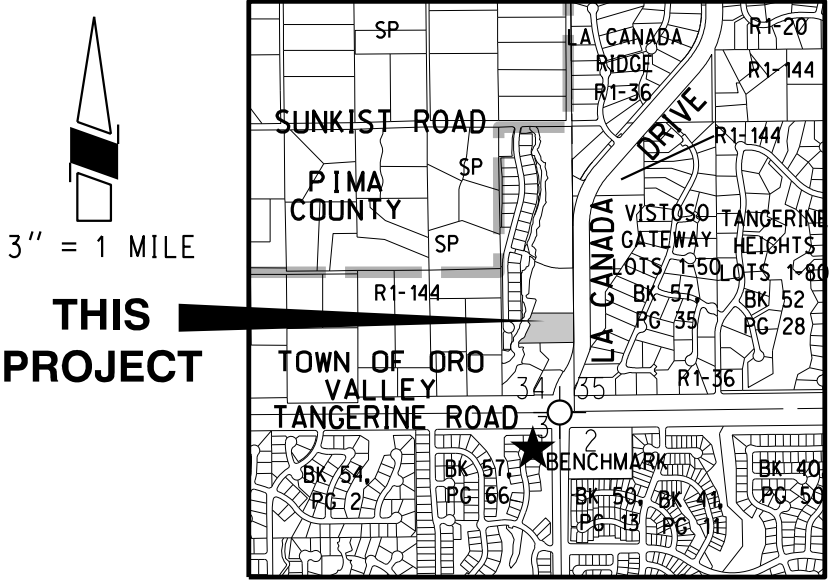
I _____, TOWN CLERK, TOWN OF ORO VALLEY, AZ DO
HEREBY CERTIFY THAT THE DEVELOPMENT PLAN FOR
WAS APPROVED BY THE MAYOR AND COUNCIL ON THE _____ DAY OF _____, 2025.
DATED THIS DAY OF _____, 2025.

ORO VALLEY TOWN CLERK

PIMA COUNTY WASTEWATER APPROVAL

ASSESSOR'S PARCEL NO.

PARCEL NO'S. 219-47-004B, 219-47-004C, 219-47-004A,
219-47-0050, 219-47-0060, 219-47-017A, 219-47-018A



LOCATION MAP
A PORTION OF SECTION 34, T 11 S, R 13 E
G & SRM
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

OWNER/DEVELOPER
REMAINING PARCELS

DESCO - MILLER, LLC, AN ARIZONA
LIMITED LIABILITY COMPANY
1795 EAST SKYLINE DRIVE SUITE 193
TUCSON, ARIZONA 85718
PHONE: (520) 297-8929
ATTN: JAMES HARDMAN

LEGEND

ITEM	STANDARD DETAIL	SYMBOL
A.C. PAVING (REGULAR)	SEE DETAIL B, SHEET 3	---
CONCRETE PAVING	SEE DETAIL C, SHEET 3	---
6" VERTICAL CURB (TYPE 2)	SD 209	---
6" x 12" CONCRETE HEADER	-SD 213	---
6" CURB AND GUTTER	SD 209	---
INTERIM EXTRUDED CURB		---
PROPERTY LINE		---
LANDSCAPE BUFFERYARD LIMITS		---
BUILDING SETBACKS		---
EASEMENT BOUNDARY		---
EXIST CONTOUR LINE		---
EXIST SPOT ELEVATION		x 2751.1
FINISHED SURFACE ELEVATION		FS 52.00
HIGH POINT		HP
LOW POINT		LP
TOP OF WALL		TW 64.0
FINISH FLOOR ELEVATION		FFE 57.00
EXIST PAVEMENT EDGE		---
EXIST PUBLIC SEWER LINE W/MH		○ S
EXIST WATERLINE W/VALVE		⊗ W
EXIST WATERLINE TO BE ABANDONED		--- W ---
EXIST UNDERGROUND ELECTRIC LINE		---
EXIST GAS LINE		---
EXIST TELEPHONE/TV CABLE LINE		--- TEL / CATV ---
EXIST OVERHEAD ELECTRIC LINE		--- OHE ---
EXIST FIBER OPTICS LINE		--- F / O ---
PROPOSED STORM DRAIN W/MH		○ S
PROPOSED PRIVATE SEWER W/MH		⊗
PROPOSED PUBLIC SEWER W/MH		⊗
FLOW ARROW		→
FLOW CONDITIONS		Q100 = cfs
FLOW ARROW FOR Q100 = DISCHARGE		→
OPEN SPACE		---
PARKING SPACES PROVIDED		5
HANDICAP PARKING		ⓐ
RETAINING WALL		---
SCREENWALL		---
PROPOSED SLOPE		---
CURB ACCESS RAMP	-SD 207(UNLESS OTHERWISE NOTED)	---
CONCRETE SIDEWALK	SD 200	---
CLASS I BICYCLE PARKING		---
CLASS II BICYCLE PARKING		---
SIGHT VISIBILITY TRIANGLE		---
PROTECTIVE BARRICADE RAILING		---
SUB-WATERSHED BOUNDARIES		---
RIPARIAN APRON		---
100 YR FLOOD PRONE LINE		---
BUILDING EROSION SETBACK LINE		---
EXISTING FENCE		---
CHANNEL CROSSING - SECTIONAL INDICATOR		ⓐ



REVISED MASTER DEVELOPMENT PLAN FOR

MILLER RANCH

BEING A PORTION OF THE SOUTHEAST QUARTER OF
SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA &
SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.
OV - - - - -
OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

SCALE: N/A

CONTOUR INTERVAL= N/A

SHEET 1 OF 11

07-OCT-2025

14:52



RICK

520-795-1000
rickengineering.com

3945 E FORT LOWELL RD #111
TUCSON, AZ 85712

J-5575

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER



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3945 E FORT LOWELL RD #111
TUCSON, AZ 85712

J-5575

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

NAME	LINE TABLE			LENGTH
	DIRECTION			
L1	S	30° 14' 08"	W	53.54
L2	N	59° 45' 52"	W	5.00
L3	S	30° 14' 08"	W	50.00
L4	S	89° 24' 10"	W	44.48
L5	S	0° 33' 22"	E	60.00

NAME	CURVE TABLE		ARC
	DELTA	RADIUS	
C1	30°47'31"	483.23	259.70
C2	16°27'50"	638.15	183.37

SIGHT VISIBILITY TRIANGLES (SVT)

LOCATION	SPEED	FAR SIDE	NEAR SIDE
TANGERINE ROAD	45MPH (POSTED)	15' x 470'	15' x 600'
LA CANADA DRIVE	40MPH (POSTED)	15' x 370'	15' x 480'
PAAL'S (MAJOR)		10' x 70'	10' x 100'
PAAL'S (MINOR)		10' x 30'	10' x 30'
RAISED MEDIAN ISLANDS		15' x 30'	



REVISED MASTER DEVELOPMENT PLAN FOR

MILLER RANCH

OV-----
OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

BEING A PORTION OF THE SOUTHEAST QUARTER OF
SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA &
SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.

SCALE: 1" = 100' CONTOUR INTERVAL = 1'

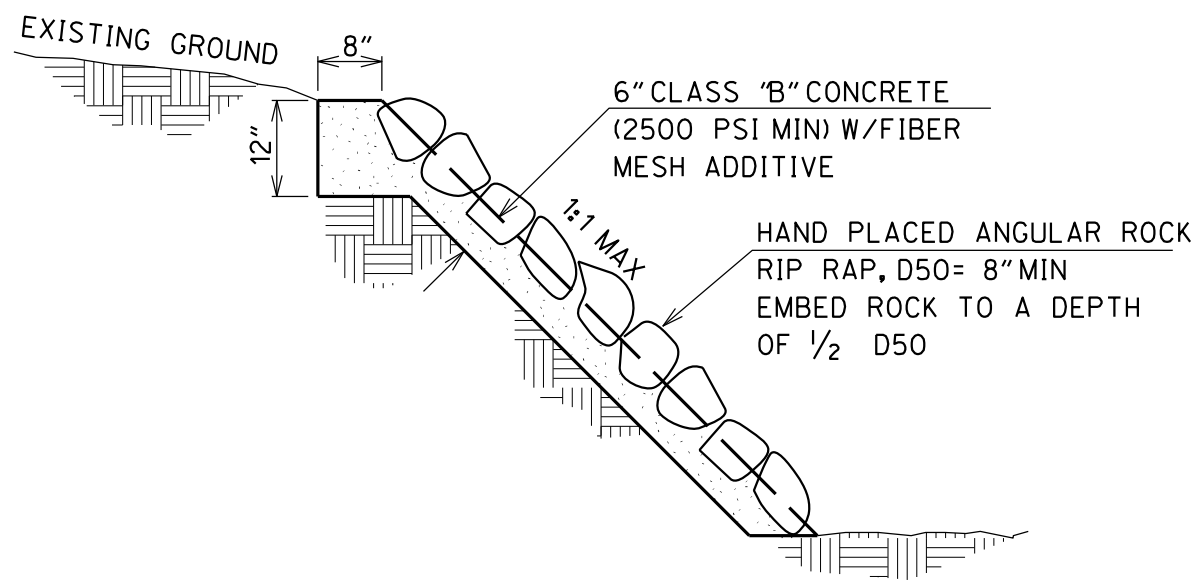
SHEET 2 OF 11

07-OCT-2025

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REZONING CONDITIONS

1. LABEL THE AREA ADJACENT TO THE ROUNDABOUT ALONG THE WEST SIDE OF THE PROPERTY TO SPECIFY THAT A FUTURE CONNECTION TO THE EXISTING RESIDENTIAL HOMES (WEST OF THE WASH. PARCELS 219-470-04B, 04C, 04A, 050 AND 1 70A) WILL BE ACHIEVED VIA A CROSS-ACCESS EASEMENT.
2. BECAUSE THE NEW REZONING DOES NOT APPEAR TO FOLLOW ANY KNOWN PROPERTY BOUNDARIES, A RECORDABLE EXHIBIT WHICH DELINEATES THE RE-ZONING BOUNDARY LINE IN A SURVEYABLE METES & BOUNDS MUST BE PROVIDED PRIOR TO REVIEW BY MAYOR AND COUNCIL.
3. PART 1-C HYDROLOGY, PROVIDE DETAILS FOR PEAK DISCHARGES USING APPROXIMATE METHODS SUCH AS THE REGIONAL AREA VERSUS DISCHARGE GRAPHS. PROVIDING JUST A SUMMARY TABLE IS NOT ADEQUATE. PLEASE PROVIDE REVIEWING STAFF WITH THE SUPPLEMENTAL BACK-UP DATA AND REFER TO SAID DATA IN THE TEXT OF THE REPORT.
4. RESTORATION OF THE ENTIRE WASH ABUTTING THE LENGTH OF THE WEST SIDE PROPERTY LINE MUST ACHIEVE THE FOLLOWING:
 - A. MIMIC ONSITE RIPARIAN CONDITIONS EXISTING PRIOR TO DISTURBANCE TO CREATE A NATURAL RIPARIAN HABITAT.
 - B. PROVIDE DENSE QUALITIES OF DESERT NATURAL VEGETATION, SPECIFICALLY FROM ON SITE VEGETATION.
 - C. A RESTORATION PLAN WILL BE REVIEWED AS PART OF THE DEVELOPMENT PLAN PROCESS.
5. THE FOLLOWING ORO VALLEY WATER UTILITY COMMENTS MUST BE ACHIEVED:
 - A. ANY AND ALL WELLS ON THE ENTIRE PROPERTY WILL BE ABANDONED PER ADWR STANDARDS.
 - B. ANY GROUNDWATER RIGHTS ASSOCIATED WITH THE PROPERTY WILL BE EXTINGUISHED THROUGH ADWR AND DOCUMENTATION OF THIS TO BE SUPPLIED TO OVWU.
 - C. A 20 FOOT BY 20 FOOT SITE WILL BE DEDICATED TO OVWU FOR A PRESSURE REDUCING VALVE STATION (PRVS) WITHIN THE WESTERN PORTION OF THE COMMERCIAL DEVELOPMENT, ALONG THE ALIGNMENT OF THE INTERNAL WATER MAIN. THE PRVS SHALL BE THE APPLICANT'S RESPONSIBILITY TO CONSTRUCT ALONG WITH THE ONSITE WATER MAIN LOOP.
 - D. A 12 INCH WATER MAIN WILL BE INSTALLED FROM NORTH TO SOUTH ALONG THE WESTERN PAAL WITHIN THE COMMERCIAL DEVELOPMENT. THIS IS IN ADDITION TO THE 8 INCH LOOPS WHICH WILL SURROUND THE BUILDING GROUPS AND CONNECT TO THE AFOREMENTIONED 12 INCH MAIN.
 - E. THE EXISTING 16 INCH MAIN IN THE TANGERINE ROAD RIGHT OF WAY WHICH THIS DEVELOPMENT BORDERS SHALL BE CONNECTED TO AND EXTENDED ON TO THIS PROPERTY AND TO THE WESTERN PROPERTY LINE, 7.5 NORTH OF THE RW LINE. A 15 FOOT EASEMENT SHALL BE PROVIDED TO THE OVWU FOR THIS AND ALL MAINS. THE PREVIOUSLY MENTIONED 12 INCH MAIN WILL CONNECT TO THE 16 INCH MAIN.
 - F. THE 12 INCH MAIN SHALL CONNECT TO THE 12 INCH MAIN IN SUNKIST. IF THIS MAIN HAS NOT BEEN CONSTRUCTED AT THE TIME OF CONSTRUCTION OF THIS DEVELOPMENT, A 12 INCH MAIN IN SUNKIST FROM LA CANADA WEST TO THE TOWN BOUNDARY WILL BE THE APPLICANT'S RESPONSIBILITY TO BUILD.
6. ALL APPLICABLE STANDARD NON-PAD REZONING CONDITIONS PER RESOLUTION (R) 90-21 MUST BE ADDRESSED.
7.
 - A. ALL PERMITTED, ACCESSORY AND CONDITIONALLY PERMITTED USES UNDER THE C-1 ZONE OF THE TOWN OF ORO VALLEY, EXCEPT THOSE USES INCOMPATIBLE WITH THE OFFICE PARK AND WHICH WOULD BE INCOMPATIBLE WITH THE SURROUNDING NEIGHBORHOODS, ARE ALLOWABLE USES.
 - B. THE FOLLOWING PERMITTED USES SHALL BE LIMITED TO 10,000 SQUARE FEET PER USE: GROCERY STORE, FURNITURE STORE, VIDEO STORE, AND FABRIC STORE.
 - C. PERMITTED USES: ON THE C-1 PORTION OF THE PROJECT ARE ALL COMPATIBLE OFFICE PARK USES, WHICH INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING LIST: PRINTING SHOP, UPS STORE OR SIMILAR, RESTAURANTS, BANK WITH DRIVE-THROUGH.
 - D. PROHIBITED USES: CHURCHES, DRUG STORE, GAS STATION, HARDWARE STORE, DRIVE-THROUGH/DRIVE-IN RESTAURANTS, ANIMAL HOSPITAL, CONVENIENCE STORE, PET GROOMING, AUTO REPAIR, FUNERAL HOME, AUTOMOBILE PARTS STORE, RADIO STATION, APPLIANCE REPAIR STORE.
8. THE MAXIMUM FLOOR AREA RATIO OF C-1, COMMERCIAL DISTRICT AREA WILL BE WHAT IS ALLOWED IN T-P, TECHNOLOGICAL PARK DISTRICT WHICH CONFORMS TO THE GENERAL PLAN ELEMENTS.
9. THE RIGHT-OF-WAY WILL BE DEDICATED TO THE TOWN UPON EFFECTIVE DATE OF REZONING.
10. THE NORTHERN THREE BUILDINGS OF THE TECHNOLOGY PARK (T-P) DISTRICT WILL HAVE A MAXIMUM OF 28 FEET WITH THE EXCEPTION OF THE APPURTENANCES NECESSARY FOR THE ELEVATOR SHAFT (WHICH WILL BE MINIMIZED BUT WILL NOT EXCEED 34 FEET IN HEIGHT) AND ANY SPECIAL ARCHITECTURAL FEATURES SHALL NOT BE MORE THAN 4 FEET ABOVE THE ALLOWED 28 FOOT HEIGHT.



I GROUTED RIP RAP SLOPE TREATMENT
DTL: GRRSLOPES-PC
NO SCALE

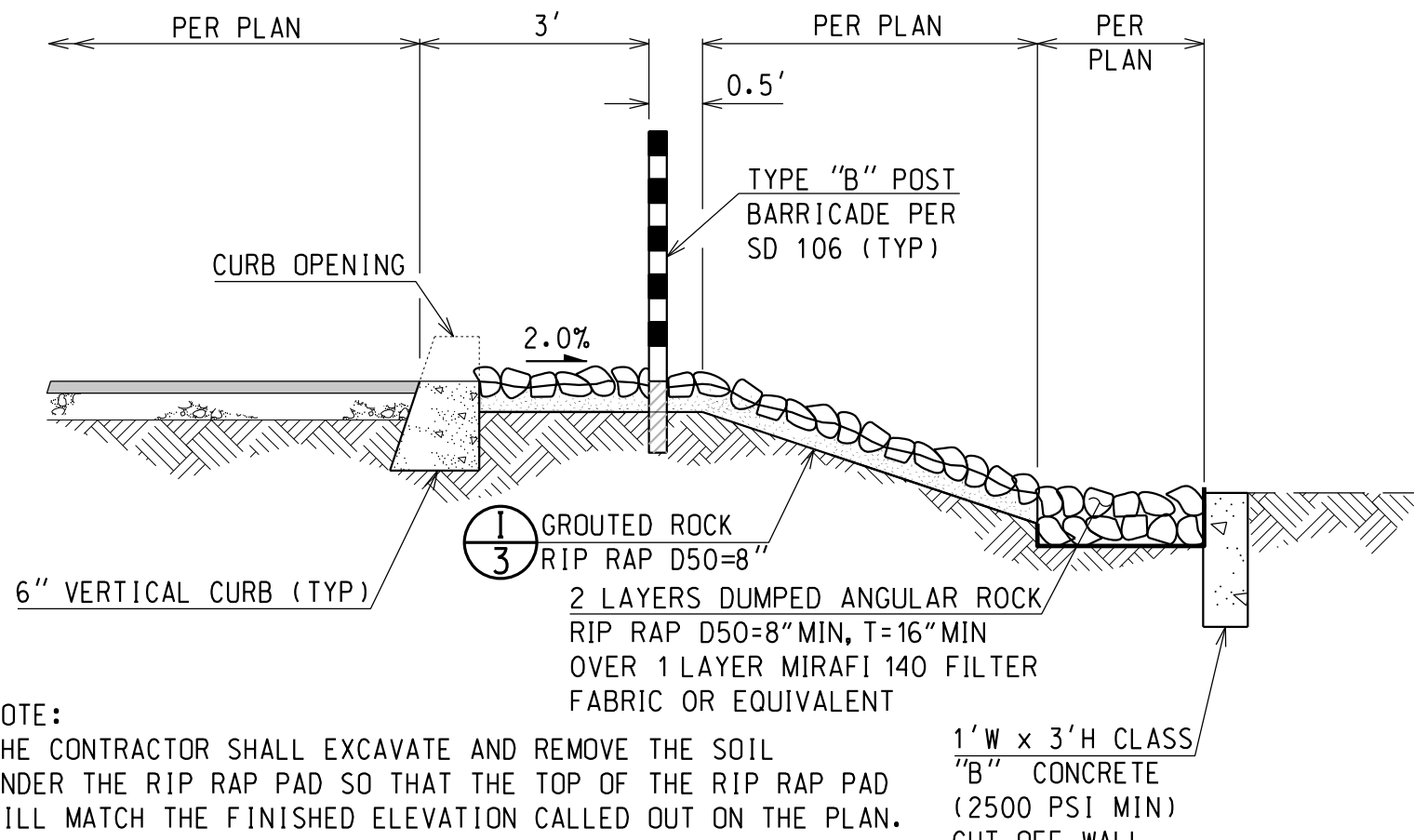


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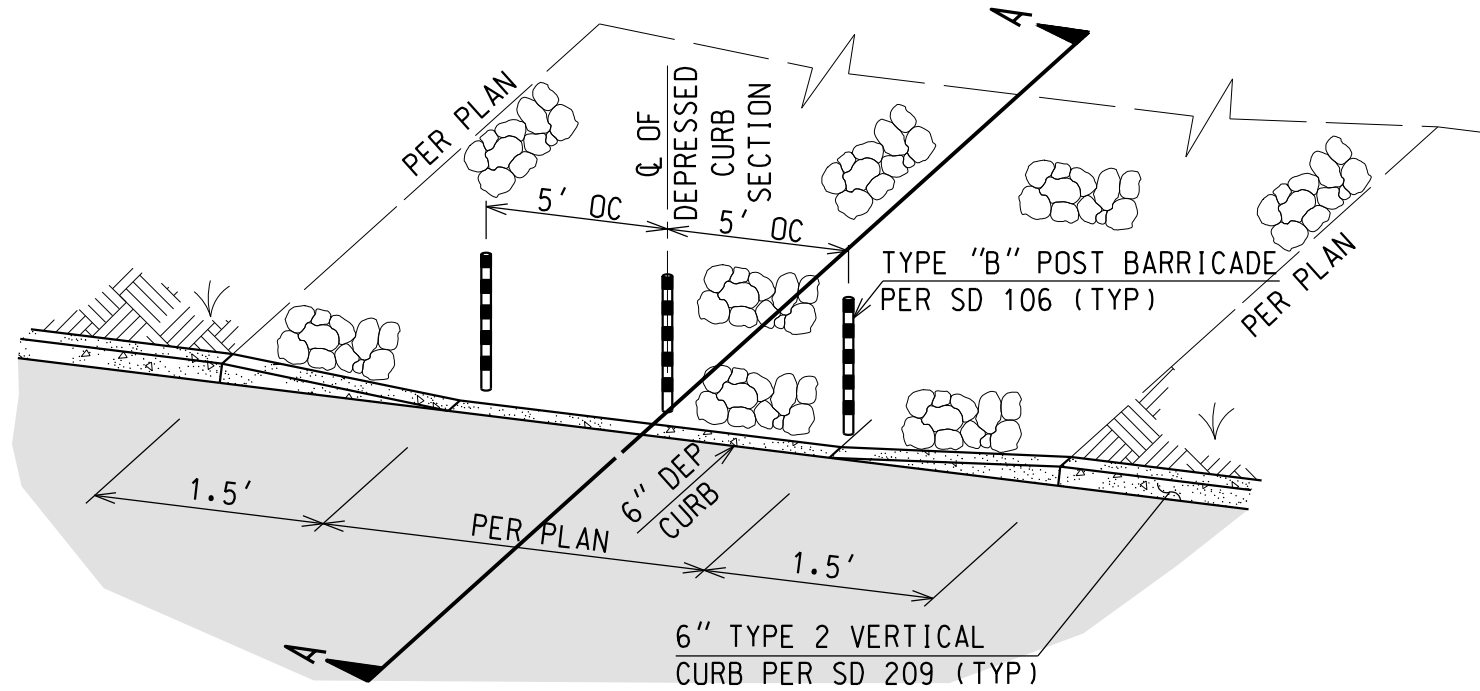
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TUCSON, AZ 85712

J-5575

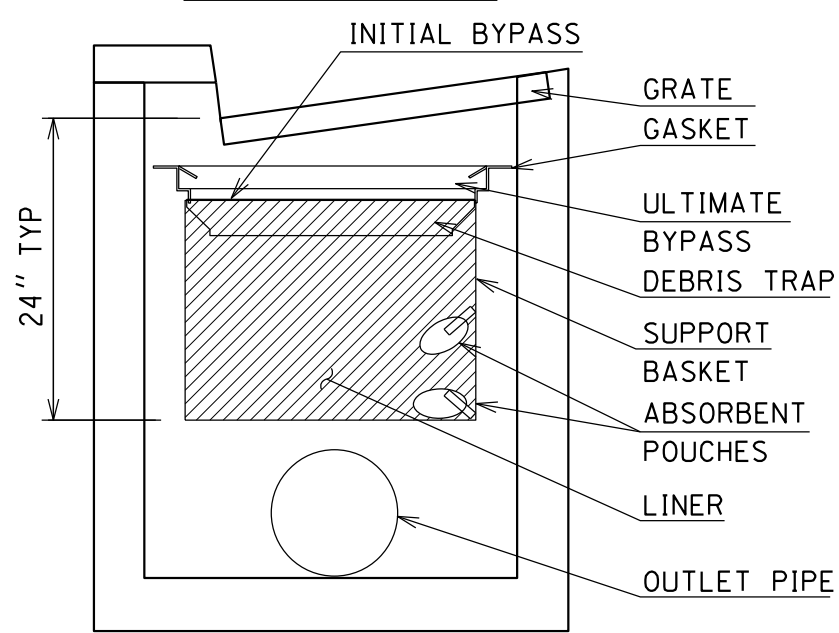
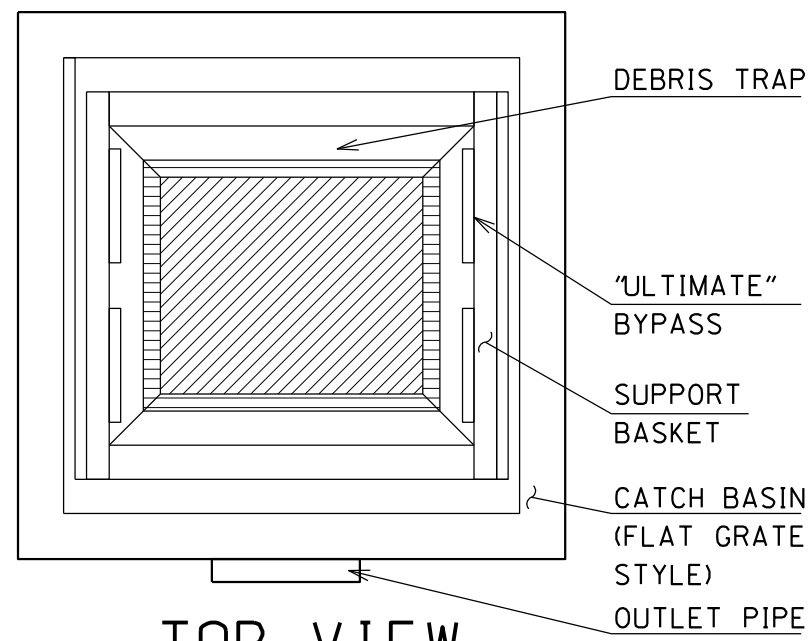
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER



A-A
NO SCALE

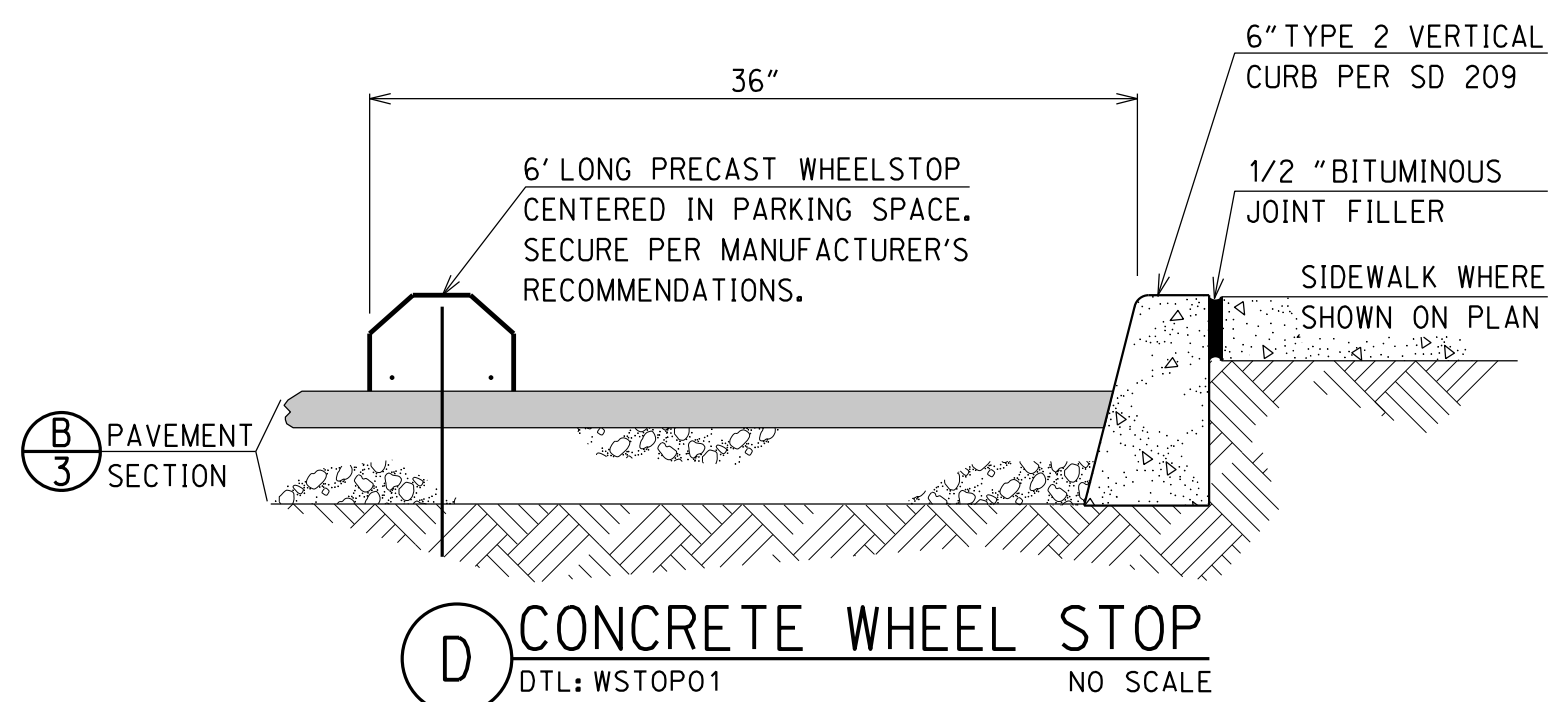


G DEPRESSED CURB
NO SCALE



H CATCH BASIN/FILTER INSERT
NO SCALE

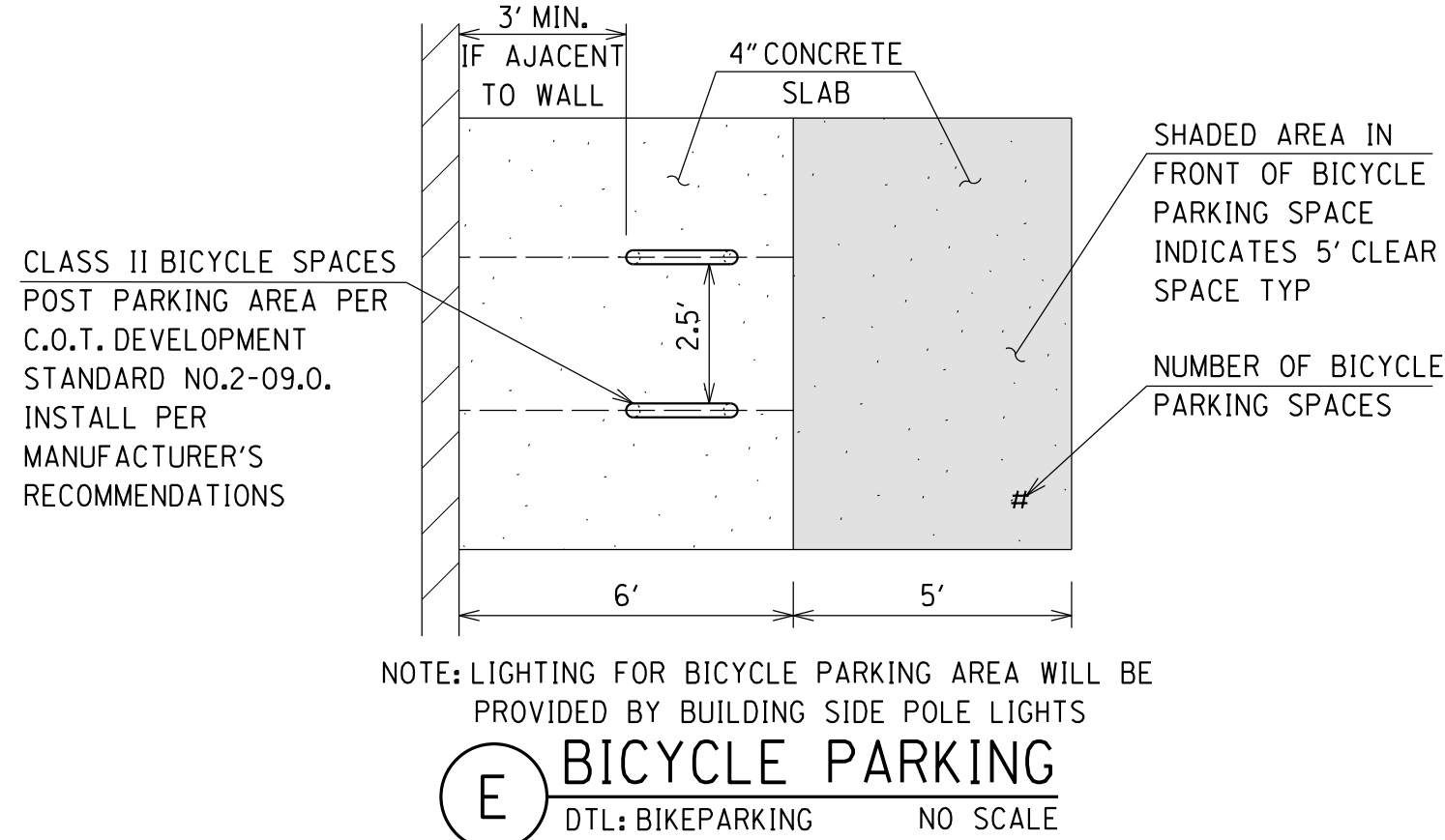
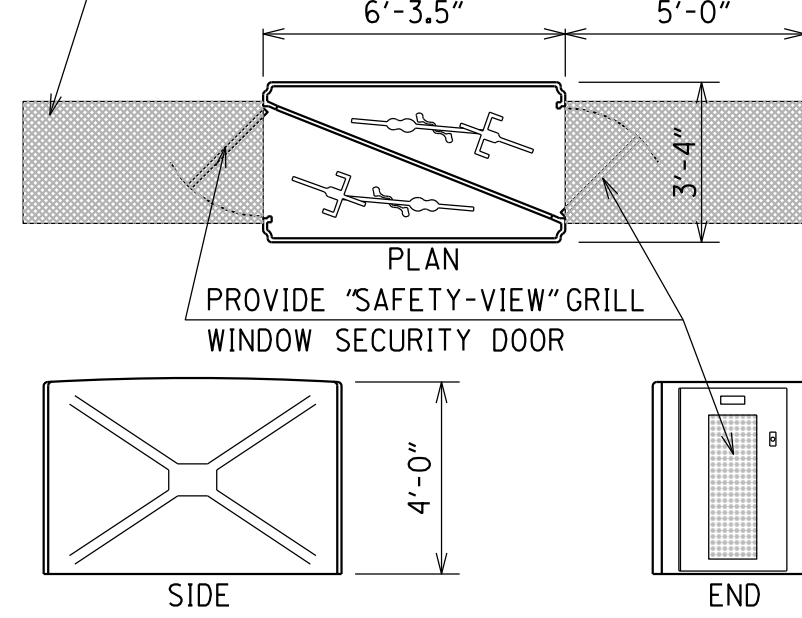
- NOTES:
1. FLO-GARD+PLUS (WALL MOUNT) HIGH CAPACITY CATCH BASIN INSERTS ARE AVAILABLE TO FIT NON-STANDARD OR COMBINATION CATCH BASIN SIZES AND STYLES (SEE SPECIFIER CHART). REFER TO THE FLO-GARD+PLUS (FRAME MOUNT) INSERT FOR DEVICES TO FIT INDUSTRY STANDARD SIZE FLAT GRATED CATCH BASIN INLETS.
 2. FILTER INSERT SHALL HAVE BOTH AN "INITIAL" FILTERING BYPASS AND "ULTIMATE" HIGH-FLOW BYPASS FEATURE.
 3. FILTER ASSEMBLY SHALL BE CONSTRUCTED FROM STAINLESS STEEL (TYPE 304).
 4. ALLOW A MINIMUM OF 2'-0" CLEARANCE BETWEEN THE BOTTOM OF GRATE AND TOP OF INLET OR OUTLET PIPES(S). REFER TO THE FLO-GARD INSERT FOR "SHALLOW" INSTALLATIONS.
 5. FILTER MEDIUM SHALL BE RUBBERIZER INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.



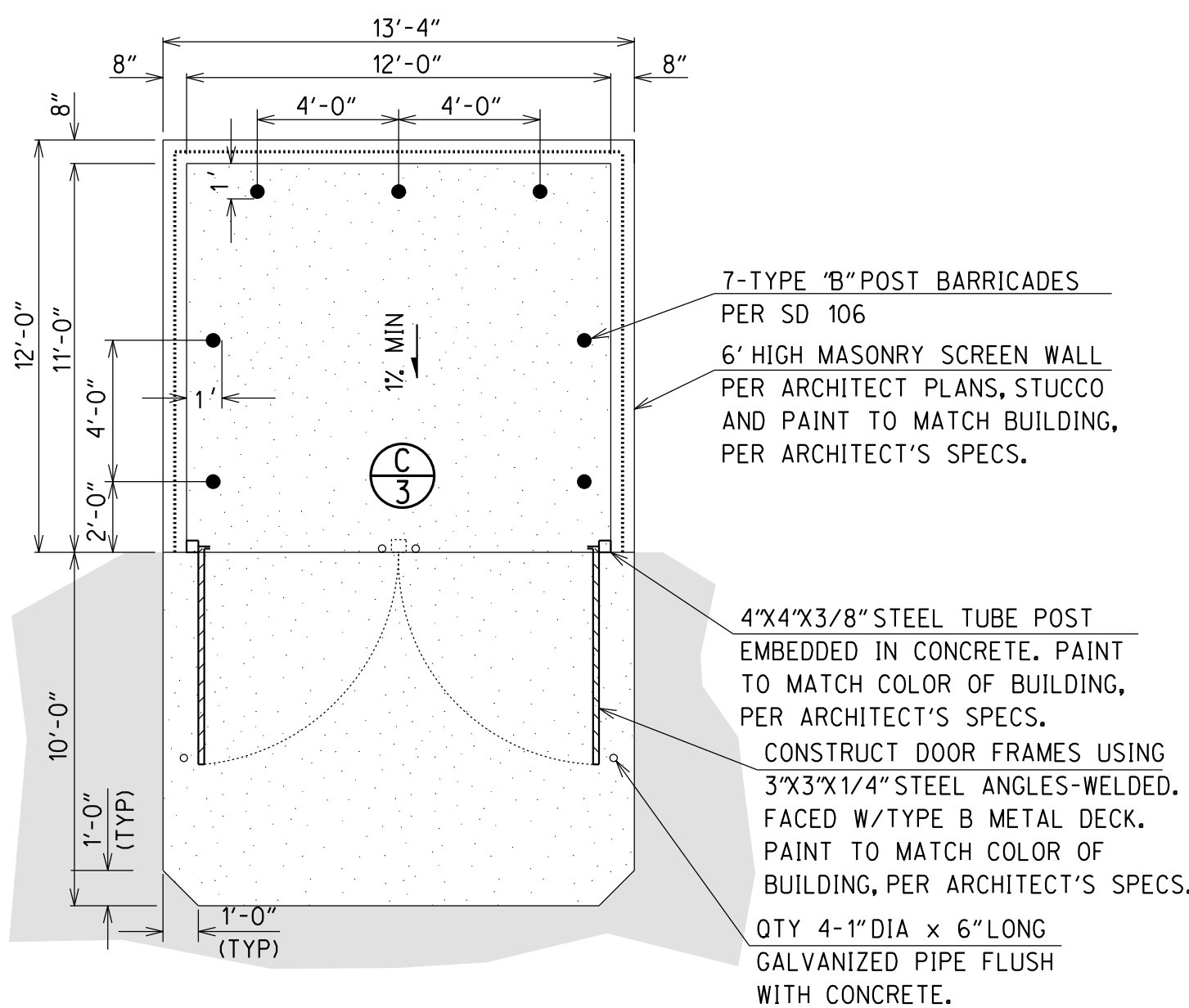
D CONCRETE WHEEL STOP
DTL: WSTOP01
NO SCALE

BICYCLE LOCKER BY AMERICAN BICYCLE SECURITY COMPANY OR EQUAL - MODEL 302

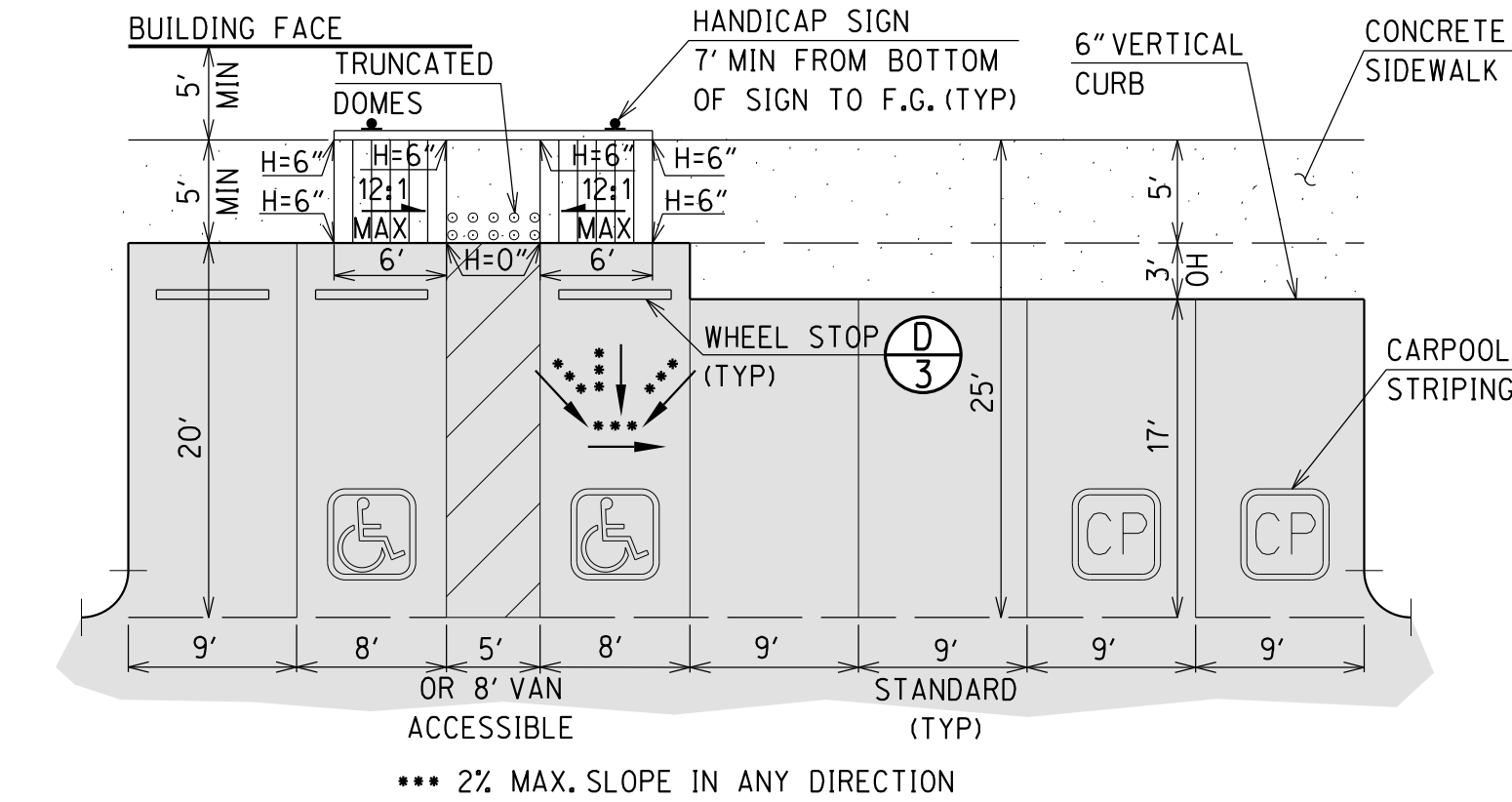
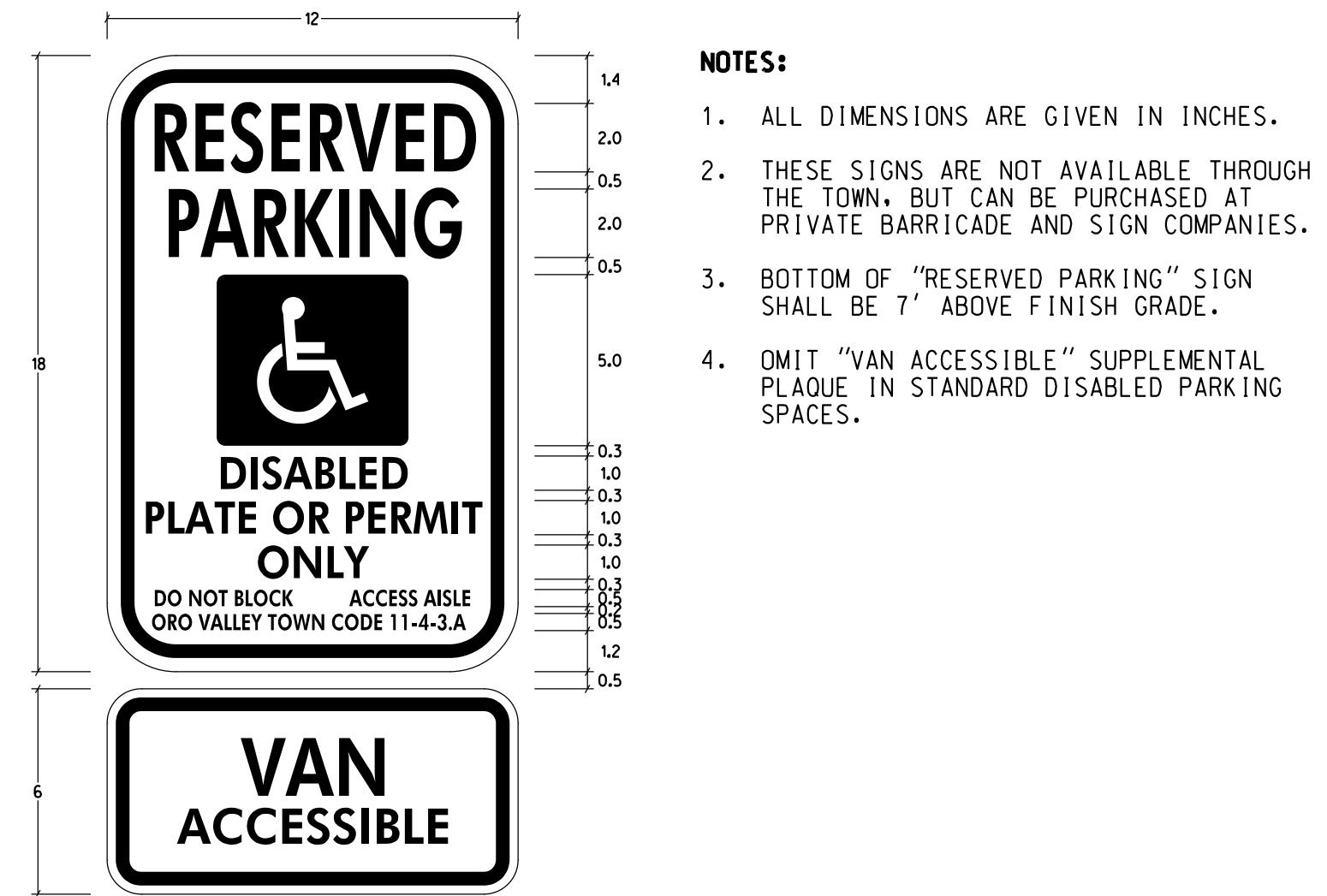
SCREENED AREA IN FRONT OF BICYCLE SPACE INDICATES 5'-0" CLEAR SPACE - TYP.



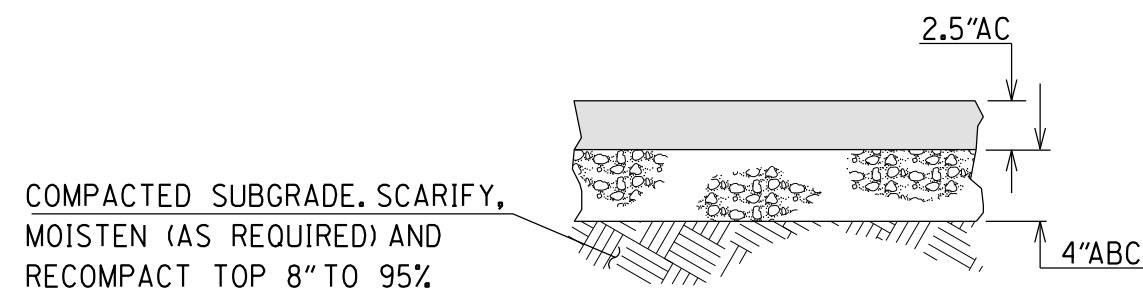
E BICYCLE PARKING
DTL: BIKEPARKING
NO SCALE



F SINGLE TRASH ENCLOSURE
DTL: SINGLETRASH
NO SCALE

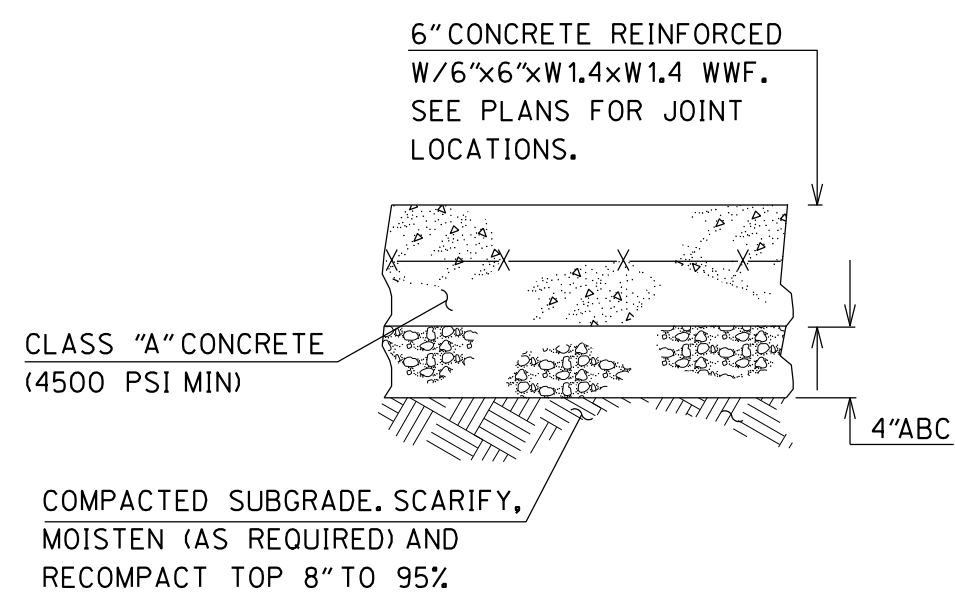


A TYPICAL HANDICAP AND STANDARD PARKING SPACES
NO SCALE

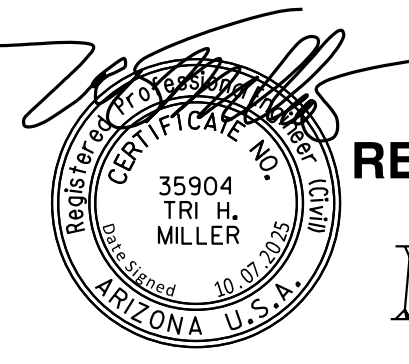


NOTE: FINAL PAVING SECTION MAY VARY DEPENDING ON FIELD ANALYSIS OF ESTABLISHED SUBGRADE.

B "AC" PAVING SECTION *
NO SCALE



C CONCRETE PAVING
NO SCALE



REVISED MASTER DEVELOPMENT PLAN FOR

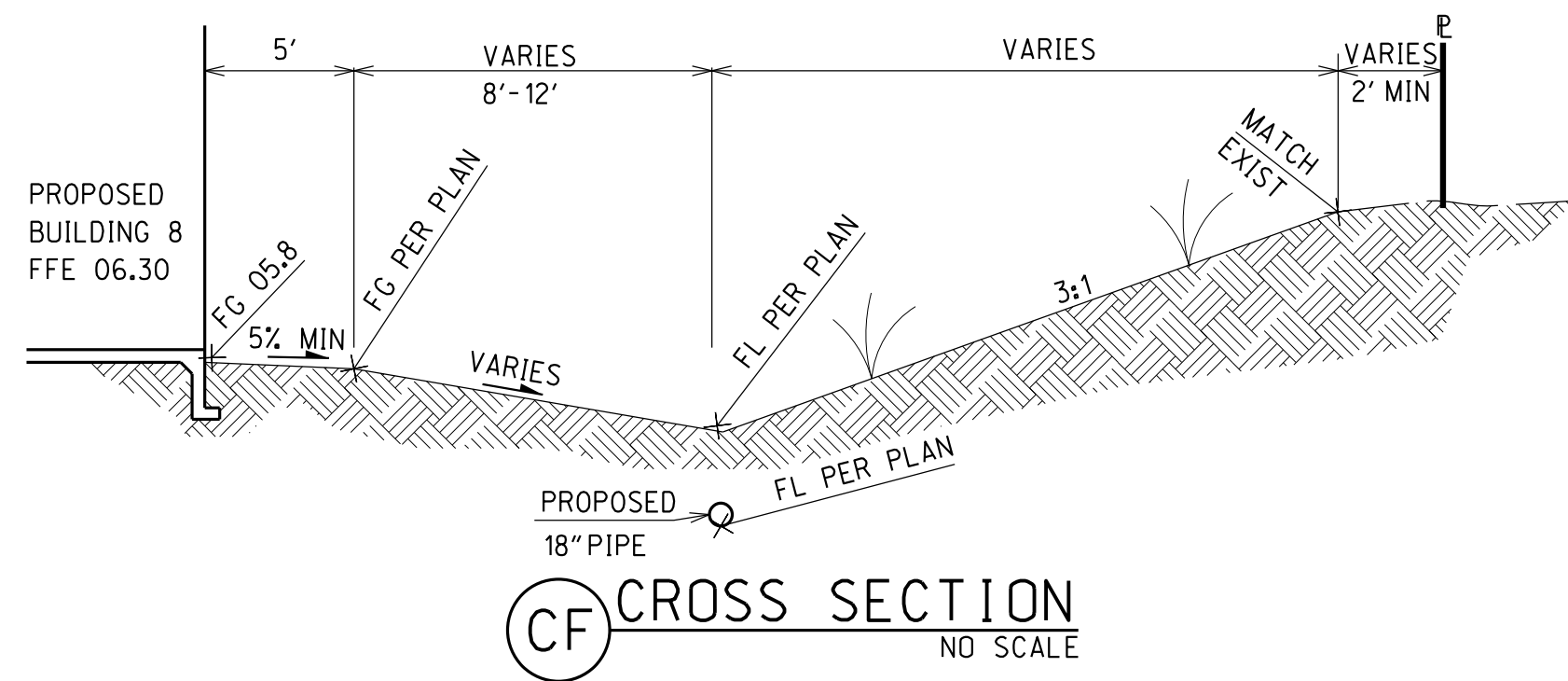
MILLER RANCH

OV --- -- -- --
OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

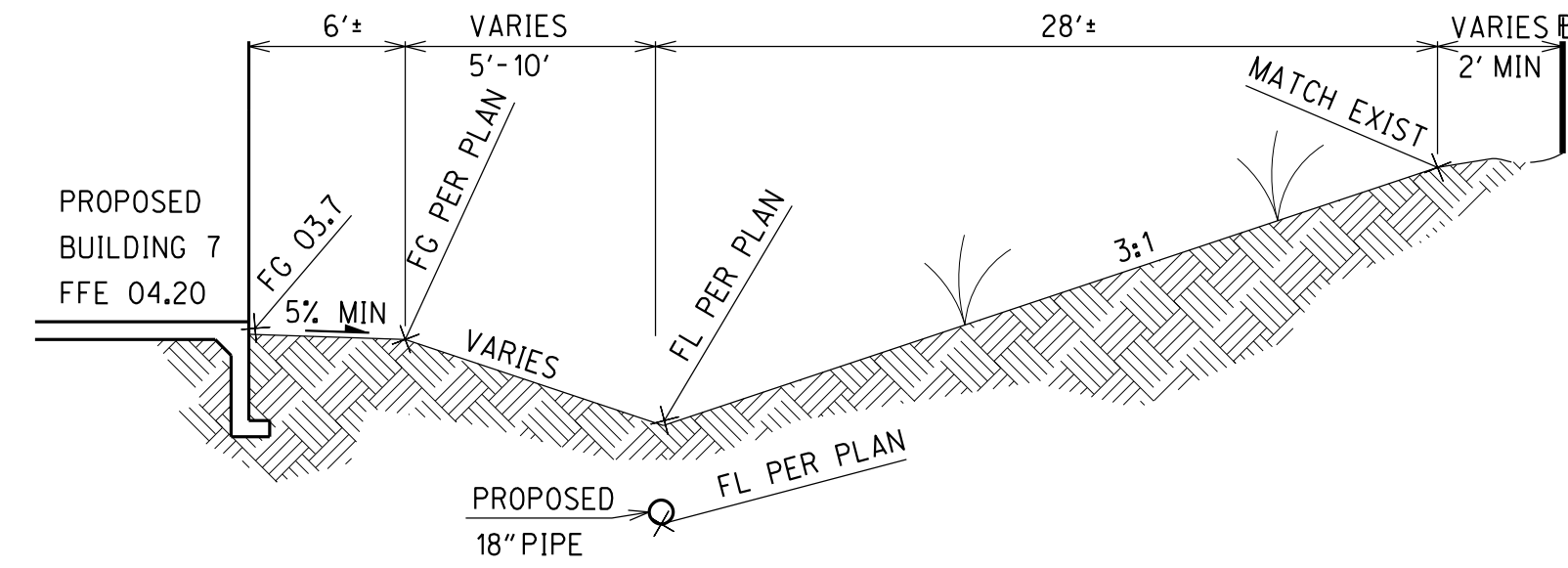
SCALE: N/A CONTOUR INTERVAL= N/A SHEET 3 OF 11

07-OCT-2025

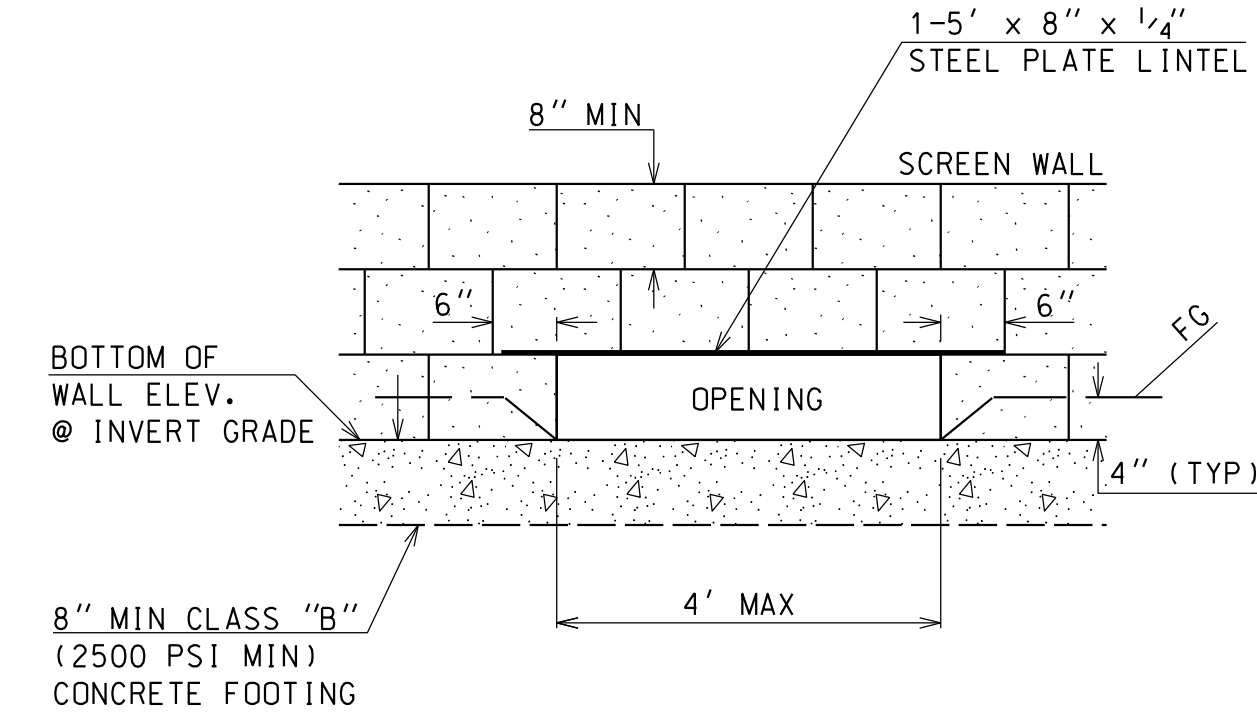
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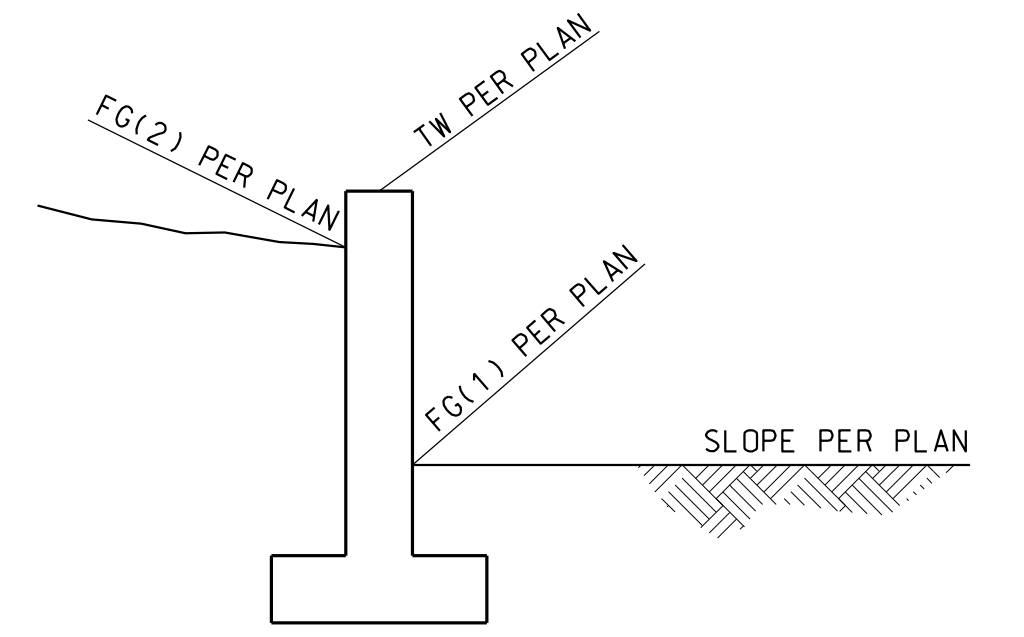
CF CROSS SECTION
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CD CROSS SECTION
NO SCALE

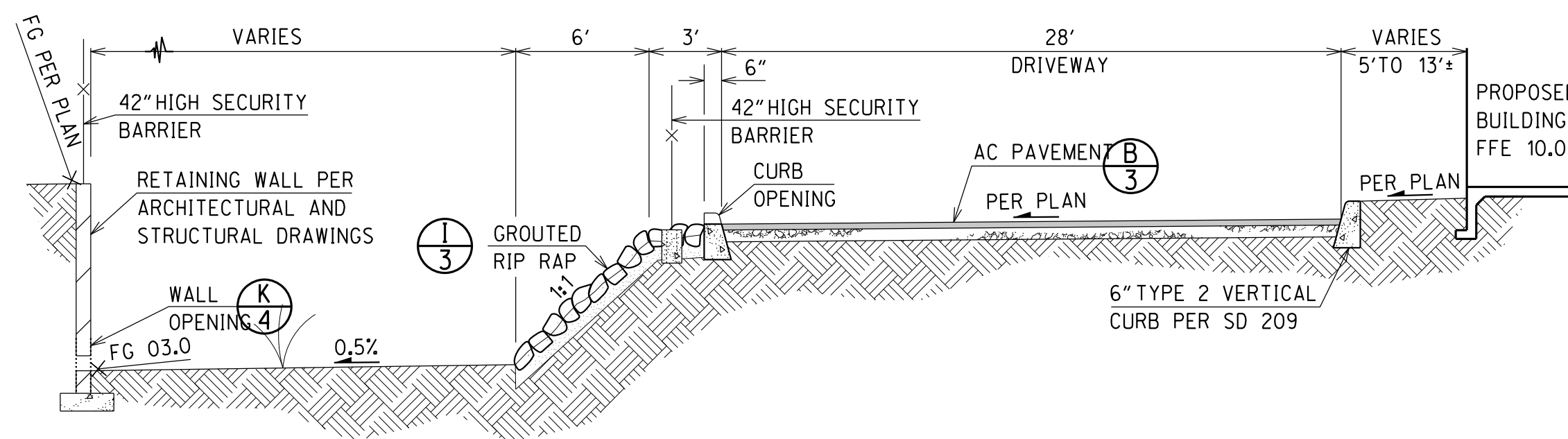


K TYPICAL WALL OPENING
DTL: WALL OPENING
NO SCALE

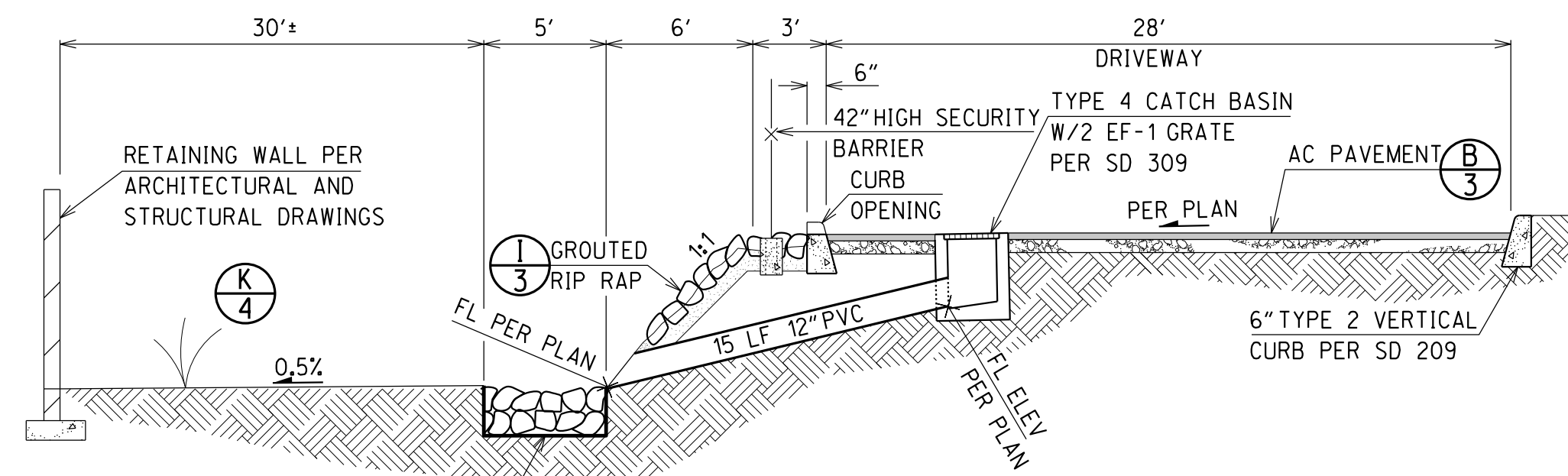


NOTE:
FOR REFERENCE ONLY. SEPARATE BUILDING
PERMIT REQUIRED.

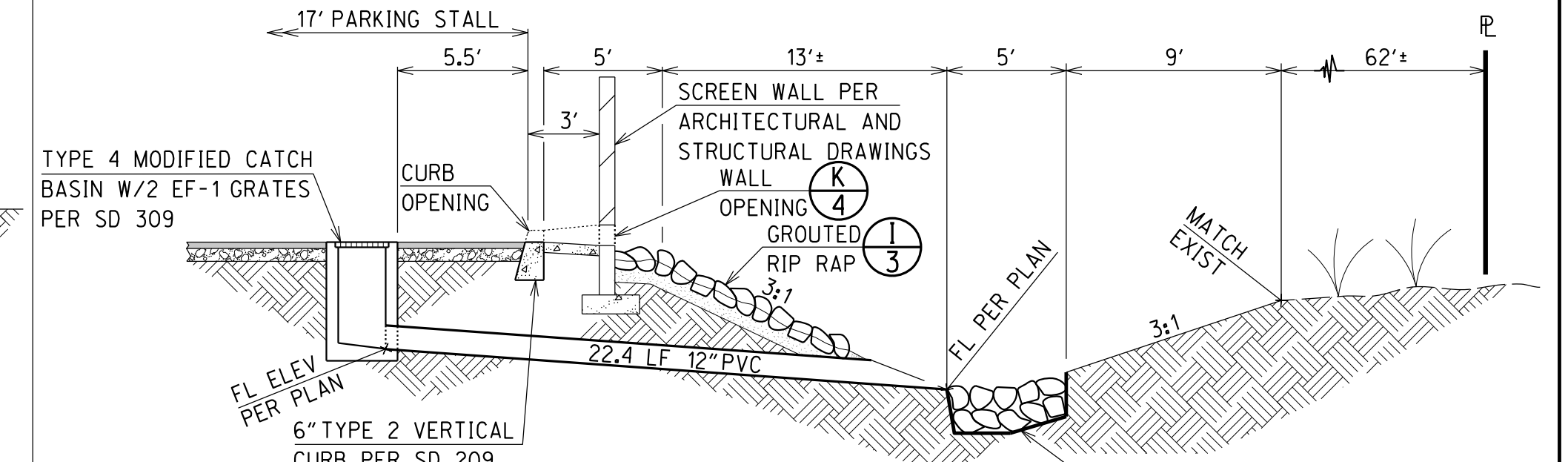
J RETAINING WALL SECTION
DTL: RETWAL04
NO SCALE



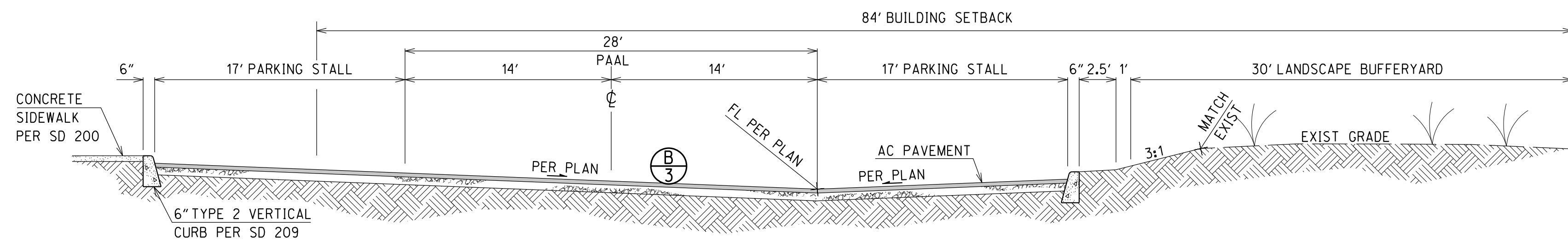
CG CROSS SECTION
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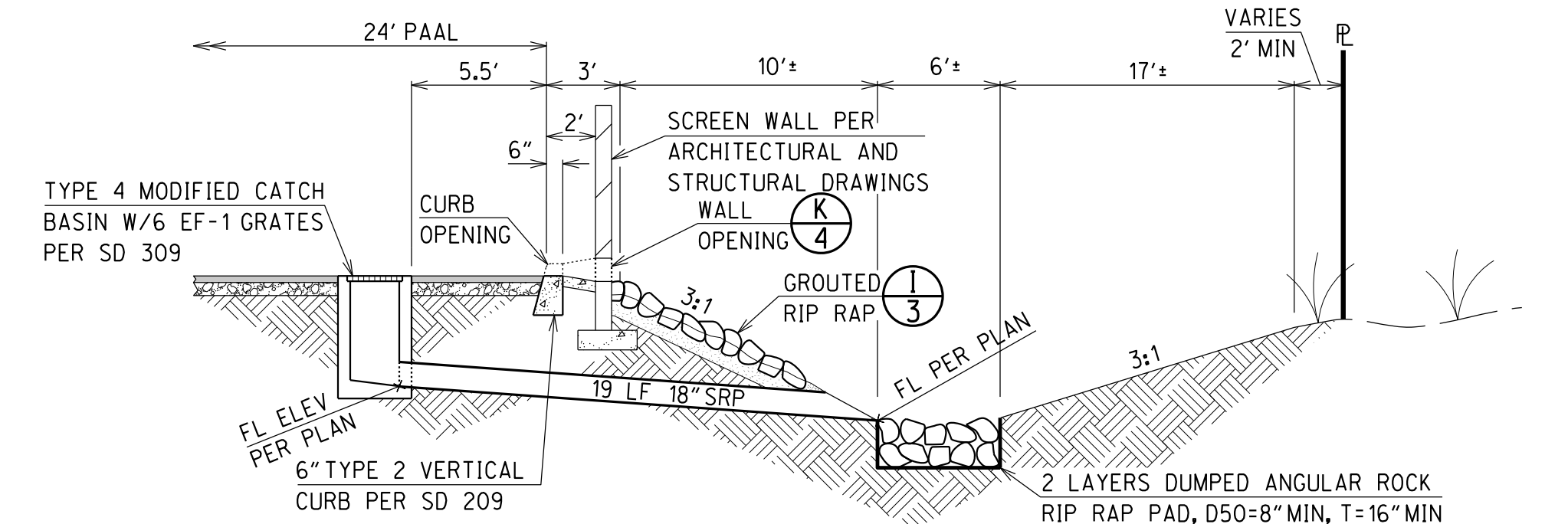
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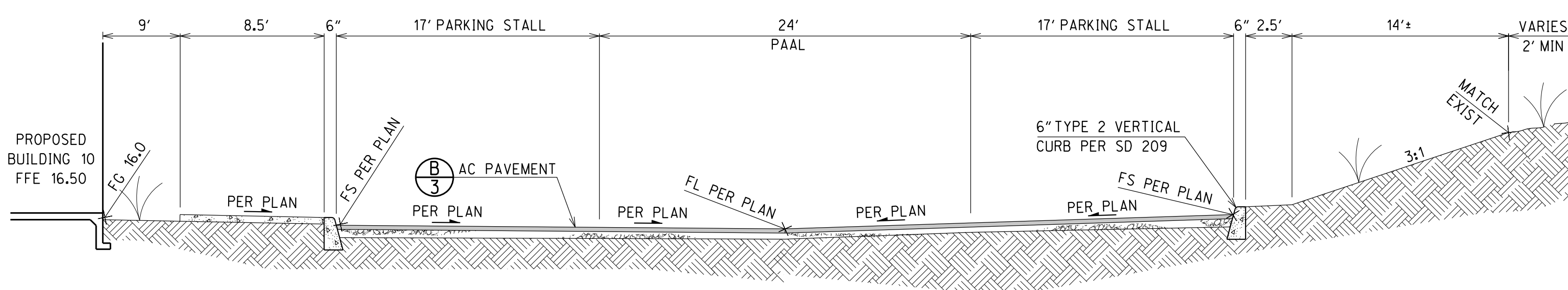
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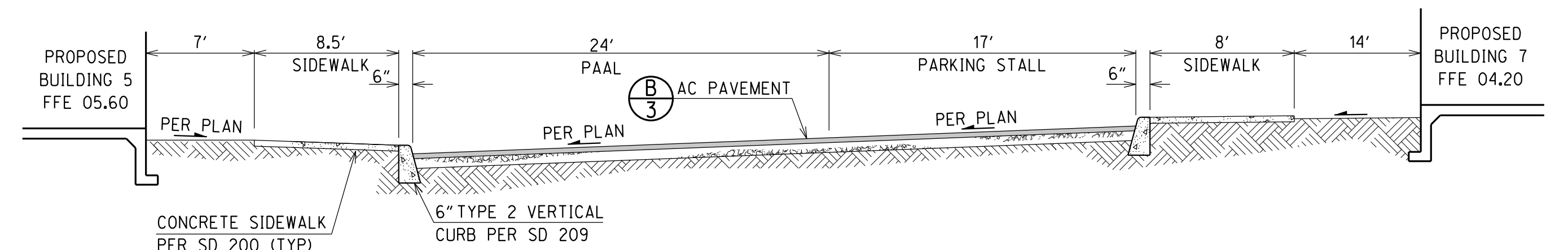
CI CROSS SECTION
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CB CROSS SECTION
NO SCALE



CH CROSS SECTION
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CC CROSS SECTION
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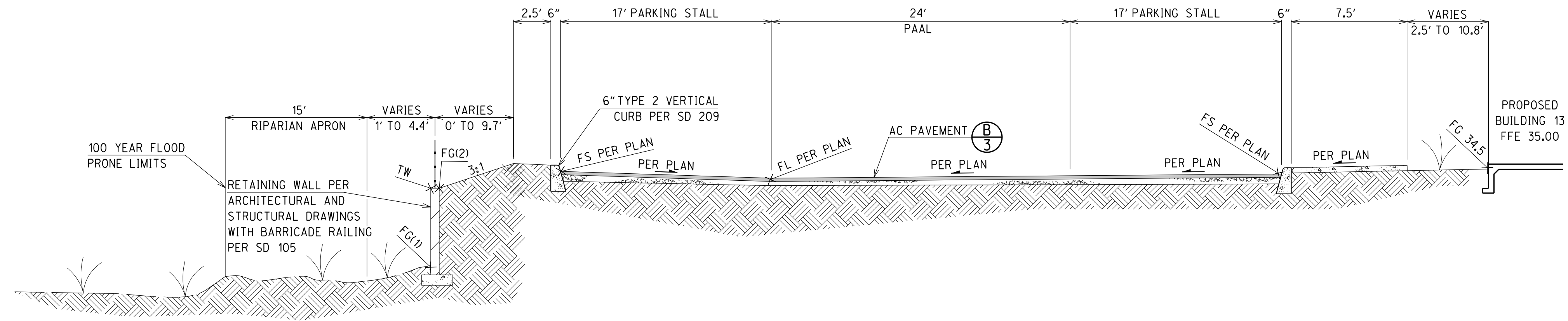
**REVISED MASTER DEVELOPMENT PLAN FOR
MILLER RANCH**

OV --- -- -- --
OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

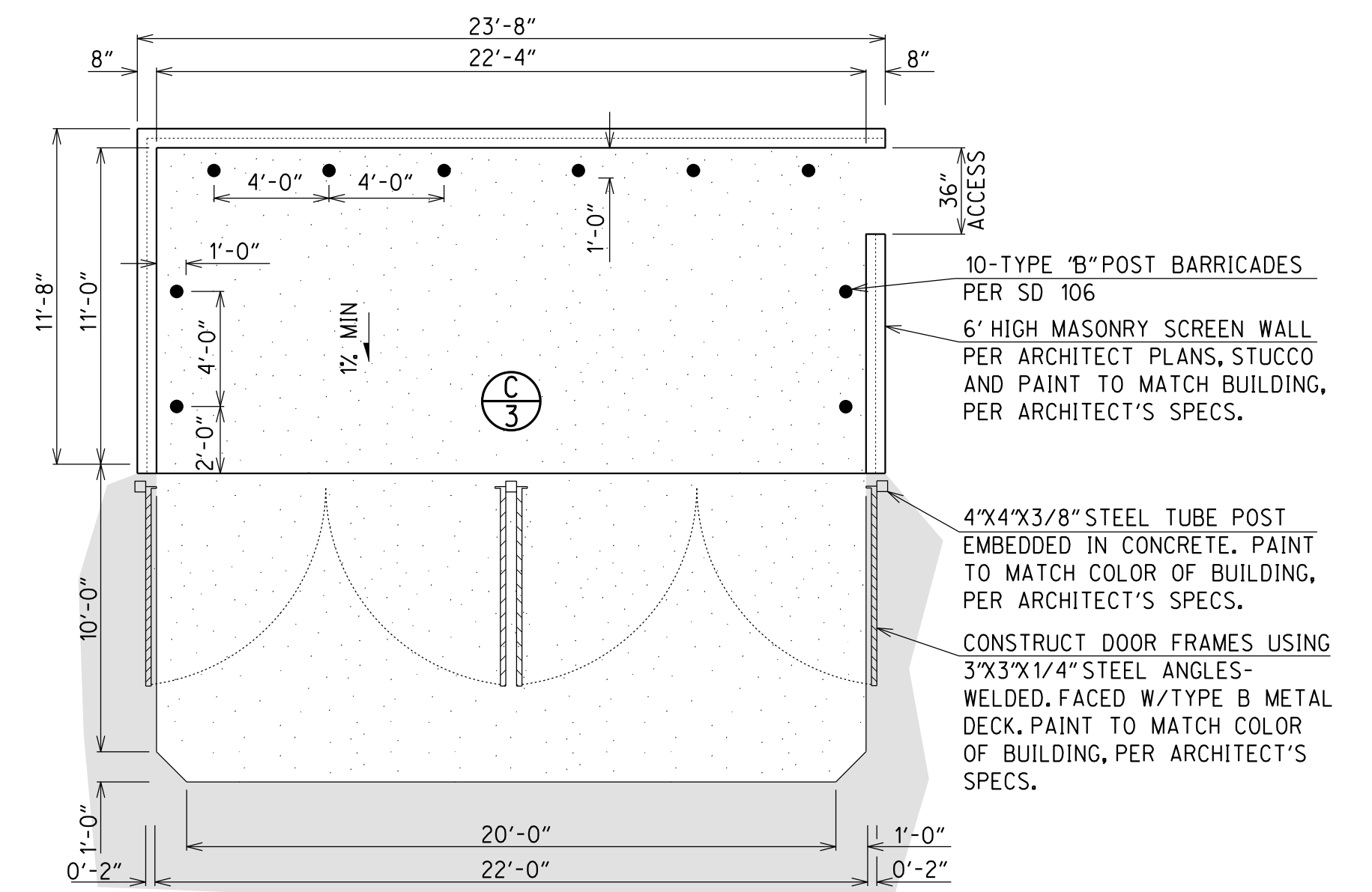
BEING A PORTION OF THE SOUTHEAST QUARTER OF
SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA &
SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.

SCALE: N/A CONTOUR INTERVAL= N/A SHEET 4 OF 11





CJ CROSS SECTION
NO SCALE



L DOUBLE TRASH ENCLOSURE
DTL: TRASHDOUBLE NO SCALE



REVISED MASTER DEVELOPMENT PLAN FOR

MILLER RANCH

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.
OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025
SCALE: N/A CONTOUR INTERVAL= N/A SHEET 5 OF 11



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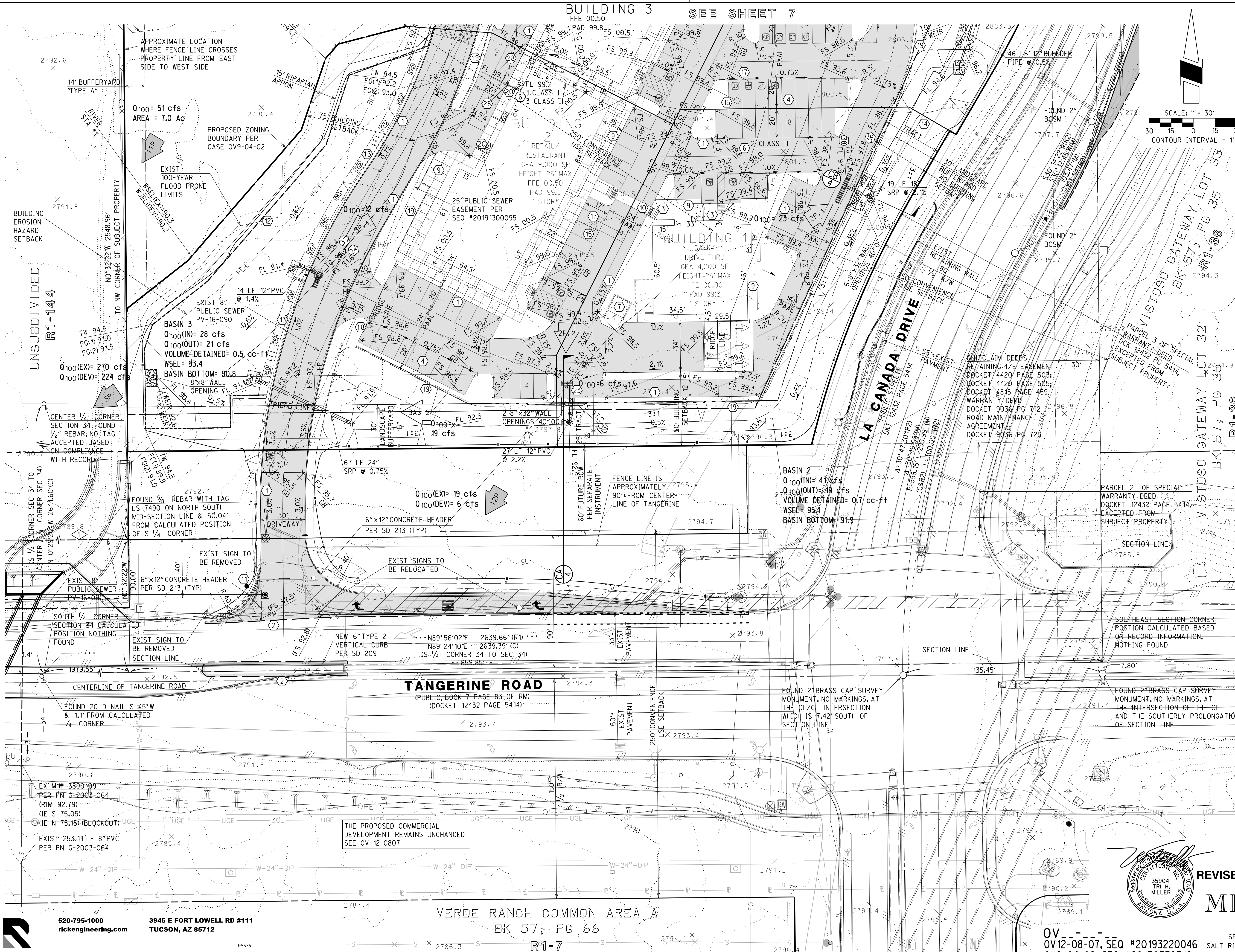
3945 E FORT LOWELL RD #111
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J-5575

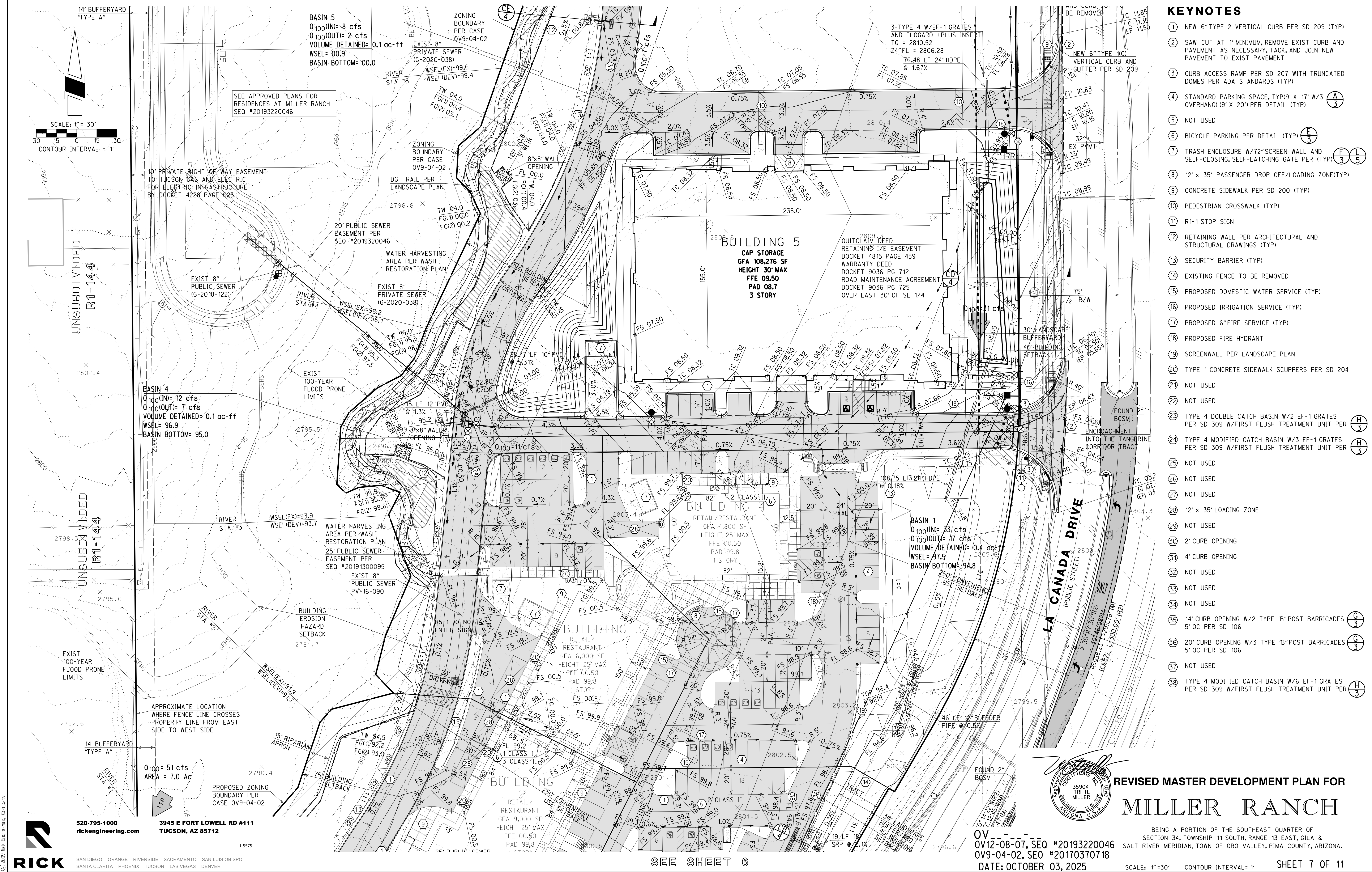
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

KEYNOTES

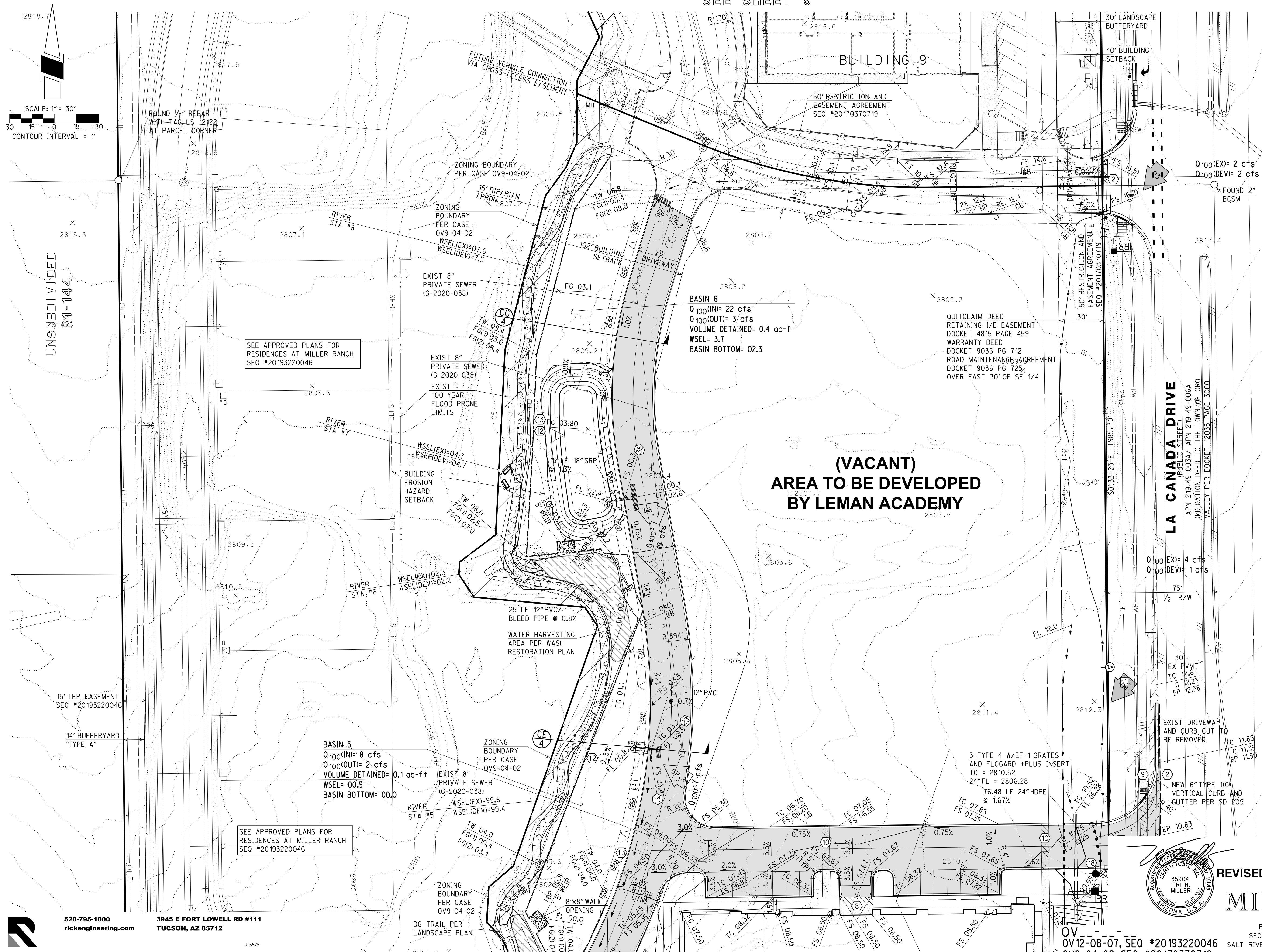
- ① NEW 6" TYPE 2 VERTICAL CURB PER SD 209 (TYP)
- ② SAW CUT AT 1' MINIMUM, REMOVE EXIST CURB AND PAVEMENT AS NECESSARY, TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
- ③ CURB ACCESS RAMP PER SD 207 WITH TRUNCATED DOMES PER ADA STANDARDS (TYP)
- ④ STANDARD PARKING SPACE, TYP(9' X 17' W/3' OVERHANG)(9' X 20') PER DETAIL (TYP)
- ⑤ NOT USED
- ⑥ BICYCLE PARKING PER DETAIL (TYP)
- ⑦ TRASH ENCLOSURE W/72" SCREEN WALL AND SELF-CLOSING, SELF-LATCHING GATE PER (TYP)
- ⑧ 12' X 35' PASSENGER DROP OFF/LOADING ZONE(TYP)
- ⑨ CONCRETE SIDEWALK PER SD 200 (TYP)
- ⑩ PEDESTRIAN CROSSWALK (TYP)
- ⑪ R1-1 STOP SIGN
- ⑫ RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL DRAWINGS (TYP)
- ⑬ SECURITY BARRIER (TYP)
- ⑭ EXISTING FENCE TO BE REMOVED
- ⑮ PROPOSED DOMESTIC WATER SERVICE (TYP)
- ⑯ PROPOSED IRRIGATION SERVICE (TYP)
- ⑰ PROPOSED 6" FIRE SERVICE (TYP)
- ⑱ PROPOSED FIRE HYDRANT
- ⑲ SCREENWALL PER LANDSCAPE PLAN
- ⑳ TYPE 1 CONCRETE SIDEWALK SCUPPERS PER SD 204
- ㉑ NOT USED
- ㉒ NOT USED
- ㉓ TYPE 4 DOUBLE CATCH BASIN W/2 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER (H) ③
- ㉔ TYPE 4 MODIFIED CATCH BASIN W/3 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER (H) ③
- ㉕ NOT USED
- ㉖ NOT USED
- ㉗ NOT USED
- ㉘ 12' X 35' LOADING ZONE
- ㉙ NOT USED
- ㉚ NOT USED
- ㉛ NOT USED
- ㉜ NOT USED
- ㉝ 14' CURB OPENING W/2 TYPE 'B' POST BARRICADES 5' OC PER SD 106 (C) ③
- ㉞ 20' CURB OPENING W/3 TYPE 'B' POST BARRICADES 5' OC PER SD 106 (C) ③
- ㉟ NOT USED
- ㊱ TYPE 4 MODIFIED CATCH BASIN W/6 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER (H) ③



SEE SHEET 8



SEE SHEET 9



KEYNOTES

- NEW 6" TYPE 2 VERTICAL CURB PER SD 209 (TYP)
- SAW CUT AT 1' MINIMUM, REMOVE EXIST CURB AND PAVEMENT AS NECESSARY, TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
- CURB ACCESS RAMP PER SD 207 WITH TRUNCATED DOMES PER ADA STANDARDS (TYP)
- STANDARD PARKING SPACE, TYP: 9' X 17' W/3' OVERHANG (9' X 20' PER DETAIL (TYP)
- NOT USED
- BICYCLE PARKING PER DETAIL (TYP)
- TRASH ENCLOSURE W/72" SCREEN WALL AND SELF-CLOSING, SELF-LATCHING GATE PER (TYP)
- 12' X 35' PASSENGER DROP OFF/LOADING ZONE (TYP)
- CONCRETE SIDEWALK PER SD 200 (TYP)
- PEDESTRIAN CROSSWALK (TYP)
- R1-1 STOP SIGN
- RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL DRAWINGS (TYP)
- SECURITY BARRIER (TYP)
- EXISTING FENCE TO BE REMOVED
- PROPOSED DOMESTIC WATER SERVICE (TYP)
- PROPOSED IRRIGATION SERVICE (TYP)
- PROPOSED 6" FIRE SERVICE (TYP)
- PROPOSED FIRE HYDRANT
- SCREENWALL PER LANDSCAPE PLAN
- TYPE 1 CONCRETE SIDEWALK SCUPPERS PER SD 204
- NOT USED
- NOT USED
- TYPE 4 DOUBLE CATCH BASIN W/2 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER
- TYPE 4 MODIFIED CATCH BASIN W/3 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER
- NOT USED
- NOT USED
- NOT USED
- 12' X 35' LOADING ZONE
- NOT USED
- 2' CURB OPENING
- 4' CURB OPENING
- NOT USED
- NOT USED
- 14' CURB OPENING W/2 TYPE "B" POST BARRICADES 5' OC PER SD 106
- 20' CURB OPENING W/3 TYPE "B" POST BARRICADES 5' OC PER SD 106
- NOT USED
- NOT USED
- TYPE 4 MODIFIED CATCH BASIN W/6 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER



REVISED MASTER DEVELOPMENT PLAN FOR
MILLER RANCH

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.

OV 12-08-07, SEQ #20193220046
OV 9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

SCALE: 1"=30' CONTOUR INTERVAL= 1' SHEET 8 OF 11

SEE SHEET 7



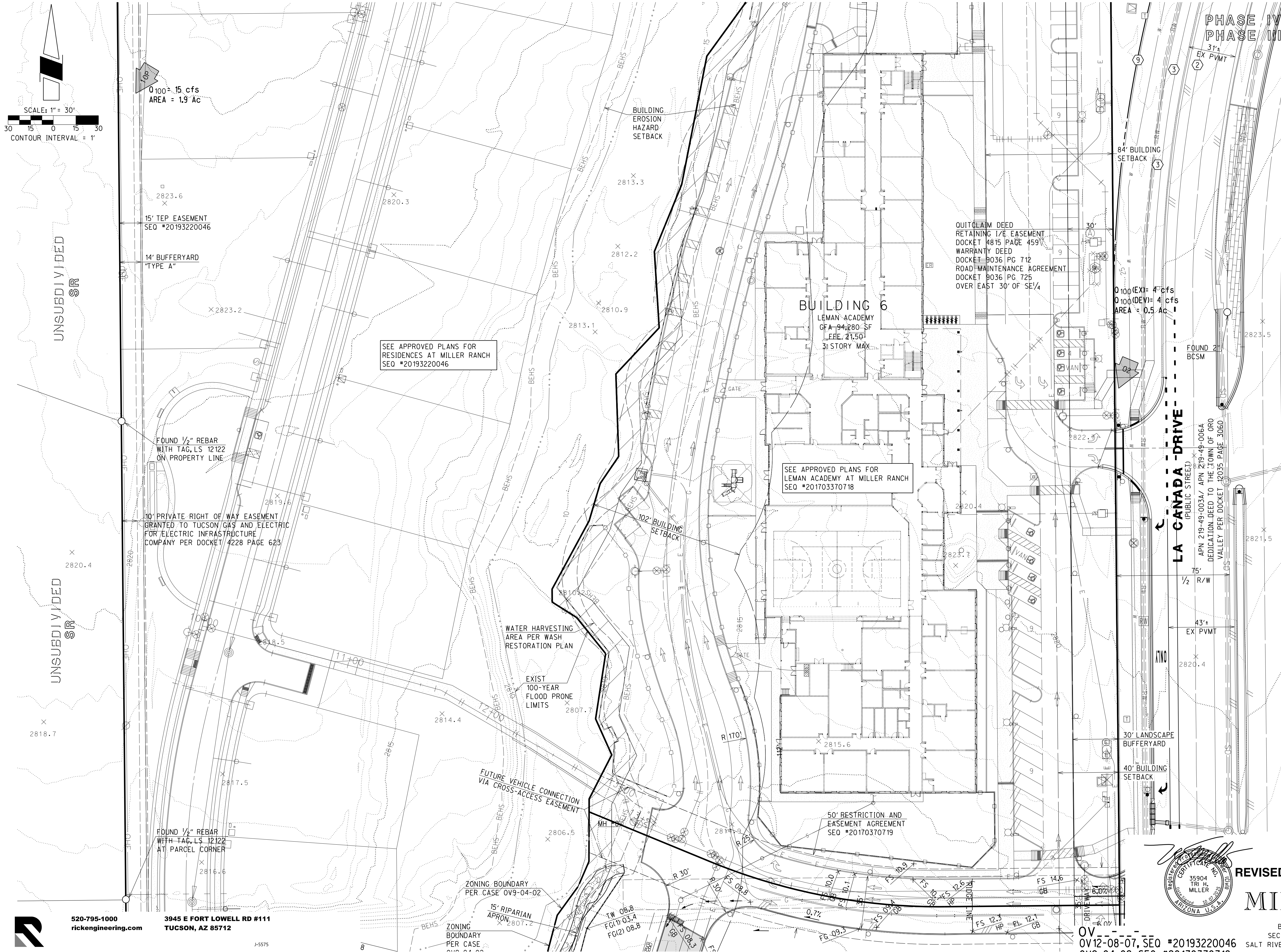
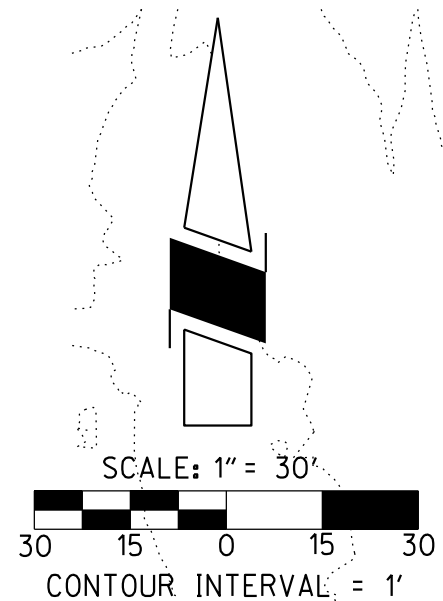
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SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

SEE SHEET 10



KEYNOTES

- NEW 6" TYPE 2 VERTICAL CURB PER SD 209 (TYP)
- SAW CUT AT 1' MINIMUM, REMOVE EXIST CURB AND PAVEMENT AS NECESSARY, TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
- CURB ACCESS RAMP PER SD 207 WITH TRUNCATED DOMES PER ADA STANDARDS (TYP)
- STANDARD PARKING SPACE, TYP (9' X 17' W/3' OVERHANG) (9' X 20') PER DETAIL (TYP)
- NOT USED
- BICYCLE PARKING PER DETAIL (TYP)
- TRASH ENCLOSURE W/72" SCREEN WALL AND SELF-CLOSING, SELF-LATCHING GATE PER (TYP)
- 12' X 35' PASSENGER DROP OFF/LOADING ZONE (TYP)
- CONCRETE SIDEWALK PER SD 200 (TYP)
- PEDESTRIAN CROSSWALK (TYP)
- R1-1 STOP SIGN
- RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL DRAWINGS (TYP)
- SECURITY BARRIER (TYP)
- EXISTING FENCE TO BE REMOVED
- PROPOSED DOMESTIC WATER SERVICE (TYP)
- PROPOSED IRRIGATION SERVICE (TYP)
- PROPOSED 6" FIRE SERVICE (TYP)
- PROPOSED FIRE HYDRANT
- SCREENWALL PER LANDSCAPE PLAN
- TYPE 1 CONCRETE SIDEWALK SCUPPERS PER SD 204
- NOT USED
- NOT USED
- TYPE 4 DOUBLE CATCH BASIN W/2 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER
- TYPE 4 MODIFIED CATCH BASIN W/3 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER
- NOT USED
- NOT USED
- NOT USED
- 12' X 35' LOADING ZONE
- NOT USED
- 2' CURB OPENING
- 4' CURB OPENING
- NOT USED
- NOT USED
- NOT USED
- 14' CURB OPENING W/2 TYPE 'B' POST BARRICADES 5' OC PER SD 106
- 20' CURB OPENING W/3 TYPE 'B' POST BARRICADES 5' OC PER SD 106
- NOT USED
- TYPE 4 MODIFIED CATCH BASIN W/6 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER

REVISED MASTER DEVELOPMENT PLAN FOR

MILLER RANCH

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.



OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

SCALE: 1" = 30' CONTOUR INTERVAL = 1'

SHEET 9 OF 11

SEE SHEET 8



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SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

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SEE SHEET 11

SEE SHEET 9

KEYNOTES

- NEW 6" TYPE 2 VERTICAL CURB PER SD 209 (TYP)
- SAW CUT AT 1' MINIMUM, REMOVE EXIST CURB AND PAVEMENT AS NECESSARY, TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
- CURB ACCESS RAMP PER SD 207 WITH TRUNCATED DOMES PER ADA STANDARDS (TYP)
- STANDARD PARKING SPACE, TYP(9' X 17' W/3' OVERHANG)(9' X 20') PER DETAIL (TYP) $\frac{A}{3}$
- NOT USED
- BICYCLE PARKING PER DETAIL (TYP) $\frac{E}{3}$
- TRASH ENCLOSURE W/72" SCREEN WALL AND SELF-CLOSING, SELF-LATCHING GATE PER (TYP) $\frac{F}{3}$ $\frac{L}{5}$
- 12' x 35' PASSENGER DROP OFF/LOADING ZONE(TYP)
- CONCRETE SIDEWALK PER SD 200 (TYP)
- PEDESTRIAN CROSSWALK (TYP)
- R1-1 STOP SIGN
- RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL DRAWINGS (TYP)
- SECURITY BARRIER (TYP)
- EXISTING FENCE TO BE REMOVED
- PROPOSED DOMESTIC WATER SERVICE (TYP)
- PROPOSED IRRIGATION SERVICE (TYP)
- PROPOSED 6" FIRE SERVICE (TYP)
- PROPOSED FIRE HYDRANT
- SCREENWALL PER LANDSCAPE PLAN
- TYPE 1 CONCRETE SIDEWALK SCUPPERS PER SD 204
- NOT USED
- NOT USED
- TYPE 4 DOUBLE CATCH BASIN W/2 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER $\frac{H}{3}$
- TYPE 4 MODIFIED CATCH BASIN W/3 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER $\frac{H}{3}$
- NOT USED
- NOT USED
- NOT USED
- 12' x 35' LOADING ZONE
- NOT USED
- 2' CURB OPENING
- 4' CURB OPENING
- NOT USED
- NOT USED
- NOT USED
- 14' CURB OPENING W/2 TYPE "B" POST BARRICADES 5' OC PER SD 106 $\frac{G}{3}$
- 20' CURB OPENING W/3 TYPE "B" POST BARRICADES 5' OC PER SD 106 $\frac{G}{3}$
- NOT USED
- TYPE 4 MODIFIED CATCH BASIN W/6 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER $\frac{H}{3}$



REVISED MASTER DEVELOPMENT PLAN FOR
MILLER RANCH

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OV 12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

SCALE: 1"=30' CONTOUR INTERVAL= 1' SHEET 10 OF 11



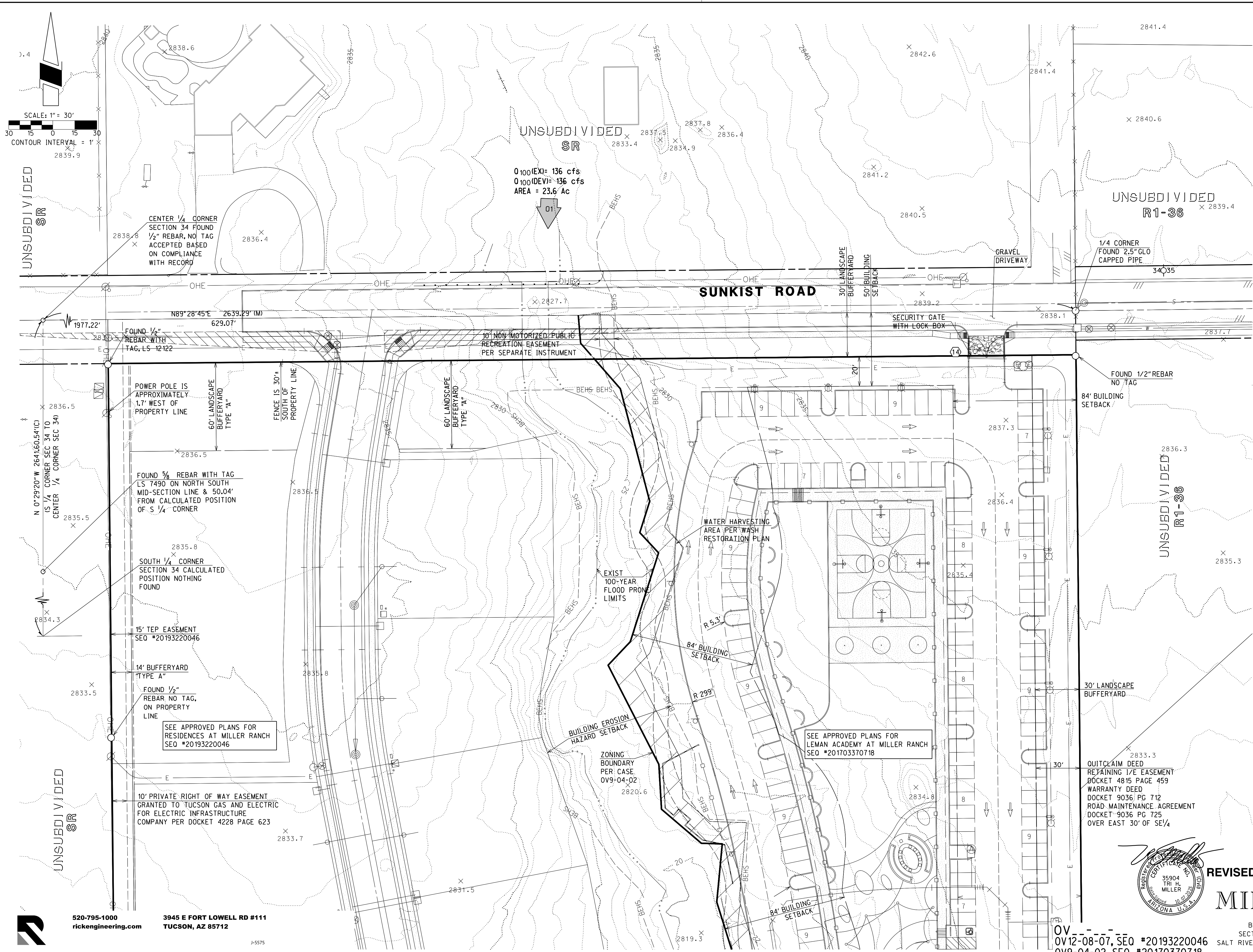
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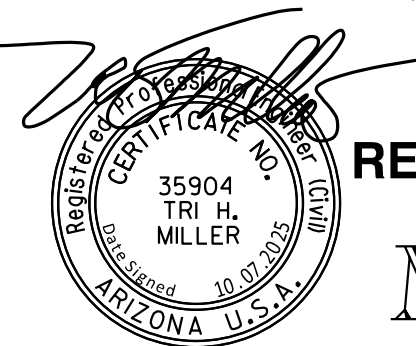
3945 E FORT LOWELL RD #111
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J-5575

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER



- KEYNOTES**
- ① NEW 6" TYPE 2 VERTICAL CURB PER SD 209 (TYP)
 - ② SAW CUT AT 1" MINIMUM, REMOVE EXIST CURB AND PAVEMENT AS NECESSARY, TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
 - ③ CURB ACCESS RAMP PER SD 207 WITH TRUNCATED DOMES PER ADA STANDARDS (TYP)
 - ④ STANDARD PARKING SPACE, TYP(9' X 17' W/3' OVERHANG)(9' X 20') PER DETAIL (TYP) A
3
 - ⑤ NOT USED
 - ⑥ BICYCLE PARKING PER DETAIL (TYP) E
3
 - ⑦ TRASH ENCLOSURE W/72" SCREEN WALL AND SELF-CLOSING, SELF-LATCHING GATE PER (TYP) F
3 L
5
 - ⑧ 12' x 35' PASSENGER DROP OFF/LOADING ZONE(TYP)
 - ⑨ CONCRETE SIDEWALK PER SD 200 (TYP)
 - ⑩ PEDESTRIAN CROSSWALK (TYP)
 - ⑪ R1-1 STOP SIGN
 - ⑫ RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL DRAWINGS (TYP)
 - ⑬ SECURITY BARRIER (TYP)
 - ⑭ EXISTING FENCE TO BE REMOVED
 - ⑮ PROPOSED DOMESTIC WATER SERVICE (TYP)
 - ⑯ PROPOSED IRRIGATION SERVICE (TYP)
 - ⑰ PROPOSED 6" FIRE SERVICE (TYP)
 - ⑱ PROPOSED FIRE HYDRANT
 - ⑲ SCREENWALL PER LANDSCAPE PLAN
 - ⑳ TYPE 1 CONCRETE SIDEWALK SCUPPERS PER SD 204
 - ㉑ NOT USED
 - ㉒ NOT USED
 - ㉓ TYPE 4 DOUBLE CATCH BASIN W/2 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER H
3
 - ㉔ TYPE 4 MODIFIED CATCH BASIN W/3 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER H
3
 - ㉕ NOT USED
 - ㉖ NOT USED
 - ㉗ NOT USED
 - ㉘ 12' x 35' LOADING ZONE
 - ㉙ NOT USED
 - ㉚ 2' CURB OPENING
 - ㉛ 4' CURB OPENING
 - ㉜ NOT USED
 - ㉝ NOT USED
 - ㉞ NOT USED
 - ㉟ 14' CURB OPENING W/2 TYPE "B" POST BARRICADES G
3 5' OC PER SD 106
 - ㊱ 20' CURB OPENING W/3 TYPE "B" POST BARRICADES G
3 5' OC PER SD 106
 - ㊲ NOT USED
 - ㊳ TYPE 4 MODIFIED CATCH BASIN W/6 EF-1 GRATES PER SD 309 W/FIRST FLUSH TREATMENT UNIT PER H
3



REVISED MASTER DEVELOPMENT PLAN FOR
MILLER RANCH

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 11 SOUTH, RANGE 13 EAST, GILA & SALT RIVER MERIDIAN, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.

OV12-08-07, SEQ #20193220046
OV9-04-02, SEQ #20170370718
DATE: OCTOBER 03, 2025

SCALE: 1"=30' CONTOUR INTERVAL=1' SHEET 11 OF 11

SEE SHEET 10

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J-5575

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

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