

CONCEPTUAL SITE PLAN FOR NARANJA TRAILS 2002761

A PORTION OF THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND
SALT RIVER BASE AND MERIDIAN, PIMA COUNTY, ARIZONA

LEGEND

EXISTING

PROPOSED

SEWER FLOW LINE

SEWER MANHOLE

WATER VALVE

LOT NUMBER

FINAL LOT NUMBER

SUGGESTED DRIVEWAY LOCATION

PAD & FINISHED FLOOR ELEVATION

PRESSURE REDUCING VALVE

SIDE SLOPE

RIP RAP

STREET SIGN

MAJOR CONTOUR

MINOR CONTOUR

LINE TYPES

BOUNDARY

CENTERLINE

EASEMENT

TEMPORARY DRAINAGE EASEMENT

PROPOSED LOT

PROPOSED BUILDING ENVELOPE

PUBLIC UTILITY EASEMENT

RIGHT OF WAY

SEWER LINE

WATER LINE

EXISTING SECTION LINE

SIGHT VISIBILITY TRIANGLE : 25MPH

EXISTING EASEMENT

EXISTING FENCE

EXISTING LOT

EXISTING PUBLIC UTILITY EASEMENT

EXISTING RIGHT OF WAY

EXISTING SEWER LINE

EXISTING Q₁₀₀ FLOODPLAIN

PROPOSED Q₁₀₀ FLOODPLAIN

CRITICAL RESOURCE AREA CATAGORY

EXISTING 15% SLOPE

ABBREVIATIONS

(AB)

ADOT

BC OR B/C

CA

CL

EL

EOP

ESMT

EX

FC

FF

MH

PL

P.A.G.

PROP

PUE

R/W

S or SWR

S/W

STD

SVT

TC

W

AS-BUILT

ARIZONA DEPARTMENT OF TRANSPORTATION

BACK OF CURB

COMMON AREA

CENTERLINE

ELEVATION

EDGE OF PAVEMENT

EASEMENT

EXISTING

FACE OF CURB

FINISH FLOOR

MANHOLE

PROPERTY LINE

PIMA COUNTY ASSOCIATION OF GOVERNMENTS

PROPOSED

PUBLIC UTILITY EASEMENT

RIGHT OF WAY

SEWER

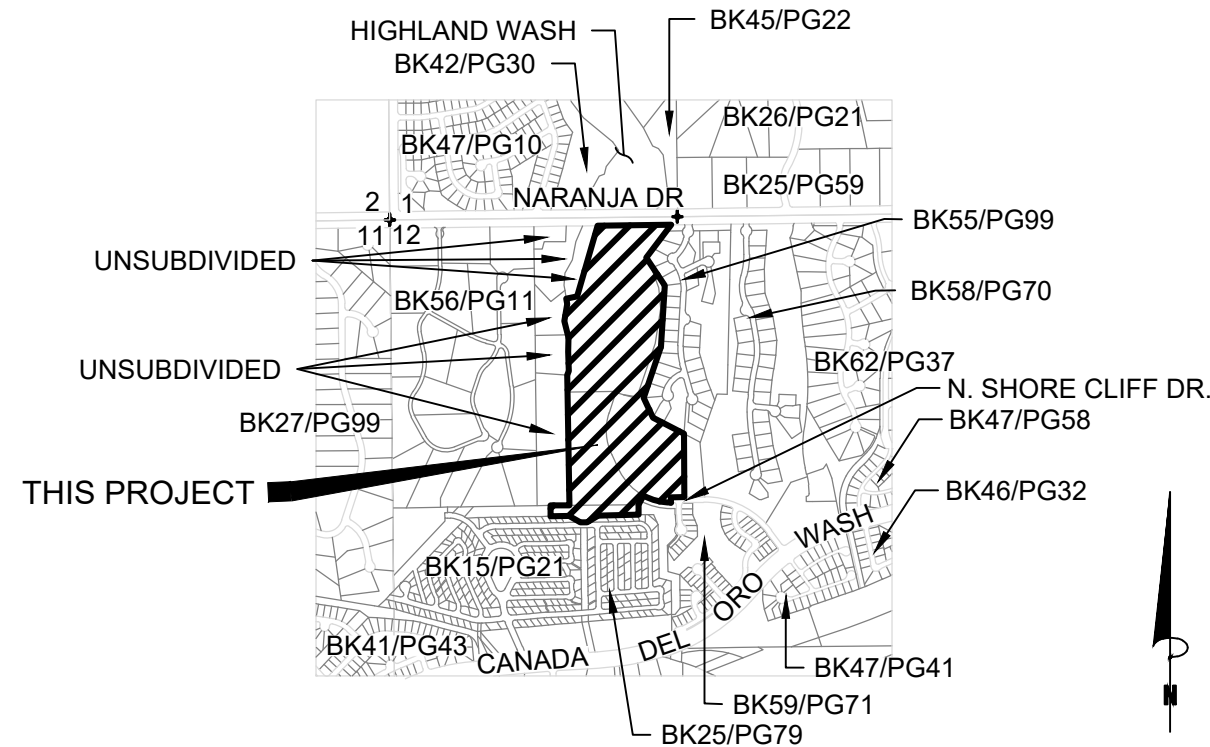
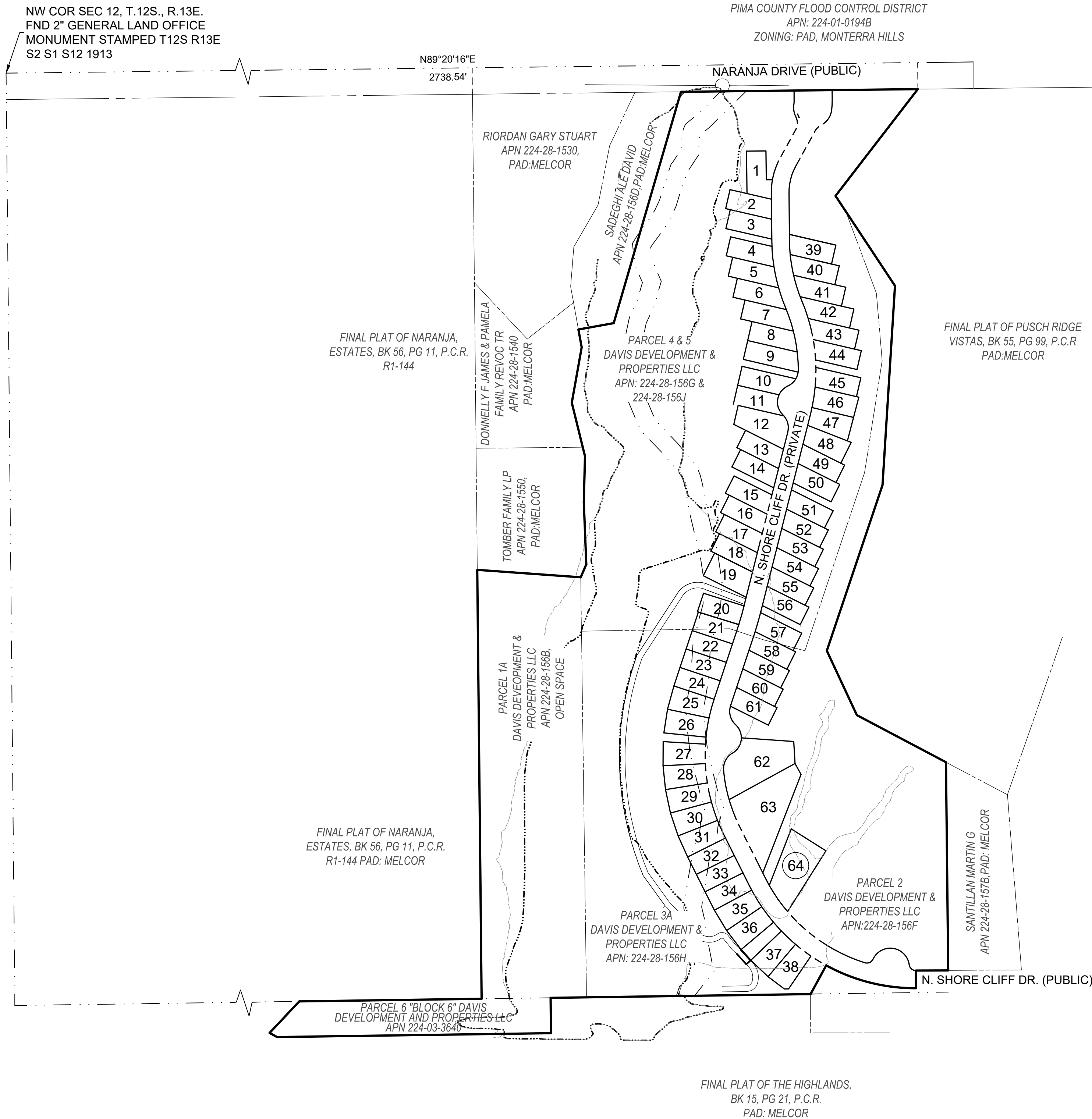
SIDEWALK

STANDARD

SITE VISIBILITY TRIANGLE

TOP OF CURB

WATER



SECTION 12 TOWNSHIP 12 SOUTH
RANGE 13 EAST
VICINITY MAP
NTS

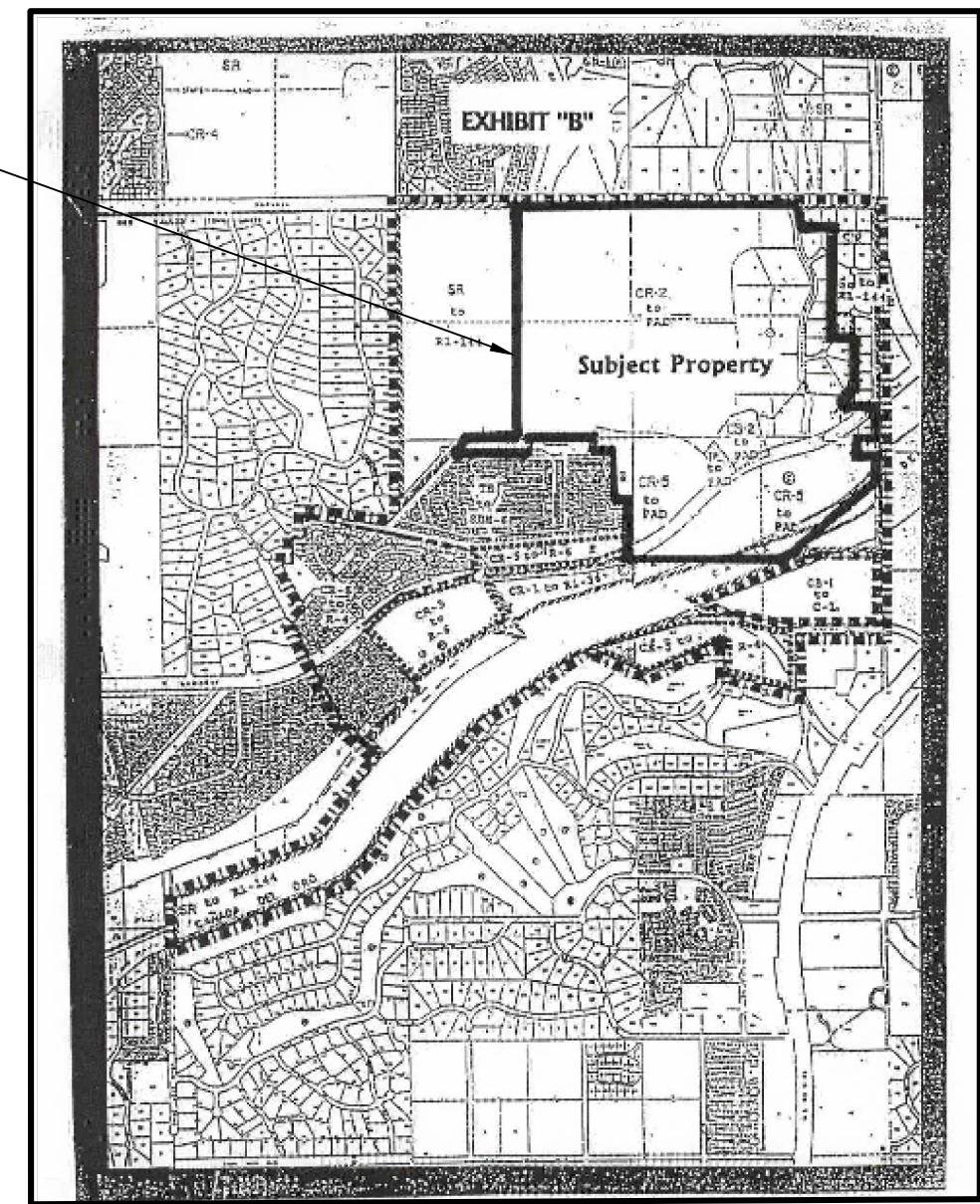
OWNER
PREMIER BUILDING GROUP
3191 E. 44th STREET
TUCSON, AZ 85713
CONTACT: ROD DAVIS
PHONE: 520.293.0300

CIVIL ENGINEER
ATWELL
4700 E. SOUTHERN AVENUE
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CONTACT: FRANCIS HEMMAH
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REGISTRATION #52508

DEVELOPER:
MERITAGE HOMES
5326 N. LA CHOLLA BLVD.
TUCSON, AZ 85741
CONTACT: LISA HOSKIN
PHONE: 520.225.6853

APPROXIMATE SUBJECT
PROPERTY BOUNDARY

Sheet List Table	
Sheet Number	Sheet Title
01	COVER SHEET
02	NOTES
03	DEDICATION MAP
04	HORIZONTAL CONTROL
05	DETAILS
06	DETAILS
07	DETAILS
08	SITE PLAN
09	SITE PLAN
10	SITE PLAN
11	SITE PLAN
12	SITE PLAN
13	SITE PLAN



RIVERS EDGE PAD MAP
NTS

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520.268.6322

Francis Hemmah

Know what's below.
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LOCATION DESCRIPTION
A PORTION OF THE EAST HALF OF THE NORTHWEST
QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH,
RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE
AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY,
ARIZONA

CONCEPTUAL SITE PLAN
NARANJA TRAILS
LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
ORO VALLEY CASE No: 2002761
COVER SHEET

PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE 09.23.2021
SHEET NO.
01 OF 13

GENERAL NOTES

- GROSS AREA: 58.015 ACRES OR 2,527,152 SF±
- RESIDENTIAL UNITS PER ACRE = 1.10
- RESIDENTIAL LOTS: 64
- TOTAL MILES OF NEW PUBLIC STREET IS 0.1
- TOTAL MILES OF NEW PRIVATE STREETS IS 0.44
- ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS

PLANNING GENERAL NOTES

- MAXIMUM ALLOWED BUILDING HEIGHT: 25' MAX AND NOT TO EXCEED 2 STORIES.
- NO PROPOSED LOTS ARE AFFECTED BY CRITICAL/SIGNIFICANT RESOURCE AREAS.
- MINIMUM LOT SITE: 6,598 SF (LOT 33)
- TOTAL AMOUNT OF OPEN SPACE REQUIRED: 334,402 SF
- TOTAL AMOUNT OF OPEN SPACE PROVIDED: 1,860,291 SF
- TOTAL AMOUNT OF LANDSCAPED COMMON AREAS: 572,302 SF
- OPEN SPACE TO REMAIN AS NATURAL OPEN SPACE: 1,287,989 SF
- BUILDING SETBACKS REQUIRED: 15' FRONT MINIMUM, NO REQUIRED SIDE YARD EXCEPT WHEN ADJACENT TO A STREET (10') AND A 15' MINIMUM REAR YARD.
- ALL OPEN SPACE AND COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOA.
- THE EXISTING ZONING FOR THIS DEVELOPMENT IS: PAD; RIVER'S EDGE (MELCOR); CR-2
- ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS
- ALL NAMING AND SIGNAGE OF STREETS SHALL CONFORM TO PIMA COUNTY'S ADDRESSING ORDINANCE AND POLICIES, SECTIONS 18.83.060 THROUGH 18.83.080.

ENGINEERING GENERAL NOTES

- DESIGN SPEED IS 25 MPH. THE DESIGN VEHICLE IS SU-30.
- ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC

ORO VALLEY WATER UTILITY GENERAL NOTES

- THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION
- THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS
- A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
- ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER

GENERAL UTILITY GENERAL NOTES

- SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED AT A MINIMUM OF ONCE EACH YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED CIVIL ENGINEER A MINIMUM OF ONCE EACH FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT. COPIES OF THE 5-YEAR ANNUAL INSPECTION REPORTS SHALL BE MADE AVAILABLE TO THE TOWN UPON REQUEST. THE REPORT SHALL IDENTIFY THE MAINTENANCE NEEDS FOR THE NEXT 5-YEAR PERIOD, INCLUDING ANTICIPATED ANNUAL COSTS OF MAINTENANCE AND REPAIR.

GOLDER RANCH FIRE GENERAL NOTES

- FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
- APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE"
- AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME OF 3600 SQUARE FEET OR LESS WHEN THE REQUIRED FIRE FLOW OF 1000GPM IS NOT WITHIN 600 FEET OF THE HOME. HOMES OF 3601+ SQUARE FEET SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THE REQUIRED FIRE FLOW PRESCRIBED BY IFC TABLE B105.1 IS NOT AVAILABLE WITHIN 600 FEET OF THE HOME. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
- TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS
- THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM

PERMITTING DIVISION - BUILDING CODES

- THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
- 2018 INTERNATIONAL BUILDING CODES WITH LOCAL AMENDMENTS
- 2017 NATIONAL ELECTRICAL CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- 2018 TOWN OF ORO VALLEY POOL CODE
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED

PAD CONDITIONS

- ALL DEVELOPMENT DESIGN PROPOSALS SHALL COMPLY WITH OR EXCEED PIMA COUNTY LANDSCAPING, PARKING, GRADING AND HDZ ORDINANCES, AS APPLICABLE.
- NO BUILDING NORTH OF LAMBERT LANE SHALL EXCEED 24 FEET IN-HEIGHT ABOVE FINISHED GRADE.
- BUILDING WALLS, EXCEPT FOR TRIM, SHALL BE MASONRY OR STUCCO IN EARTHTONE COLORS, AND MAJOR ELEMENTS SHALL NOT HAVE A SMOOTH TEXTURE. REFLECTIVITY SHALL BE LESS THAN 80 PERCENT. BUILDING DESIGN SHALL BE FOUR-SIDED TO PROVIDE VARYING PLANES, INTERPLAY OF LIGHT AND SHADOW, ALTERNATING TEXTURES AND VISUAL INTEREST.

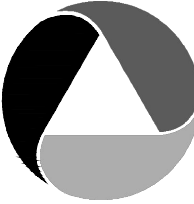
EXPOSED WOOD SHALL BE STAINED OR PAINTED. EXTERIOR APPEARANCES SHALL BLEND WITH THE NATURAL SURROUNDINGS AND THE LANDSCAPING. COLORS OTHER THAN EARTHTONES SHALL BE APPLIED ONLY TO LIMITED AREAS AND SHALL BE SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL.

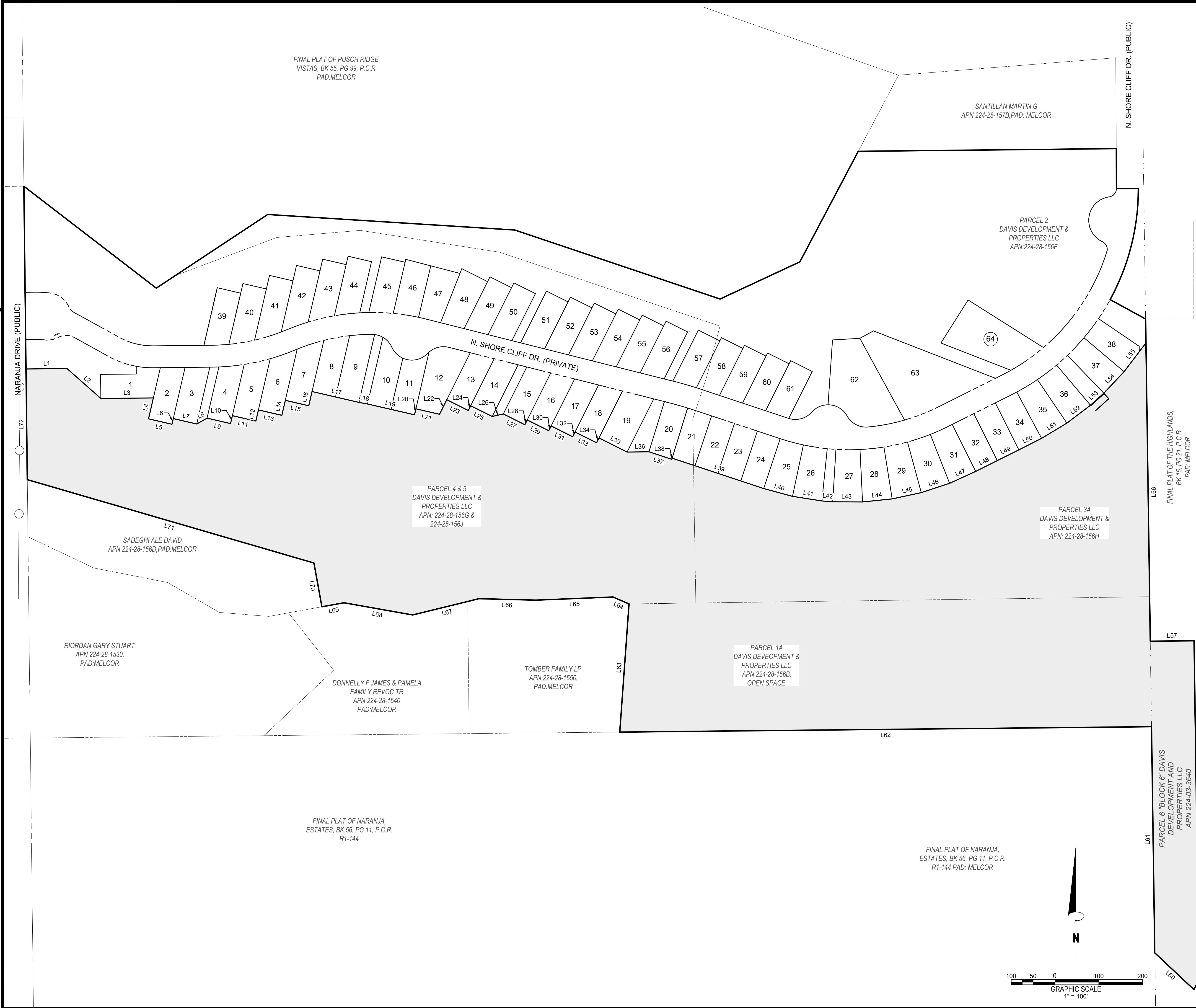
NATURAL CLAY TILE ROOFS, ALTERNATIVE ROOFING MATERIALS HAVING BULK, TEXTURE AND SUBDUED TONE, AND SPECIAL ROOFING MATERIALS HAVING UNIQUE ARCHITECTURAL APPLICABILITY SHALL BE ENCOURAGED AND SHALL BE USED AS ROOF ELEMENTS RATHER THAN AS DECORATION. ROOF PITCH SHALL NOT EXCEED 6 IN PARAPET ROOFS SHALL BE CONTINUOUS AROUND THE ROOF PERIMETER. WHITE OR REFLECTIVE ROOFS ARE PROHIBITED.

MATERIALS, COLORS AND TEXTURES SHALL BE COMPATIBLE WITH ARCHITECTURAL FORM; I.E., NO BIZARRE OR COMMERCIAL "THEME" BUILDINGS WILL BE PERMITTED.

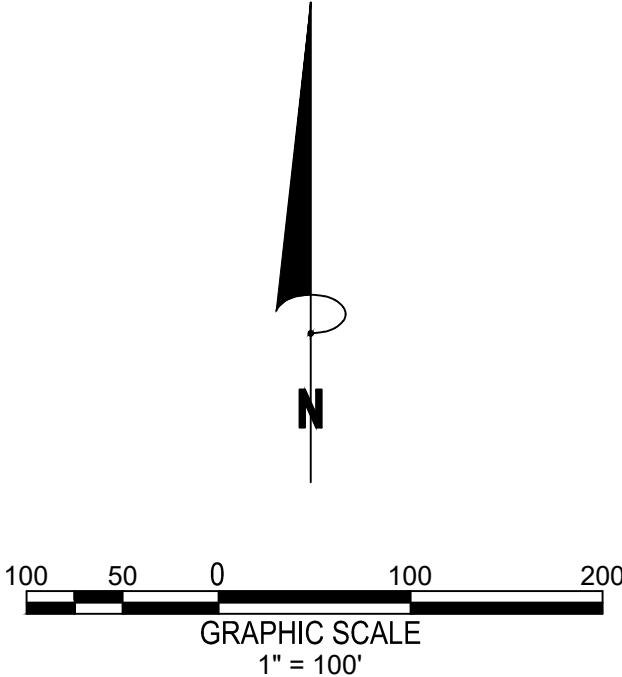
- ALL MECHANICAL EQUIPMENT, LOADING AREAS, STORAGE AREAS AND TRASH COLLECTION AREAS SHALL BE SHIELDED FROM VIEW BY ARCHITECTURAL DESIGN, FENCING, WALLS OR LANDSCAPING. RECEIVING OR TRANSMITTING ANTENNAE, EXCEPT CUSTOMARY ROOFTOP TV/RADIO ANTENNAE OR FULLY SCREENED DISH ANTENNAE, SHALL BE PROHIBITED. STORAGE OF RECREATION VEHICLES INCLUDING BOATS AND TRAILERS IS PROHIBITED.
 - LIGHTING OF BUILDINGS, GROUNDS AND PARKING AREAS SHALL BE SUBJECT TO THE FOLLOWING:
 - MAXIMUM WATTAGE - 150 WATT HIGH PRESSURE SODIUM
 - MAXIMUM HEIGHT OF STANDARD - 20 FEET
 - MAXIMUM HEIGHT OF STANDARD AT PERIMETER - 14 FEET
 - TYPE OF STANDARD - DOWN-THROW
 - TYPE OF STANDARD AT PERIMETER - HOUSE SIDE SHIELD, SHARP CUT-OFF, FORWARD-THROW
 - AVERAGE LEVEL OF ILLUMINATION - ONE-HALF FOOT-CANDLE
 - MINIMUM LEVEL OF ILLUMINATION - ONE-FOURTH AVERAGE

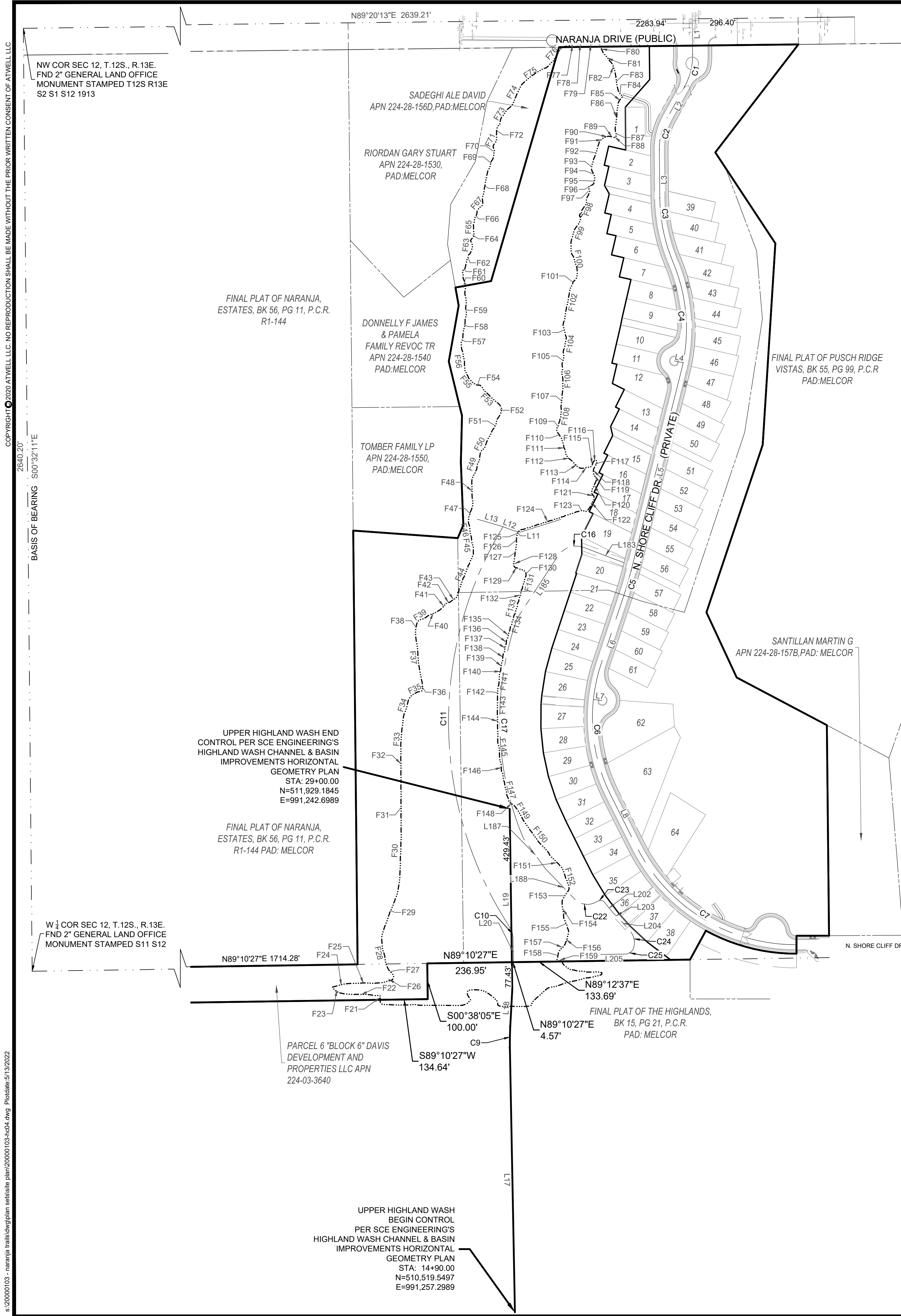
THERE SHALL BE NO NIGHT LIGHTING IN ANY DESIGNATED BUFFER AREA.
 - THE DISTURBED SHOULDERS OF LAMBERT LANE SHALL BE RE-LANDSCAPED BY SEEDING WITH NATIVE GRASSES AND WILDFLOWERS.
- ANY NON-DEVELOPMENT AREAS DISTURBED TEMPORARILY DURING CONSTRUCTION SHALL BE RE-LANDSCAPED/RESEEDDED.

 ATWELL 866.850.4200 www.atwell-group.com 250 N. MEYER AVENUE, SUITE B TUCSON, AZ 85701 520.784.3816		 Francis Hemmah
 Know what's below. Call before you dig.	LOCATION DESCRIPTION A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	
CONCEPTUAL SITE PLAN NARANJA TRAILS LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		PM. F. HEMMAH DR. F. HEMMAH JOB NO. 20000103 DATE: 09.23.2021
ORO VALLEY CASE No: 2002761		SHEET NO. 02 OF 13
GENERAL NOTES		



LINE DATA			LINE DATA		
LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L1	S0°33'47"E	93.61'	L41	S8°52'20"W	68.07'
L2	S41°25'18"W	103.10'	L42	S4°36'57"W	24.75'
L3	S0°33'47"E	120.00'	L43	S0°21'35"W	68.07'
L4	N77°00'09"W	49.06'	L44	S5°53'01"E	68.07'
L5	S12°59'51"W	55.00'	L45	S12°07'36"E	68.07'
L6	S77°00'09"E	13.27'	L46	S18°22'12"E	68.07'
L7	S12°59'51"W	55.00'	L47	S24°25'29"E	65.61'
L8	S29°32'51"E	27.15'	L48	S26°33'35"E	55.00'
L9	S12°59'51"W	55.00'	L49	S26°33'56"E	55.00'
L10	S77°00'09"E	18.59'	L50	S26°48'37"E	58.26'
L11	S12°59'51"W	55.00'	L51	S31°07'27"E	67.57'
L12	S77°00'09"E	26.15'	L52	S37°06'59"E	67.49'
L13	S12°59'51"W	55.00'	L53	S41°56'47"E	41.07'
L14	S77°00'09"E	35.11'	L54	S46°46'30"E	67.49'
L15	S12°59'51"W	55.00'	L55	S52°46'17"E	82.70'
L16	S77°00'09"E	33.29'	L56	S89°10'27"W	681.71'
L17	S12°59'51"W	110.00'	L57	S0°38'05"E	100.00'
L18	S10°33'22"W	20.02'	L58	S89°10'27"W	775.41'
L19	S12°59'51"W	110.00'	L61	N89°10'27"E	516.54'
L20	S77°00'09"E	14.09'	L62	N0°34'35"W	1214.69'
L21	S12°59'51"W	55.39'	L63	S85°52'54"E	293.53'
L22	S63°25'19"E	37.17'	L64	N23°23'40"E	39.95'
L23	S26°34'41"W	55.00'	L65	N2°19'52"W	176.20'
L24	S63°25'19"E	12.15'	L66	N1°26'07"E	130.22'
L25	S26°34'41"W	55.00'	L67	N13°46'53"W	155.93'
L26	S13°03'21"E	25.97'	L68	N10°04'58"E	159.31'
L27	S26°34'41"W	55.00'	L69	N10°17'09"W	51.20'
L28	S63°25'19"E	12.15'	L70	N79°43'17"E	101.64'
L29	S26°34'41"W	55.00'	L71	N16°12'23"E	682.00'
L30	S63°25'19"E	12.15'	L72	N89°20'13"E	252.92'
L31	S26°34'41"W	55.00'			
L32	S63°25'19"E	12.15'			
L33	S26°34'41"W	55.00'			
L34	S63°25'19"E	12.40'			
L35	S26°46'51"W	71.99'			
L36	S0°52'59"E	49.71'			
L37	S18°10'40"W	55.01'			
L38	S72°51'11"E	2.54'			
L39	S18°19'53"W	220.48'			
L40	S15°06'19"W	68.07'			





HIGHLAND WASH HORIZONTAL CONTROL LINE DATA		
LINE #	BEARING	DISTANCE
L13	S73°42'26"E	75.53'
L17	N1°05'15"W	741.14'
L18	N3°09'15"E	102.77'
L19	N0°49'13"W	506.86'
L20	N1°09'04"W	67.14'
L183	N69°14'28"W	120.08'
L185	S33°09'24"W	207.56'
L187	S35°58'41"E	104.12'
L188	S43°57'13"E	118.48'
L202	S38°44'22"E	37.51'
L203	S48°27'12"E	16.50'
L204	S41°56'47"E	52.32'
L205	S89°10'27"W	68.58'

HIGHLAND WASH HORIZONTAL CONTROL CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C9	59.22'	800.00'	4°14'30"
C16	83.79'	60.78'	78°59'35"
C17	630.23'	857.22'	42°07'26"
C22	69.94'	50.00'	80°08'49"
C23	22.35'	15.00'	85°21'41"
C24	51.40'	50.00'	58°53'58"
C25	31.51'	25.00'	72°13'16"

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F21	N7°56'07"E	10.66'
F22	N85°44'18"W	110.18'
F23	N54°50'50"W	29.20'
F24	N77°32'56"E	44.93'
F25	N88°18'15"E	95.04'
F26	N61°28'03"E	36.64'
F27	N33°55'15"W	30.13'
F28	N12°24'27"W	81.91'
F29	N18°27'47"E	152.87'
F30	N2°16'00"E	180.14'
F31	N0°05'44"W	75.00'
F32	N0°17'35"W	110.00'
F33	N3°28'28"E	105.19'
F34	N18°07'58"E	67.48'
F35	N64°15'09"E	33.31'
F36	N4°27'58"E	26.49'
F37	N7°42'50"W	138.76'
F38	N9°47'59"E	27.91'
F39	N57°19'18"E	37.79'
F40	N64°50'11"E	33.15'

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F41	N45°05'23"E	28.24'
F42	N71°50'03"E	10.52'
F43	N53°16'10"E	23.12'
F44	N21°42'27"E	127.49'
F45	N6°12'18"W	52.62'
F46	N11°02'39"W	40.95'
F47	N14°12'17"E	41.26'
F48	N0°15'15"W	77.50'
F49	N17°21'14"E	78.58'
F50	N28°53'21"E	39.97'
F51	N26°54'36"E	83.55'
F52	N2°59'15"W	25.18'
F53	N45°19'53"W	78.74'
F54	N79°37'21"W	15.44'
F55	N38°57'52"W	42.07'
F56	N8°48'02"W	65.79'
F57	N0°02'28"W	43.97'
F58	N12°36'32"E	46.03'
F59	N0°13'44"E	41.07'
F60	N7°31'51"W	80.62'

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F61	N23°21'31"E	30.75'
F62	N21°28'34"E	33.72'
F63	N4°28'02"E	40.12'
F64	N15°42'31"E	20.78'
F65	N2°17'26"E	25.02'
F66	N17°01'53"E	38.73'
F67	N40°02'38"E	20.21'
F68	N8°47'25"E	96.72'
F69	N23°38'23"E	37.56'
F70	N0°13'13"W	32.50'
F71	N24°22'35"E	21.96'
F72	N6°52'21"E	37.61'
F73	N31°46'05"E	56.98'
F74	N29°02'44"E	76.53'
F75	N55°40'14"E	83.89'
F76	N39°46'20"E	75.91'
F77	N80°48'10"E	38.97'
F78	N89°50'33"E	13.88'
F79	S89°00'39"E	46.22'
F80	S25°02'30"E	26.28'

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F81	S40°09'22"E	39.25'
F83	S11°11'42"E	61.16'
F84	S27°40'31"E	19.03'
F85	S32°58'45"W	18.65'
F86	S6°19'28"W	75.46'
F87	S5°25'51"E	17.83'
F88	S56°13'39"W	6.02'
F89	N76°01'52"W	12.88'
F90	S79°51'55"W	12.70'
F91	S48°15'09"W	22.20'
F92	S18°04'55"W	65.75'
F93	S5°00'02"W	12.55'
F94	S19°09'44"E	26.47'
F95	S8°17'50"W	15.16'
F96	S57°18'55"W	17.04'
F97	S5°28'00"W	25.91'
F98	S20°51'51"W	63.69'
F99	S19°18'20"W	74.68'
F100	S9°48'59"E	96.41'
F101	S29°26'29"W	37.32'

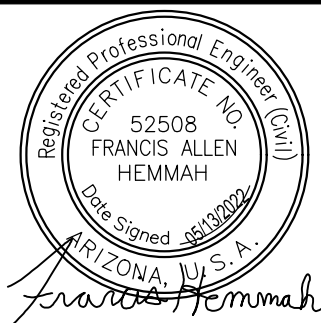
PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F102	S11°05'29"W	104.45'
F103	S13°49'43"E	34.52'
F104	S7°24'03"W	51.92'
F105	S8°58'33"W	27.84'
F106	S0°31'19"E	78.89'
F107	S3°36'18"W	48.71'
F108	S9°23'27"W	32.94'
F109	S19°17'24"W	23.84'
F110	S26°56'45"E	33.65'
F111	S15°26'23"E	40.85'
F112	S44°08'47"E	25.22'
F114	N78°49'40"E	25.48'
F115	N27°41'18"E	14.26'
F116	N59°19'12"E	9.74'
F117	S16°11'29"W	26.00'
F118	S3°34'35"W	7.51'
F119	S18°01'35"E	24.94'
F120	S18°31'25"W	38.26'
F121	S27°08'07"E	14.05'
F122	S26°58'22"W	39.27'

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F123	S81°38'57"W	34.43'
F124	S71°30'22"W	167.82'
F125	S24°40'43"W	12.95'
F126	S3°13'10"W	20.03'
F127	S7°51'45"W	53.00'
F128	S9°55'34"E	17.77'
F129	S75°44'21"E	7.74'
F130	S0°14'19"W	7.50'
F131	S16°08'04"W	36.44'
F132	S18°11'25"W	41.64'
F133	S16°17'25"W	35.65'
F134	S15°49'50"W	42.84'
F135	S17°53'46"W	31.53'
F136	S6°03'54"W	10.06'
F137	S15°55'47"W	31.20'
F138	S4°17'21"W	10.03'
F139	S9°55'34"W	35.53'
F140	S28°21'18"W	2.24'
F141	S8°21'53"W	48.55'
F142	S1°15'11"W	20.00'

PROPOSED FLOODPLAIN LINE DATA		
LINE #	BEARING	DISTANCE
F143	S0°42'58"W	40.00'
F144	S0°50'08"E	90.01'
F145	S7°49'45"E	35.33'
F146	S8°51'14"E	65.78'
F147	S13°44'21"E	64.34'
F148	S47°09'57"E	23.10'
F149	S31°40'02"E	49.11'
F150	S37°34'54"E	116.72'
F151	S41°02'33"E	56.35'
F152	S18°38'58"E	58.05'
F153	S29°46'04"W	38.77'
F154	S5°26'44"E	49.07'
F155	S19°30'09"E	39.78'
F156	S17°01'51"W	38.52'
F157	S42°20'31"W	21.20'
F158	S16°18'38"W	25.59'
F159	S62°43'43"E	13.61'

CENTER LINE DATA		
LINE #	BEARING	DISTANCE
L1	S0°39'47"E	100.00'
L2	S28°56'17"W	100.00'
L3	S0°33'57"E	134.22'
L4	S78°36'49"E	25.00'
L5	S14°07'23"W	576.64'
L6	S18°23'00"W	200.43'
L7	S83°51'06"E	25.00'
L8	S26°33'56"E	163.13'

CENTER LINE CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	93.51'	181.00'	29°36'04"
C2	93.20'	181.00'	29°30'14"
C3	186.24'	480.00'	22°13'49"
C4	309.29'	480.00'	36°55'09"
C5	74.36'	1000.00'	4°15'37"
C6	374.47'	480.00'	44°41'55"
C7	555.46'	500.00'	63°39'03"



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CONCEPTUAL SITE PLAN NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

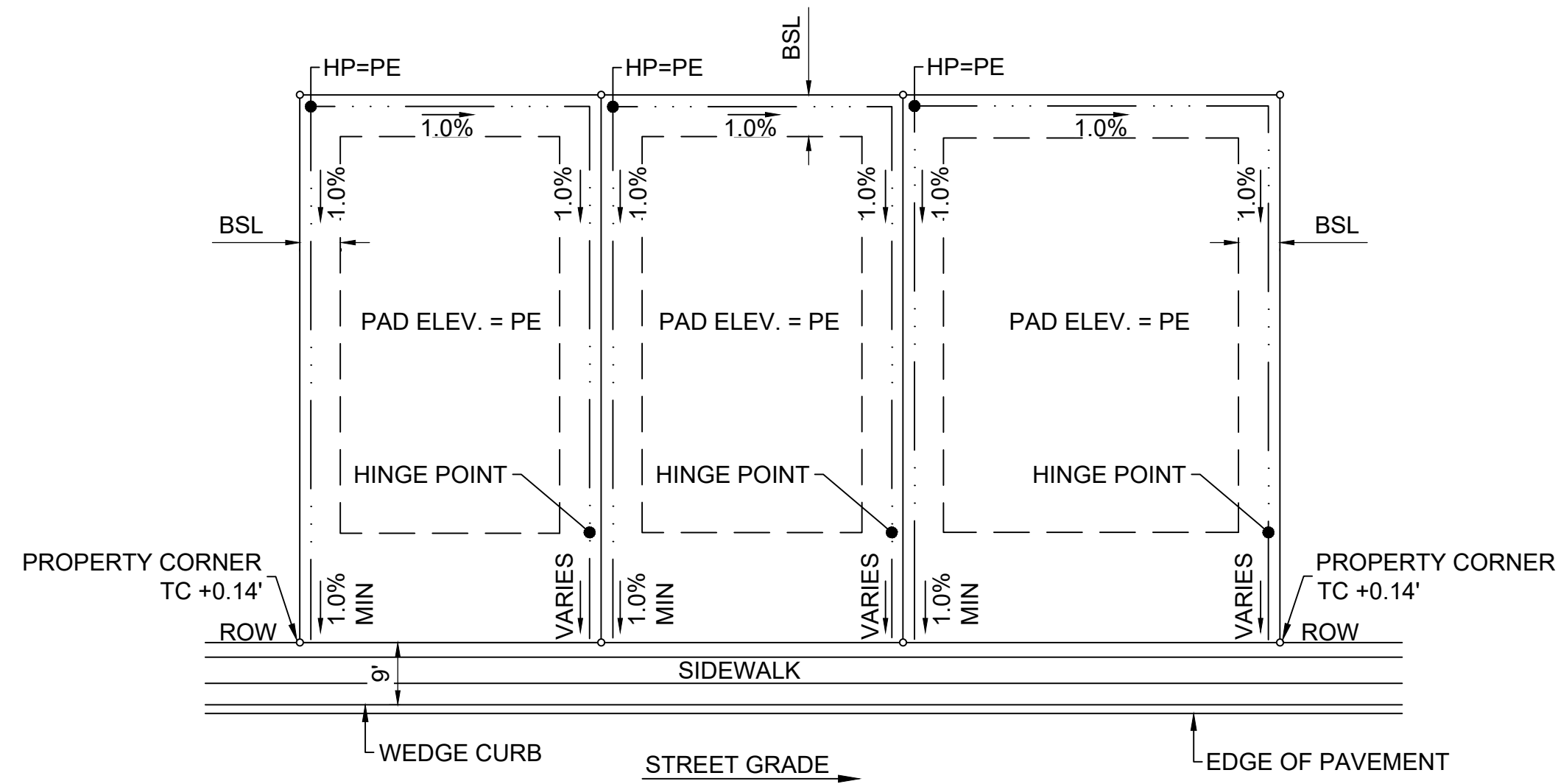
ORO VALLEY CASE No: 2002761

HORIZONTAL CONTROL

PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE 09.23.2021

SHEET NO.

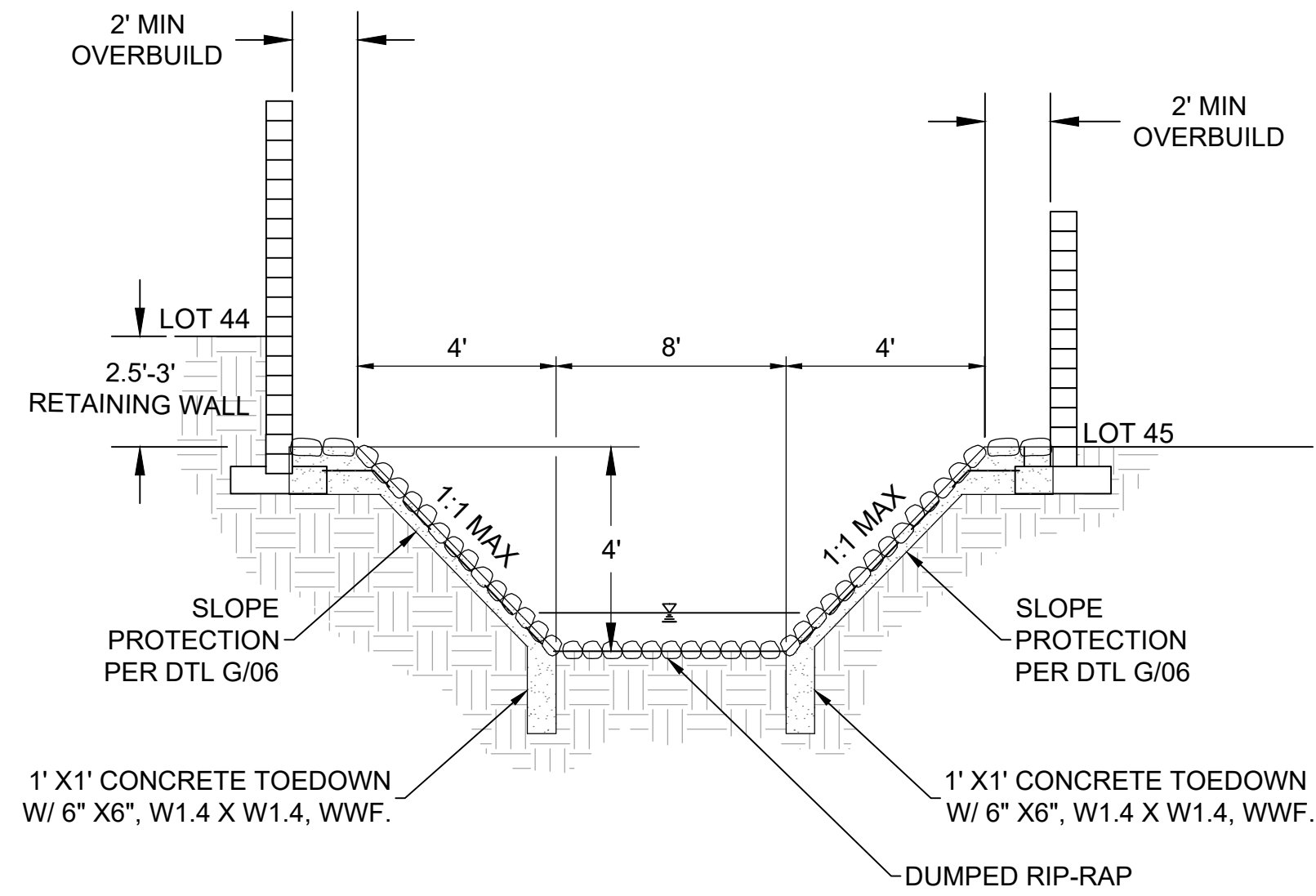
04 OF 13



- NOTE:
1. NO WALLS AND/OR GATES SHALL BE CONSTRUCTED ACROSS THE REAR YARD UNTIL THE FINAL LOT GRADING HAS BEEN ESTABLISHED TO MEET THE 1% MIN. DRAINAGE REQUIREMENTS. OUTLET INVERTS SHALL BE DESIGNED TO MEET THE FINAL GRADES.
 2. SEE PLAN FOR STREET GRADE DIRECTION.

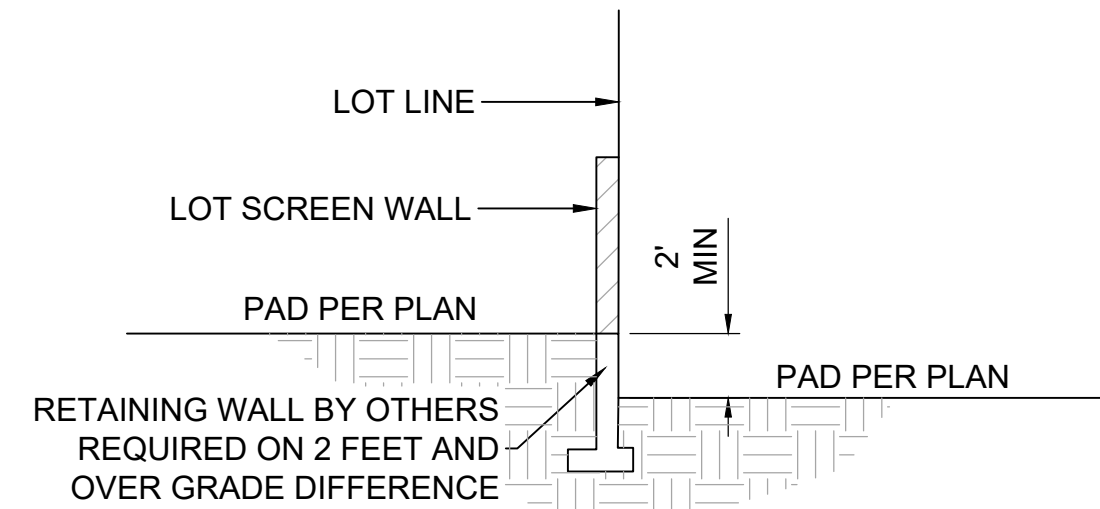
1 TYPE "A" LOT GRADING

NTS



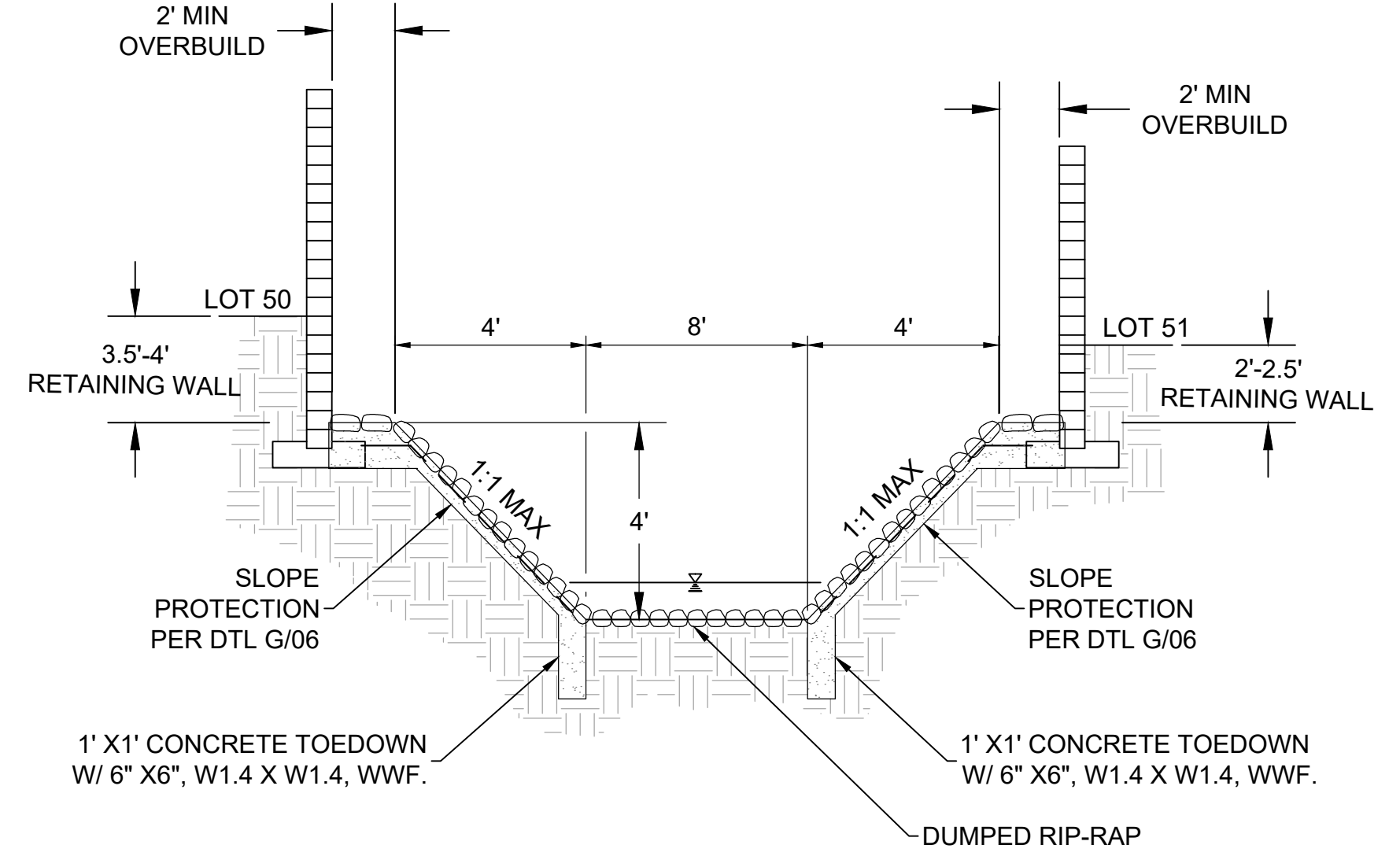
3 CHANNEL SECTION 1
LOT 44 - 45

NTS



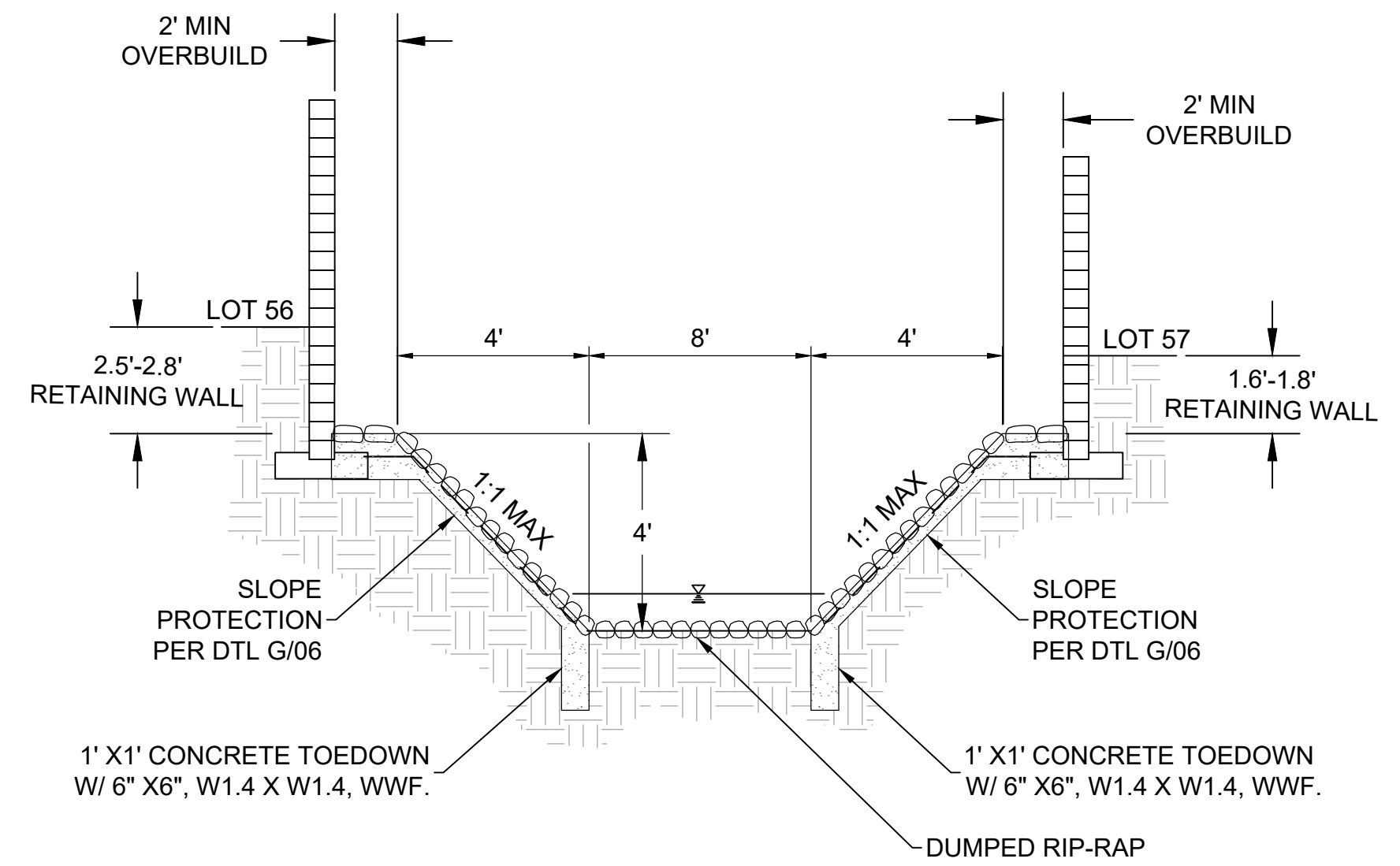
2 LOT TO LOT SECTION

NTS



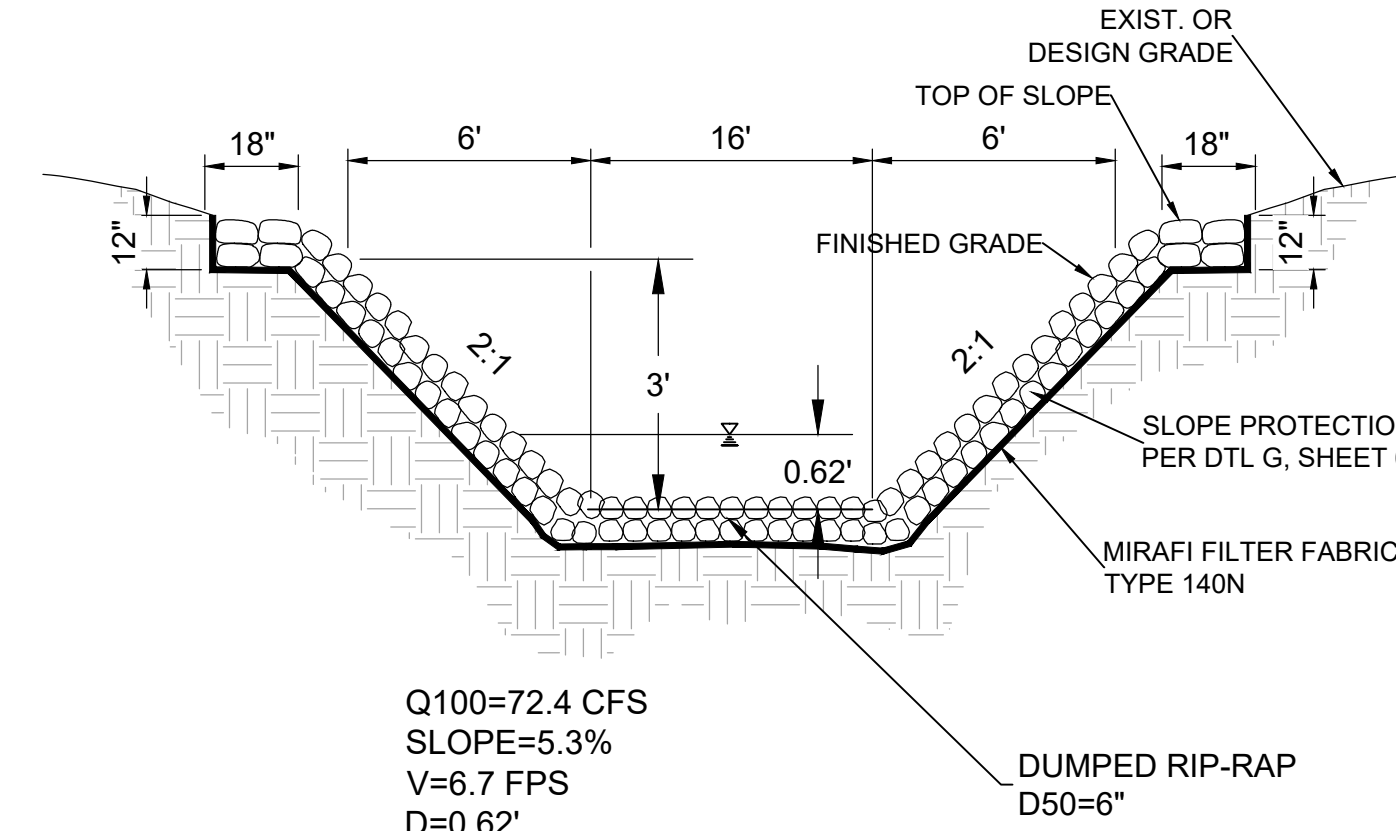
4 CHANNEL SECTION 2
LOT 50 - 51

NTS



5 CHANNEL SECTION 3
LOT 56 - 57

NTS



6 CHANNEL SECTION

NTS

Q100=72.4 CFS
SLOPE=5.3%
V=6.7 FPS
D=0.62'

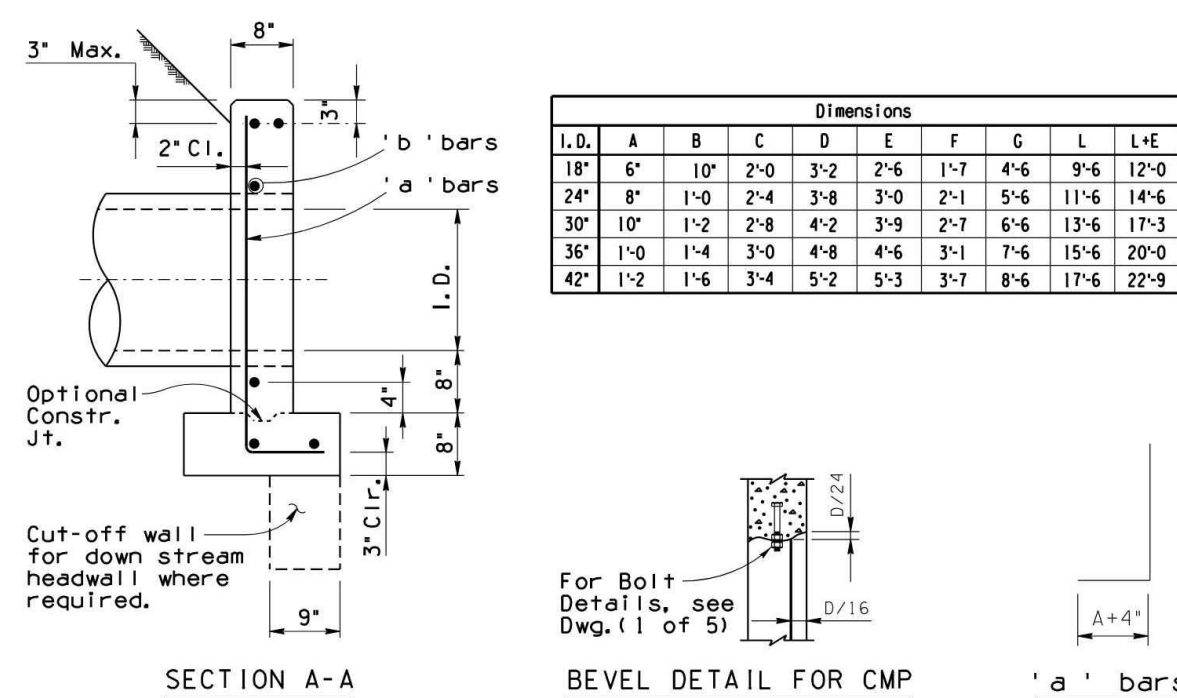
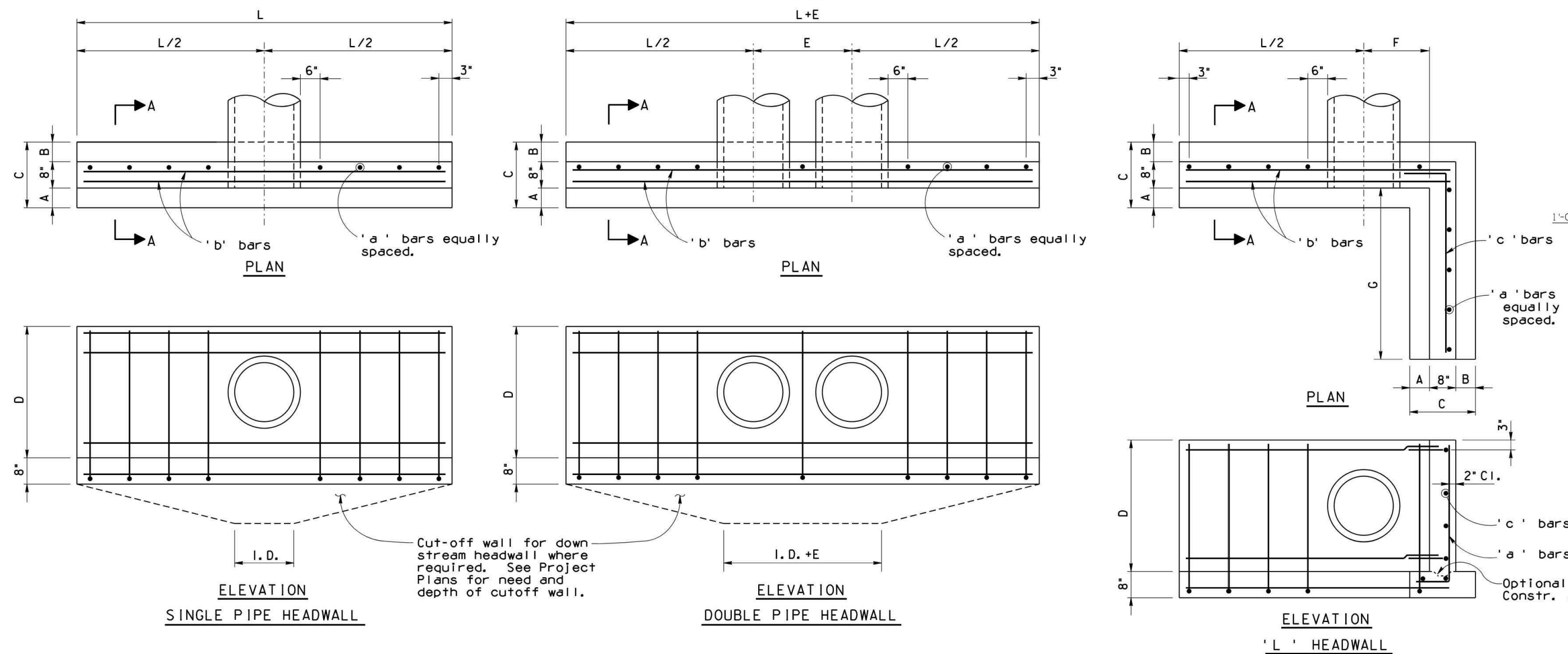
NOTE:
Concrete pipe shown. Corrugated metal pipe similar.
Dimension E equals pipe spacing.
High point of headwall shall not project more than 3' above slope.
For 3 or more pipes, add quantities shown for each additional pipe to Double Pipe Headwall quantity. Add one 'a' bar to double pipe headwall total and increase 'b' bar length by Dimension E for each additional pipe.

NOTE:
For General Notes, Dimensions, Quantities and additional Details, see SD 6.30 (1, 1 & 3 to 5).
APPROVED FOR SUBMITTAL: *Shafiq H. Hagan*
DESIGNED BY: *Joan A. Naranjo*
DATE: 5/13/2022
SHEET NO. 6.30 (2 of 5)
OF

Reinforcing												
I.D.	'a' bars				'b' bars				'c' bars			
	Single Pipe Headwall		Double Pipe Headwall		Single Pipe Headwall		Double Pipe Headwall		Single Pipe Headwall		Double Pipe Headwall	
	No	Lgth	No	Lgth	No	Lgth	No	Lgth	No	Lgth	No	Lgth
18"	8	4'-3"	9	4'-3"	10	4'-3"	6	9'-0"	6	11'-6"	6	6'-6"
24"	10	5'-0"	11	5'-0"	12	5'-0"	6	11'-0"	6	14'-0"	6	8'-0"
30"	12	5'-6"	13	5'-6"	14	5'-6"	6	13'-0"	6	16'-9"	6	9'-6"
36"	12	6'-3"	13	6'-3"	16	6'-3"	6	15'-0"	6	19'-6"	6	11'-0"
42"	14	7'-0"	15	7'-0"	18	7'-0"	6	17'-0"	6	22'-3"	6	12'-6"

Approximate Quantities											
Single Pipe Headwall				Double Pipe Headwall				Add'l. Pipe Headwall			
L' Headwall				L' Headwall				L' Headwall			
L.B.	Conc. C.Y.	Reinf. Lbs.	Conc. C.Y.	Reinf. Lbs.	Conc. C.Y.	Reinf. Lbs.	Conc. C.Y.	Reinf. Lbs.	Conc. C.Y.	Reinf. Lbs.	Conc. C.Y.
18"	1.2	60	1.4	73	.3	13	1.4	75			
24"	1.6	78	2.0	90	.4	15	2.0	100			
30"	2.1	91	2.6	116	.5	19	2.6	121			
36"	2.7	111	3.4	133	.7	22	3.4	152			
42"	3.4	135	3.7	160	.8	26	4.2	180			

* Quantities do not include cut-off wall.



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CONCEPTUAL SITE PLAN NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

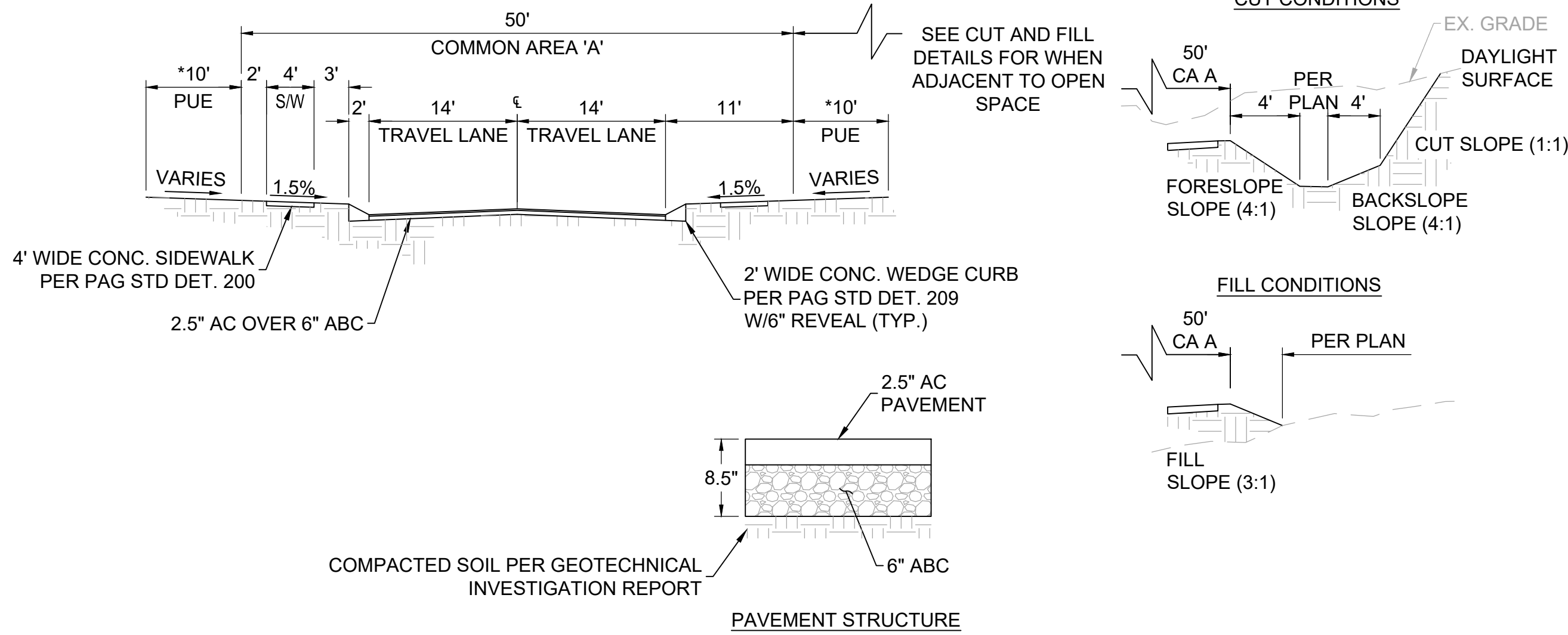
ORO VALLEY CASE No: 2002761

DETAILS

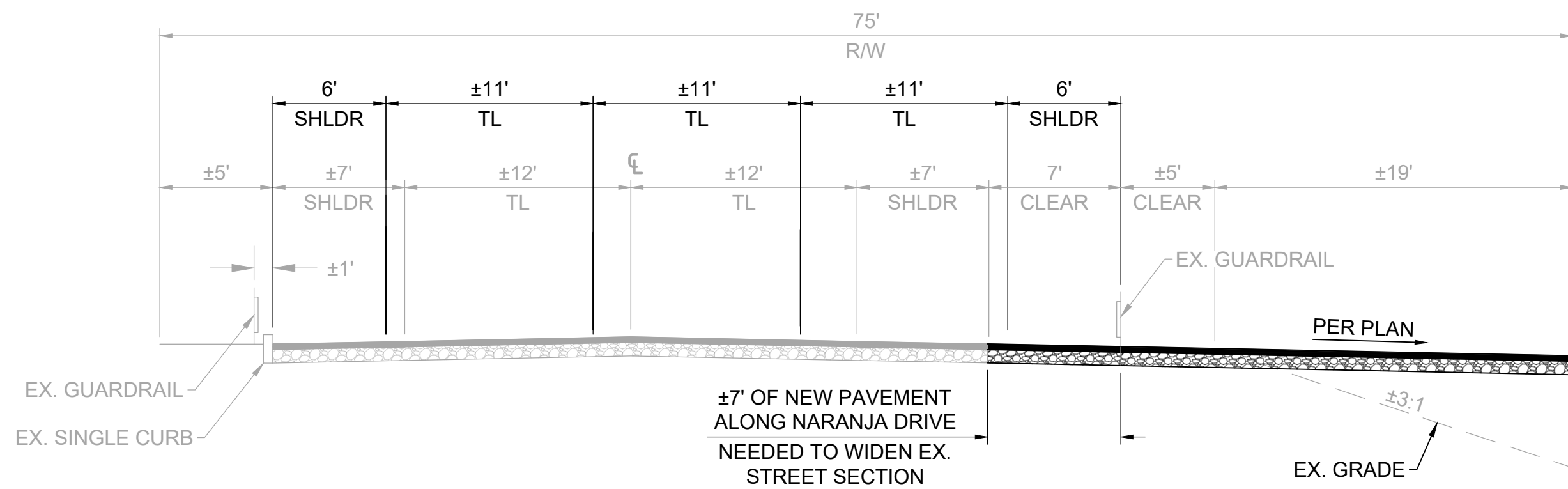
PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE: 09.23.2021

SHEET NO.

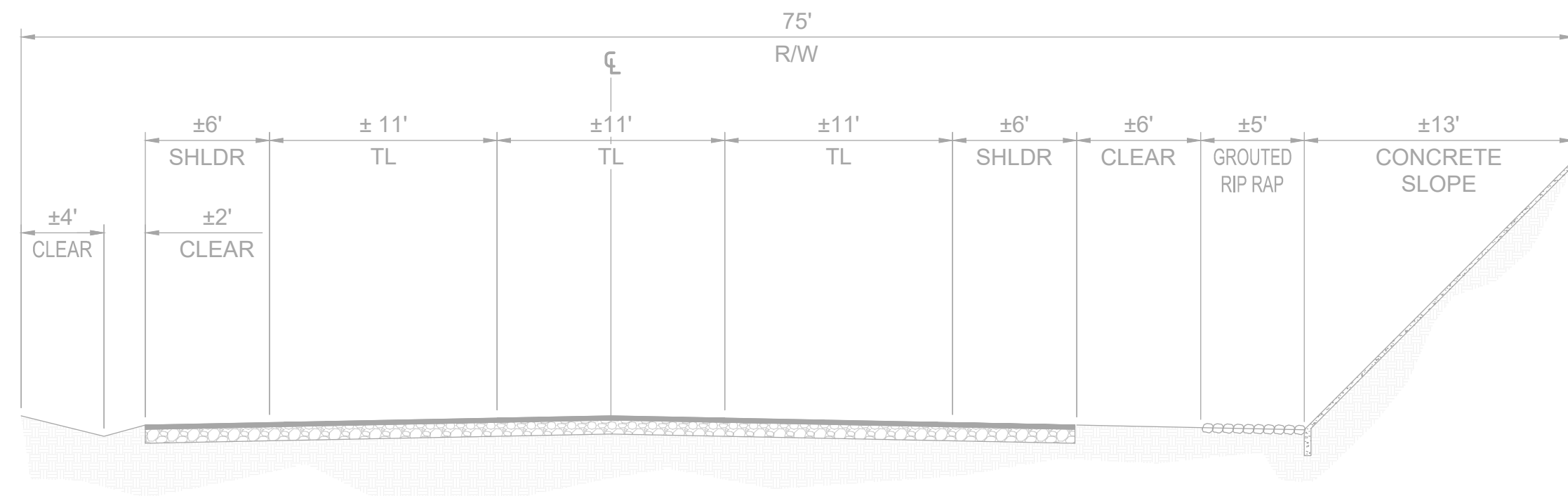
05 OF 13



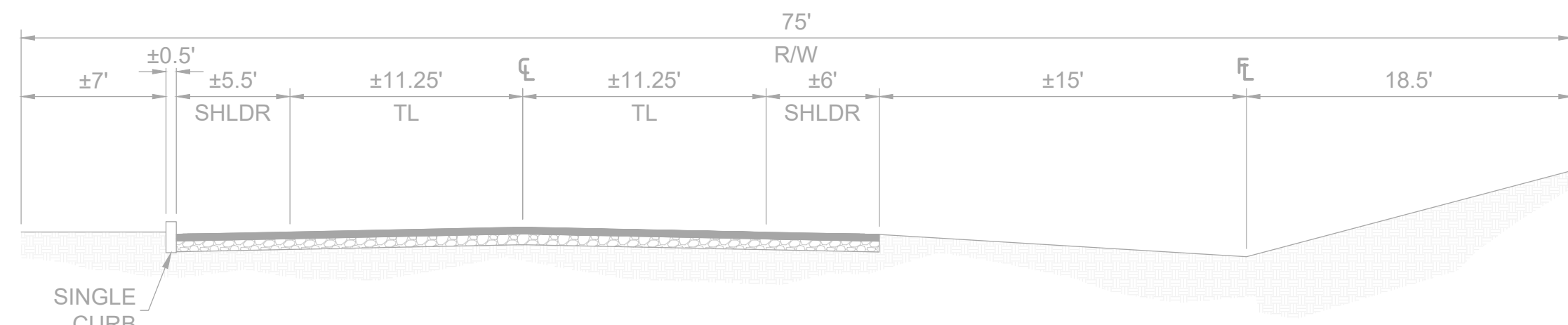
A PROPOSED TYPICAL ROADWAY CROSS SECTION
NORTH SHORE CLIFF DR.
*WHEN ADJACENT TO LOTS



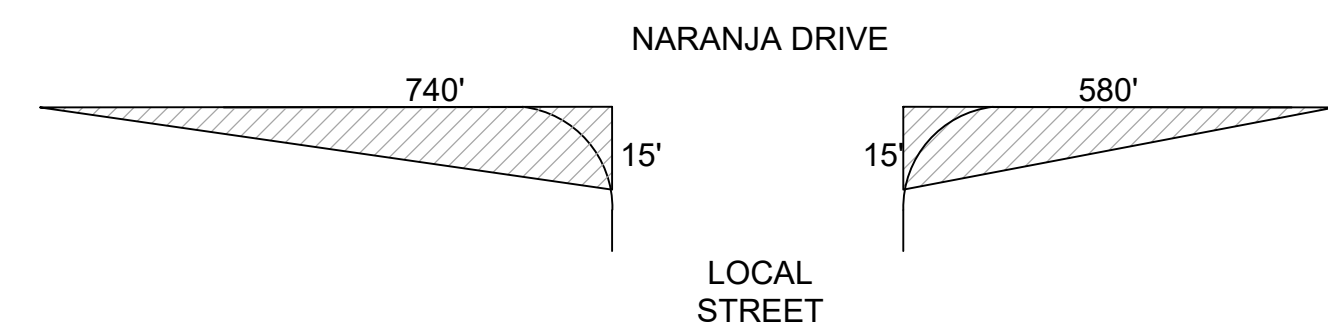
B PROPOSED NARANJA DRIVE STREET SECTION
OVERLAID ON TOP OF THE EXISTING STREET SECTION



C EXISTING NARANJA DRIVE STREET SECTION



D EXISTING NARANJA DRIVE STREET SECTION



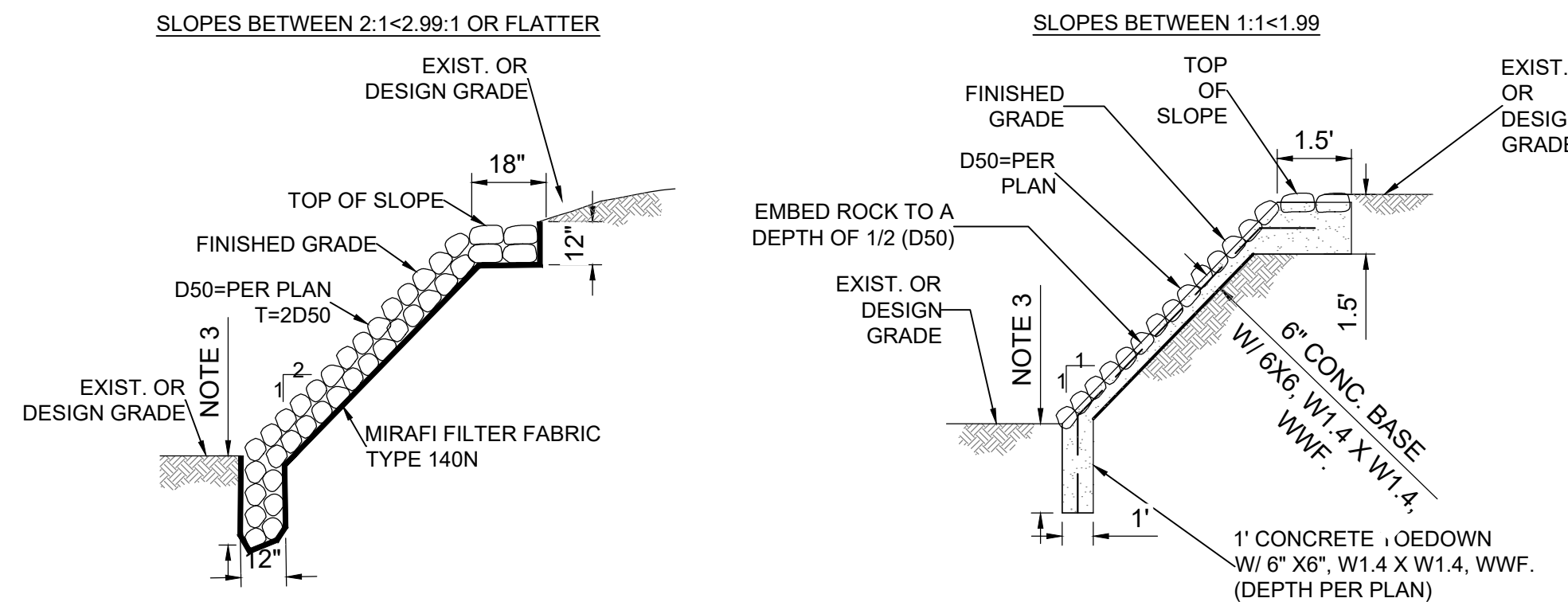
E SITE VISIBILITY TRIANGLE
50 MPH DESIGN SPEED

- NOTES
1. FOR D50 = 6", USE W3.5XW3.5. FOR D50 = 9" AND GREATER, USE W5.5XW5.5.
 2. UNLESS NOTED OTHERWISE ON THE PLANS, ALL MATERIAL & INSTALLATION PER PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, CURRENT ED.
 3. CUT AND FILL SLOPES LESS THAN 7 FEET IN HEIGHT ARE RECOMMENDED TO HAVE A MAXIMUM GRADIENT OF 1 TO 1.

F ROCK-FACED CONCRETE SLOPE PAVING
HIGHLAND WASH

SLOPE GRADIENT	SLOPE PROTECTION
3:1 OR FLATTER	REVEGETATE WITH NATIVE SPECIES PER LANDSCAPE PLAN
STEEPER THAN 3:1 TO 2:1	RIP-RAP WITH FILTER FABRIC CLOTH, JUTE, OR EXCELSIOR NETTING AND THEN REVEGETATE WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS.
STEEPER THAN 2:1 TO 1:1	GROUTED OR WIRE-TIRED RIP RAP
STEEPER THAN 1:	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY A STRUCTURAL ENGINEER.

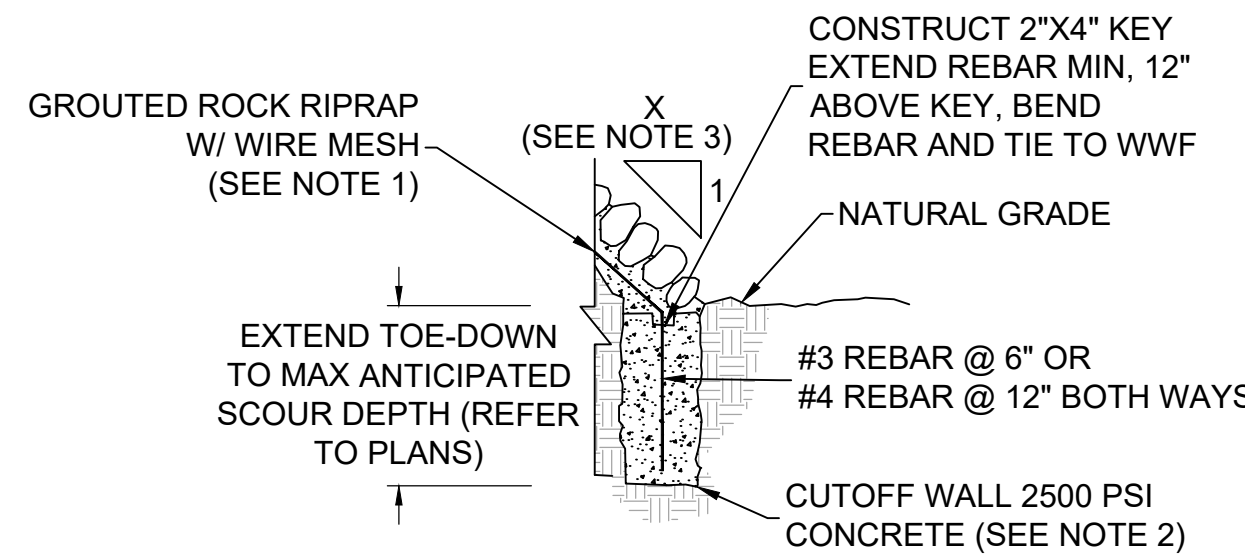
REFERENCE GEOTECHNICAL EVALUATION FOR THE NARANJA TRAILS, PROJECT NUMBER 20-098 PER PATTISON ENGINEERING, L.L.C. SLOPE PROTECTION NEEDS TO BE REVEGETATE WITH NATIVE PLANTS OR IN AREAS THAT ARE TOO STEEP, ROCK RIPRAP.



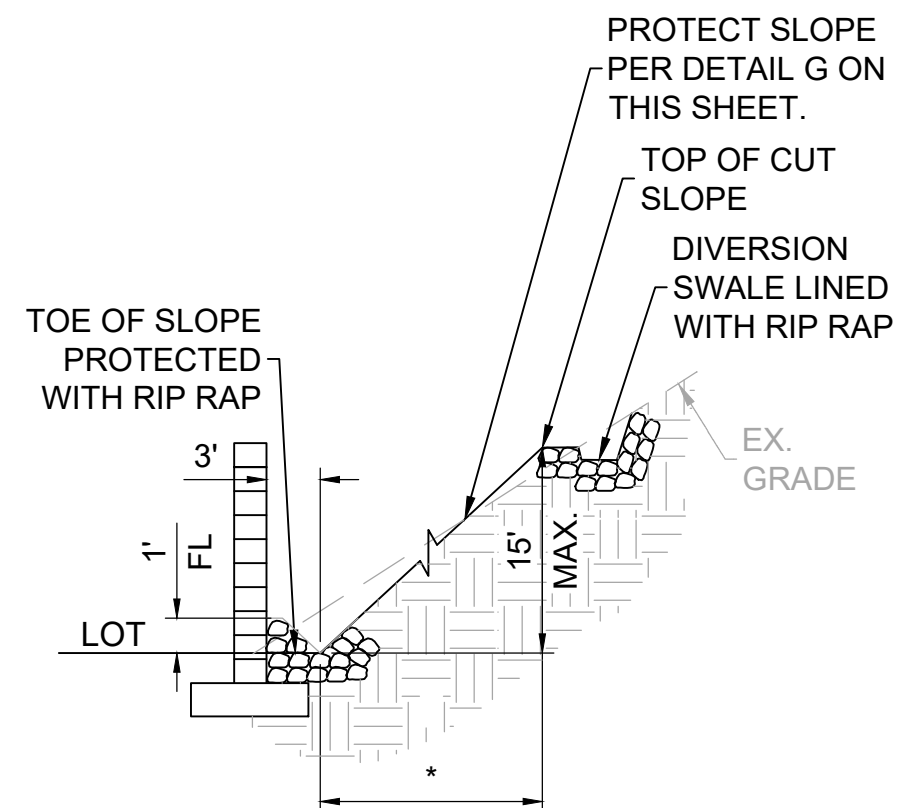
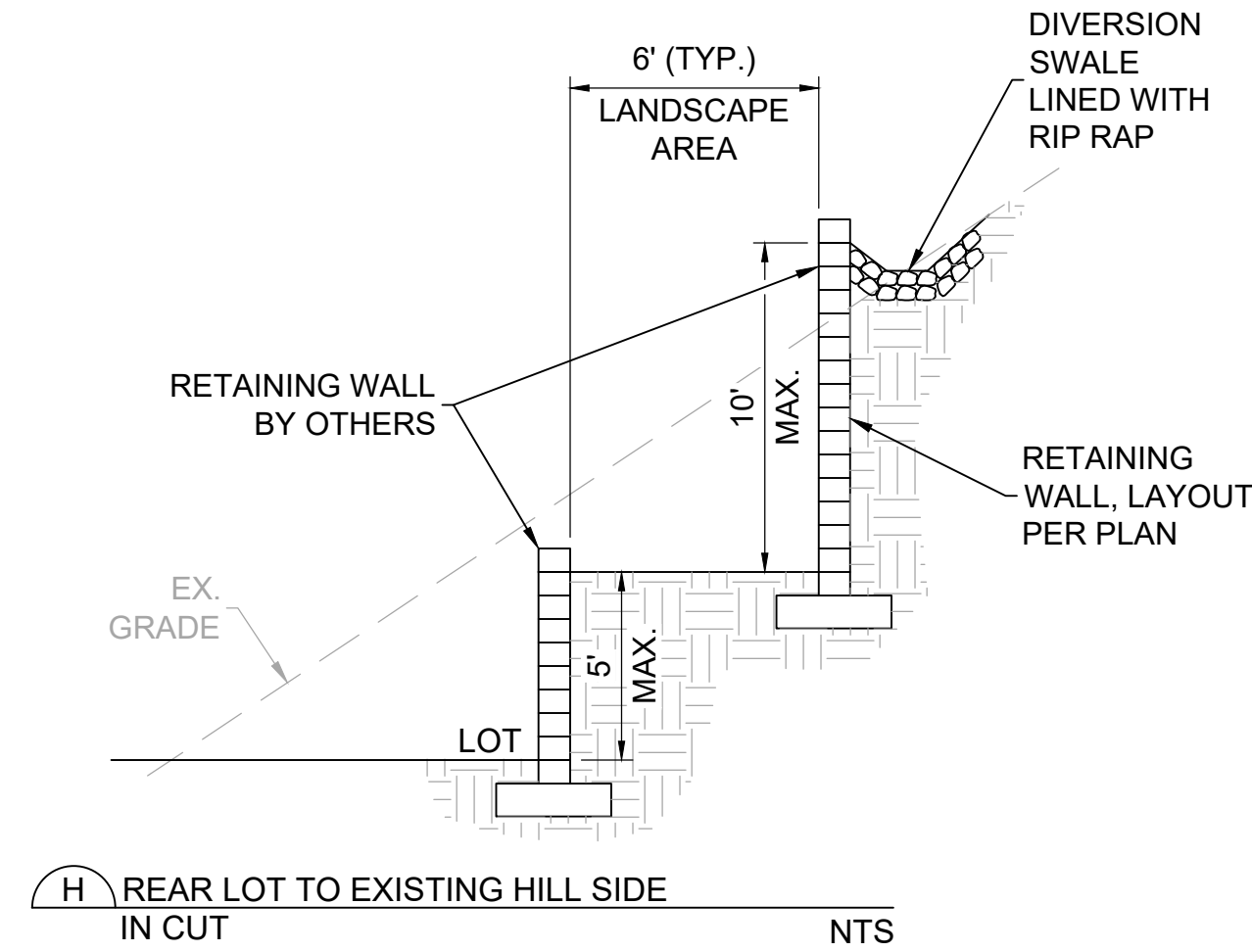
- NOTES
1. IN AREAS OF CUT, WHERE HAMMERING OR CARVING ROCK IS REQUIRED, ADDITIONAL RIP RAP OR BOULDER WALL CONSTRUCTION MAY NOT BE REQUIRED, AS DETERMINED BY THE SOILS ENGINEER. STACKED BOULDER WALLS MAY BE UTILIZED AS DIRECTED BY THE STRUCTURAL ENGINEER.
 2. GROUTED ROCK RIP RAP IS REQUIRED IN ALL AREAS CONCENTRATED FLOW REGARDLESS OF SLOPE.
 3. TO BE DETERMINED IN FINAL DESIGN.

G ONSITE SLOPE STABILIZATION DETAILS

RIP RAP GRADATION	
% PASSING	SIZE
100	1.50 D ₅₀
0	0.67 D ₅₀

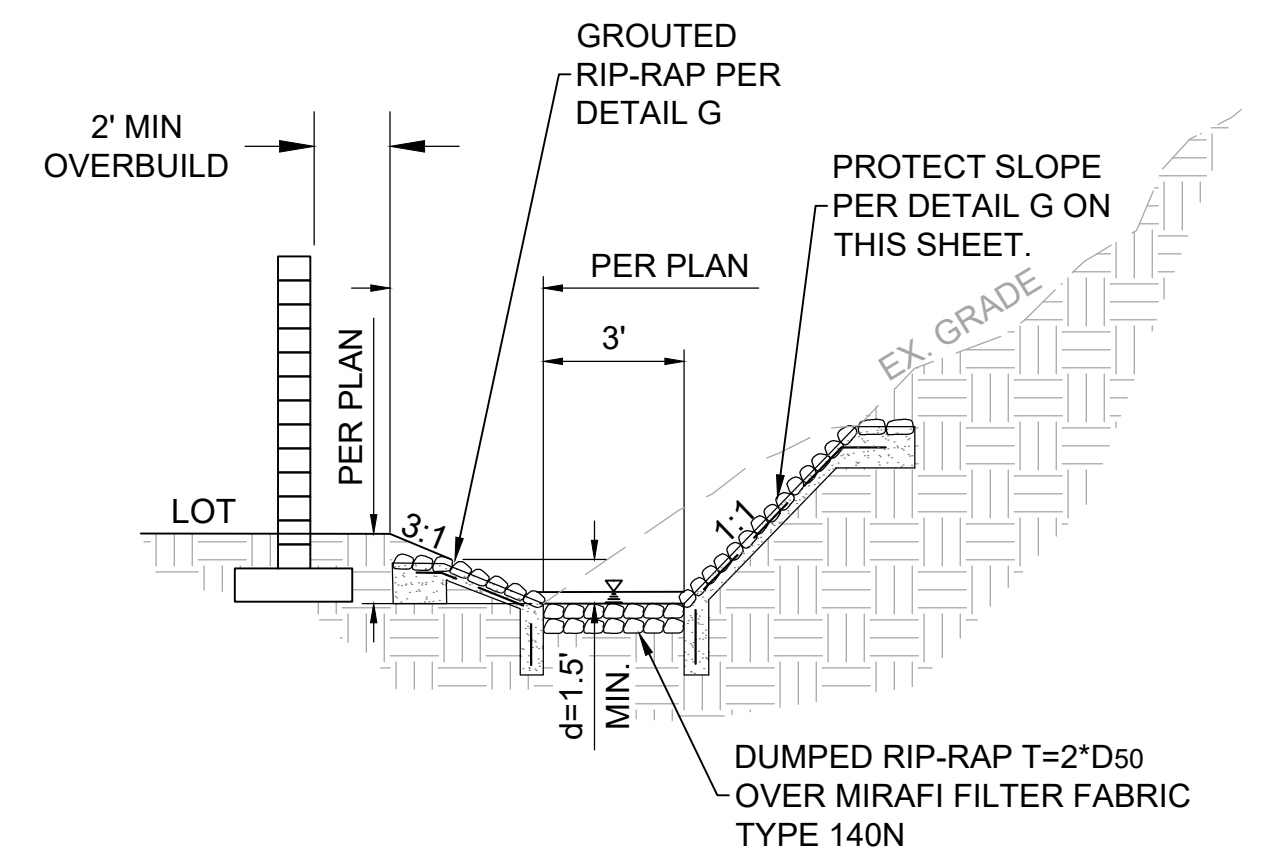


CUTOFF WALL BELOW GRADE
(REFER TO PLANS)



* CONTINUOUS SLOPE LENGTHS PREFERABLY LESS THAN 15 FEET. SLOPE LENGTHS CAN BE REDUCED BY PROVIDING FREQUENT INTERCEPTING BENCHES.

J REAR LOT TO EXISTING HILL SIDE
IN CUT



K REAR LOT TO EXISTING HILL SIDE
IN FILL

ATWELL
866.850.4200 www.atwell-group.com
250 N. MEYER AVENUE, SUITE B
TUCSON, AZ 85701
520.784.3816

Know what's below.
Call before you dig.

LOCATION DESCRIPTION
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CONCEPTUAL SITE PLAN
NARANJA TRAILS
LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

ORO VALLEY CASE No: 2002761

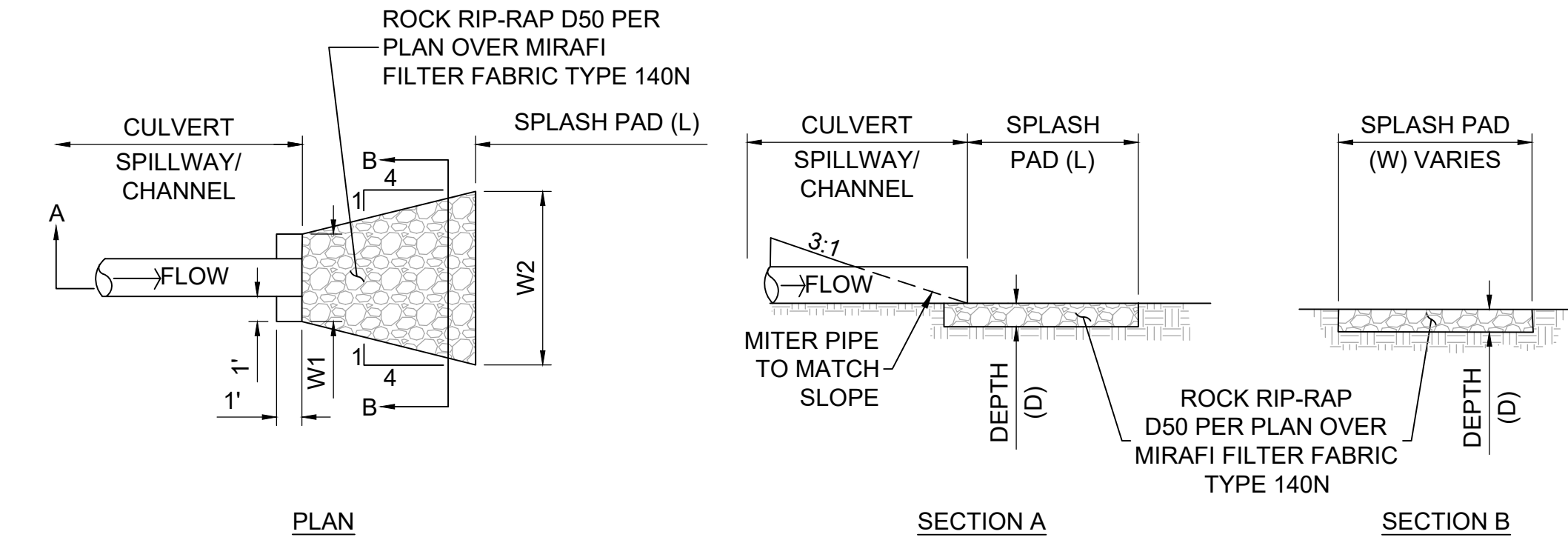
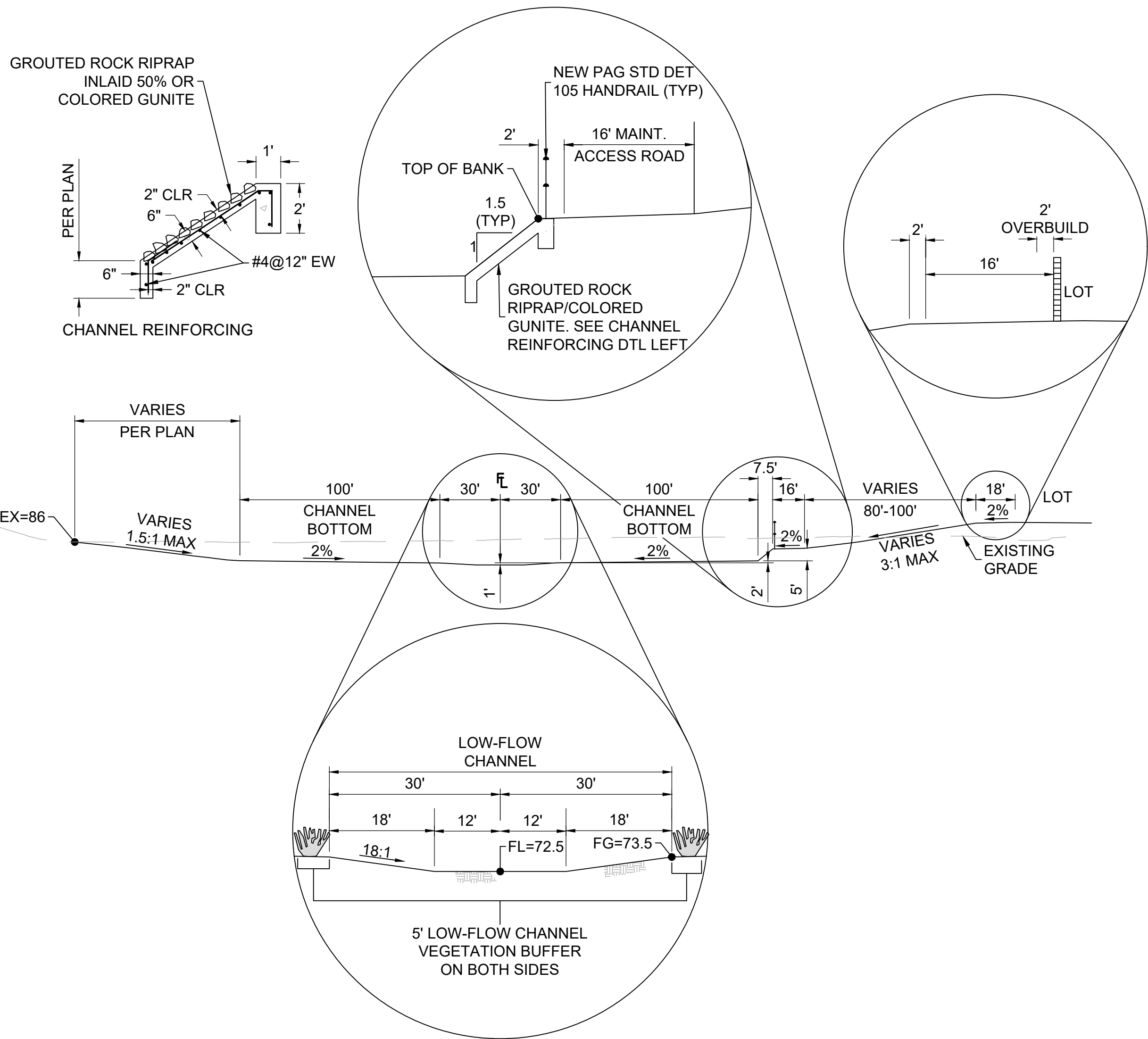
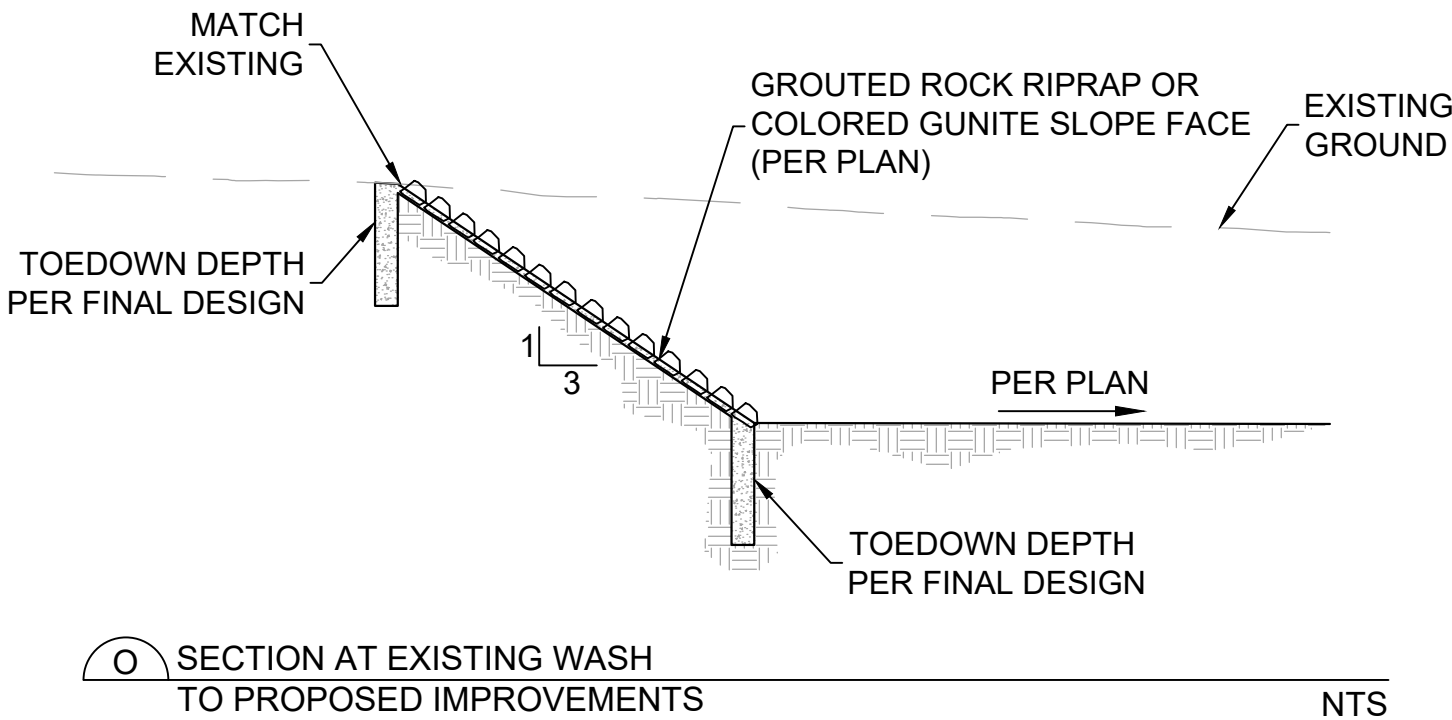
PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE: 09.23.2021

SHEET NO.
06 OF 13

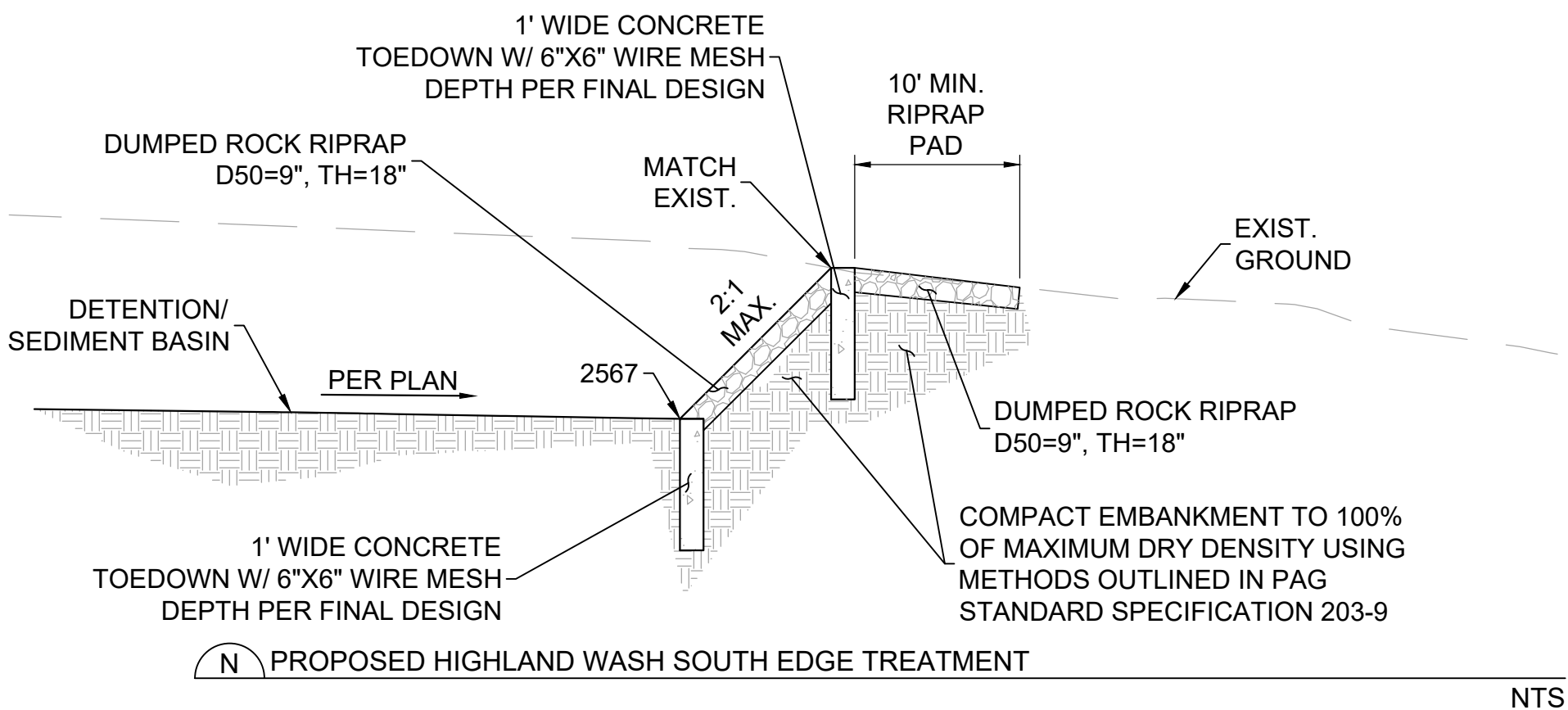
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5/20/2020 10:51 - naranja trails/wgplan -exterior plan/20000103-df07.dwg PlotDate: 5/13/2022

- GENERAL NOTES FOR WEIR AND CHANNEL STRUCTURES:
- ENGINEERING DESIGN COMPLIES WITH AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, LATEST EDITION.
 - CONSTRUCTION SHALL COMPLY WITH PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION.
 - STANDARD DETAILS REFERRED TO ON PLANS SHALL BE IN ACCORDANCE WITH PAG STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, LATEST EDITION.
 - CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.
 - DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
 - FOUNDATIONS FOR WEIR STRUCTURE AND CONCRETE DRAINAGE CHANNEL SHALL BEAR ON SCARIFIED AND CECOMPACTED NATIVE SOILS. SCARIFY SOIL TO MINIMUM DEPTH OF 8 INCHES AND COMPACT TO 95 PERCENT OF MAXIMUM DRY DENSITY PER STANDARD PROCTOR ASTM D698.
 - MATERIALS OF CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 - CONCRETE - ASTM C150, TYPE V, CLASS "S", $F'_c=3,000$ PSI.
 - REINFORCING STEEL - ASTM A 615, GRADE 60.
 - REINFORCING STEEL BENDS AND HOOKS SHALL COMPLY WITH AASHTO SECTION 5.10.2. SPLICE BARS 40 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
 - CHAMFER ALL EXPOSED CORNERS OF WEIR STRUCTURE CONCRETE WALL $\frac{3}{4}$ INCH.
 - CONSTRUCTION JOINT: FOR THE CONCRETE DRAINAGE CHANNELS, PROVIDE EXPANSION JOINTS AT 45-FOOT INTERVALS AND EAKENED PLANE JOINTS AT 15-FOOT INTERVALS EVENLY SPACED BETWEEN EXPANSION JOINTS, IN ACCORDANCE WITH SECTION 912-3.06 OF THE STANDARD SPECIFICATIONS, HORIZONTAL WEAKENED PLAN JOINTS SPACED VERTICALLY ALONG THE FACE OF THE SLOPE PAVING OR CHANNEL LINING ARE NOT REQUIRED.
 - CONCRETE FINISHES: FOR THE WEIR STRUCTURE, EXPOSED CONCRETE WALL SURFACES SHALL RECEIVE A CLASS II FINISH IN ACCORDANCE WITH SECTION 601-3.05 OF THE STANDARD SPECIFICATIONS. FOR THE DRAINAGE CHANNEL STRUCTURE, EXPOSED SURFACES SHALL RECEIVED A CLASS I FINISH.
 - HANDRAIL SHALL BE PAINTED WITH A THREE-COAT PAINTING SYSTEM COMPLYING WITH SECTION 610 OF THE STANDARD SPECIFICATIONS. VERIFY PAINT COLOR WITH THE OWNER.



RIP-RAP APRON DIMENSIONS						
CP	CULVERT DESCRIPTION	APRON LENGTH (FT) L	APRON WIDTH (FT) W1	APRON WIDTH (FT) W2	APRON DEPTH (IN)	RECOMMENDED ROCK SIZE (IN)



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CONCEPTUAL SITE PLAN
NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

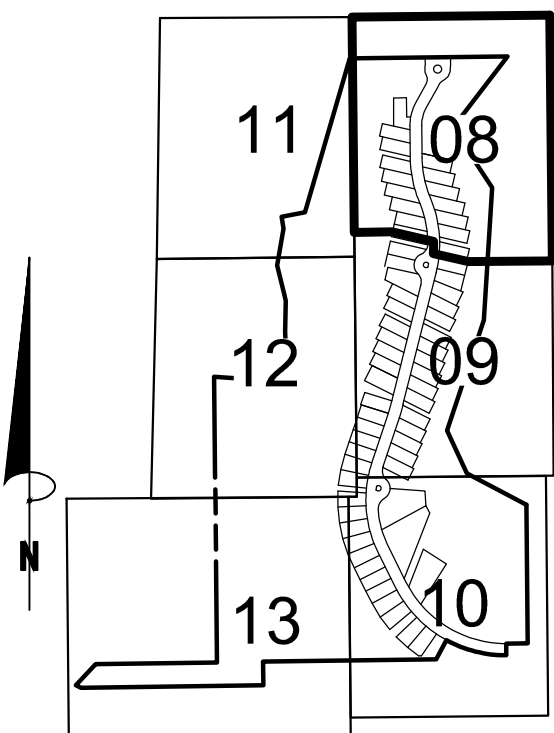
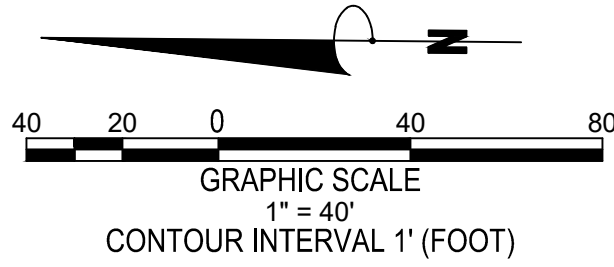
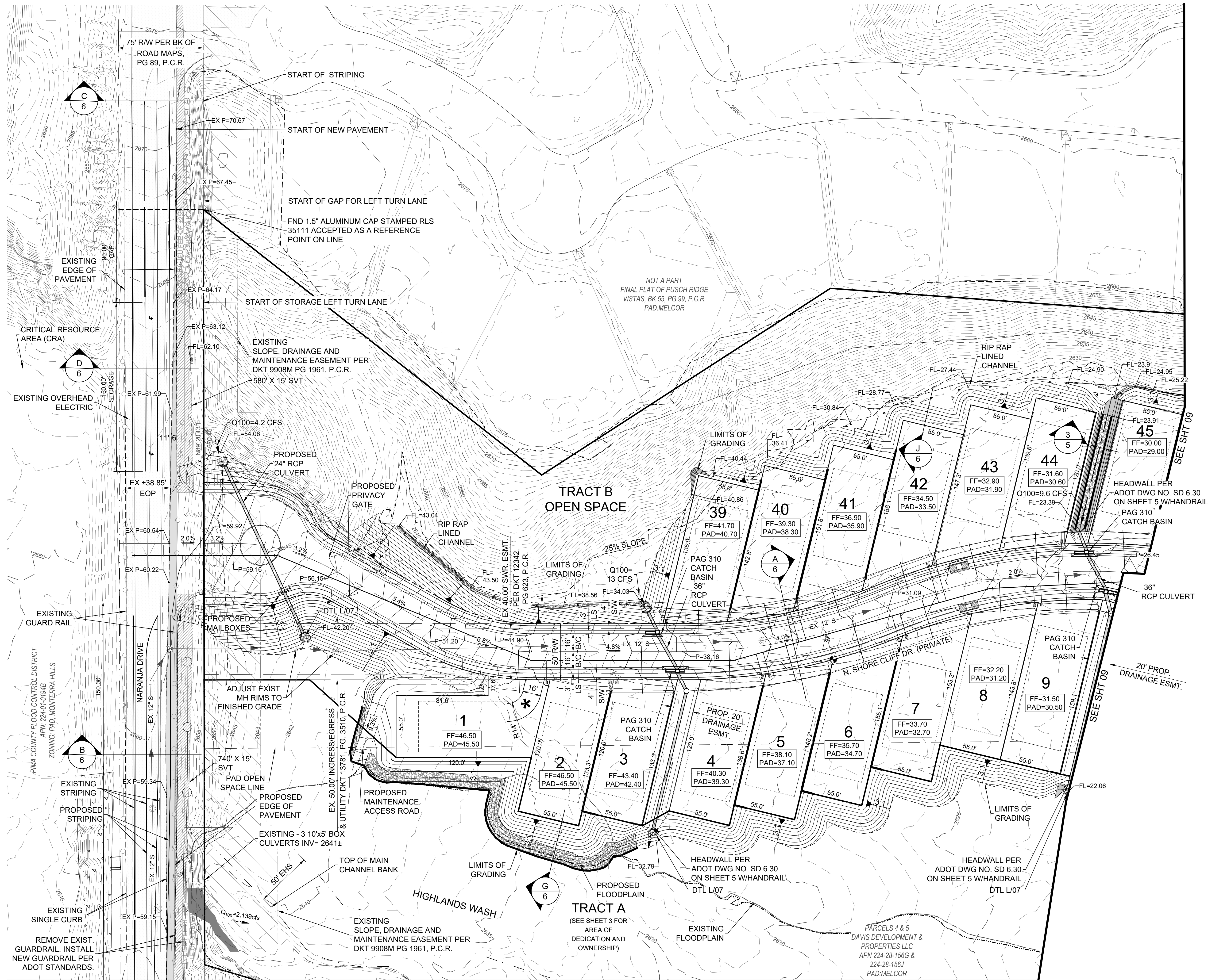
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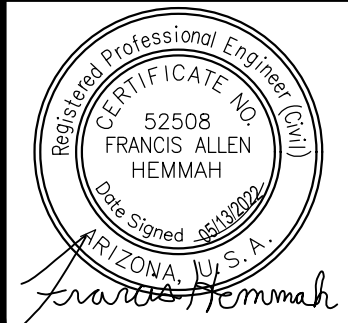
SHEET NO.

07 OF 13

DETAILS



KEYMAP
NTS



LOCATION DESCRIPTION
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CONCEPTUAL SITE PLAN
NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

ORO VALLEY CASE No: 2002761

SITE PLAN

PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE: 09.23.2021

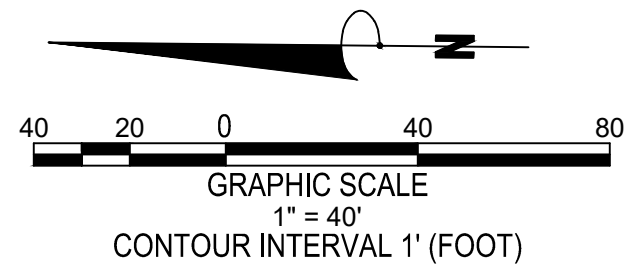
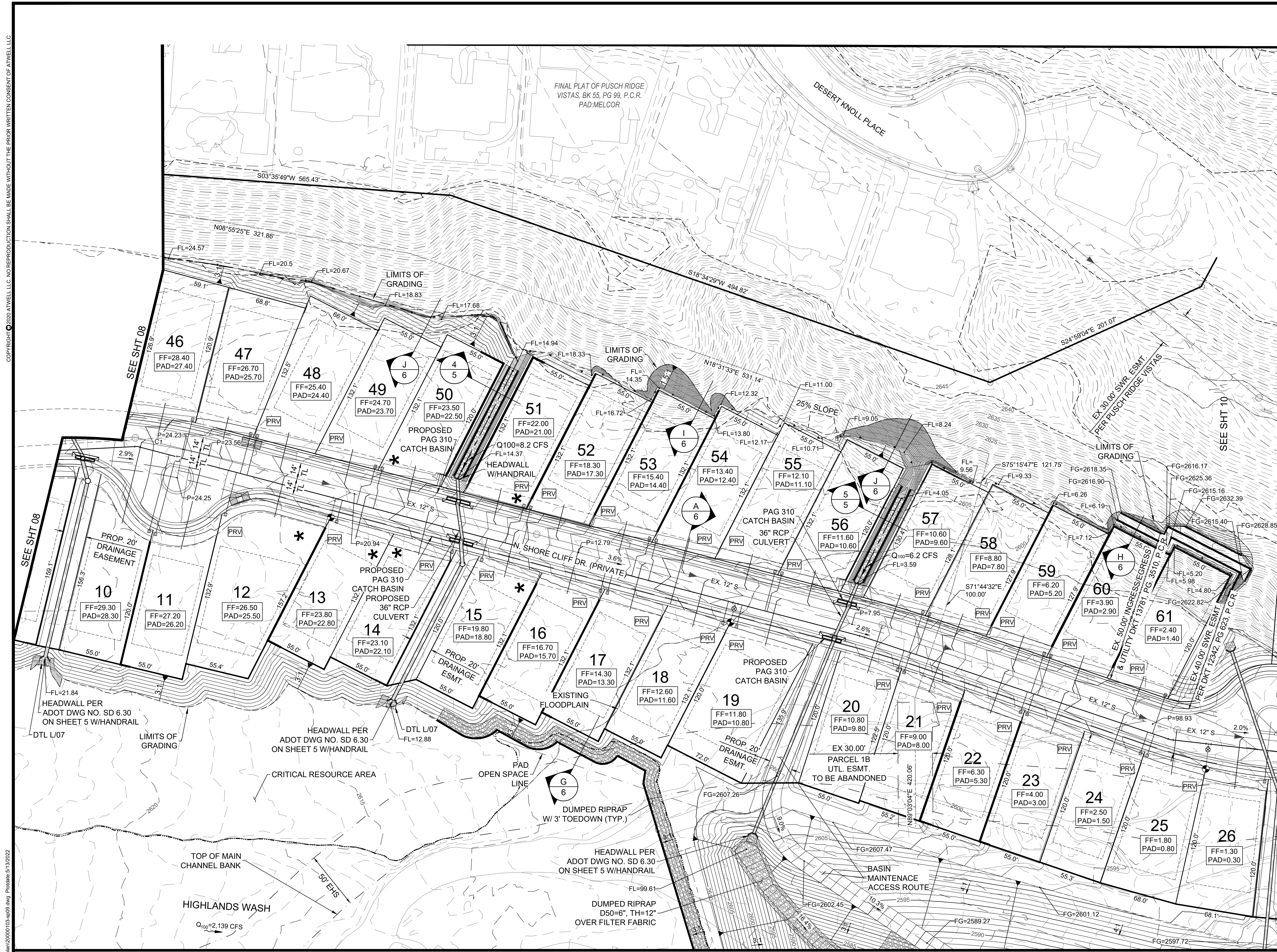
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08 OF 13

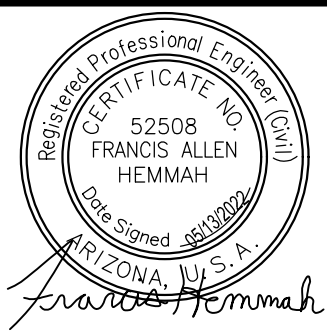
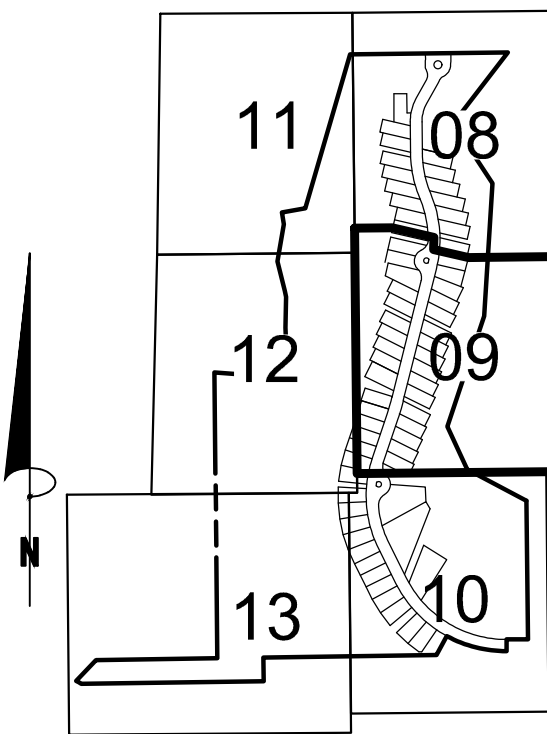
SEE SHT 11

SEE SHT 09

SEE SHT 09



HIGHLANDS WASH LOT FILL TABLE			
LOT #	EXIST. 100-YR CWSEL	PROP. 100-YR CWSEL	PAD ELEV.
17	2606.90	2610.60	2613.30
18	2606.40	2609.50	2611.60
19	2604.80	2609.60	2610.80
20	2603.10	2590.60	2609.80
21	2601.00	2586.40	2608.00
22	2597.50	2579.20	2605.30
23	2596.70	2579.10	2603.00
24	2594.50	2578.80	2601.50
25	2592.90	2578.70	2600.80
56	2600.30	2609.60	2610.60
57	2599.80	2590.60	2609.60
58	2598	2586.40	2607.80
59	2597.10	2579.20	2605.20
60	2596.40	2578.80	2602.90
61	2593.80	2578.70	2601.40



LOCATION DESCRIPTION
A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONCEPTUAL SITE PLAN
NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

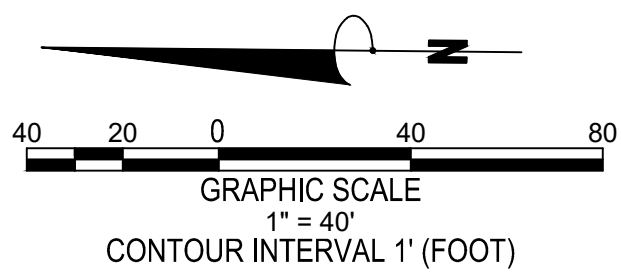
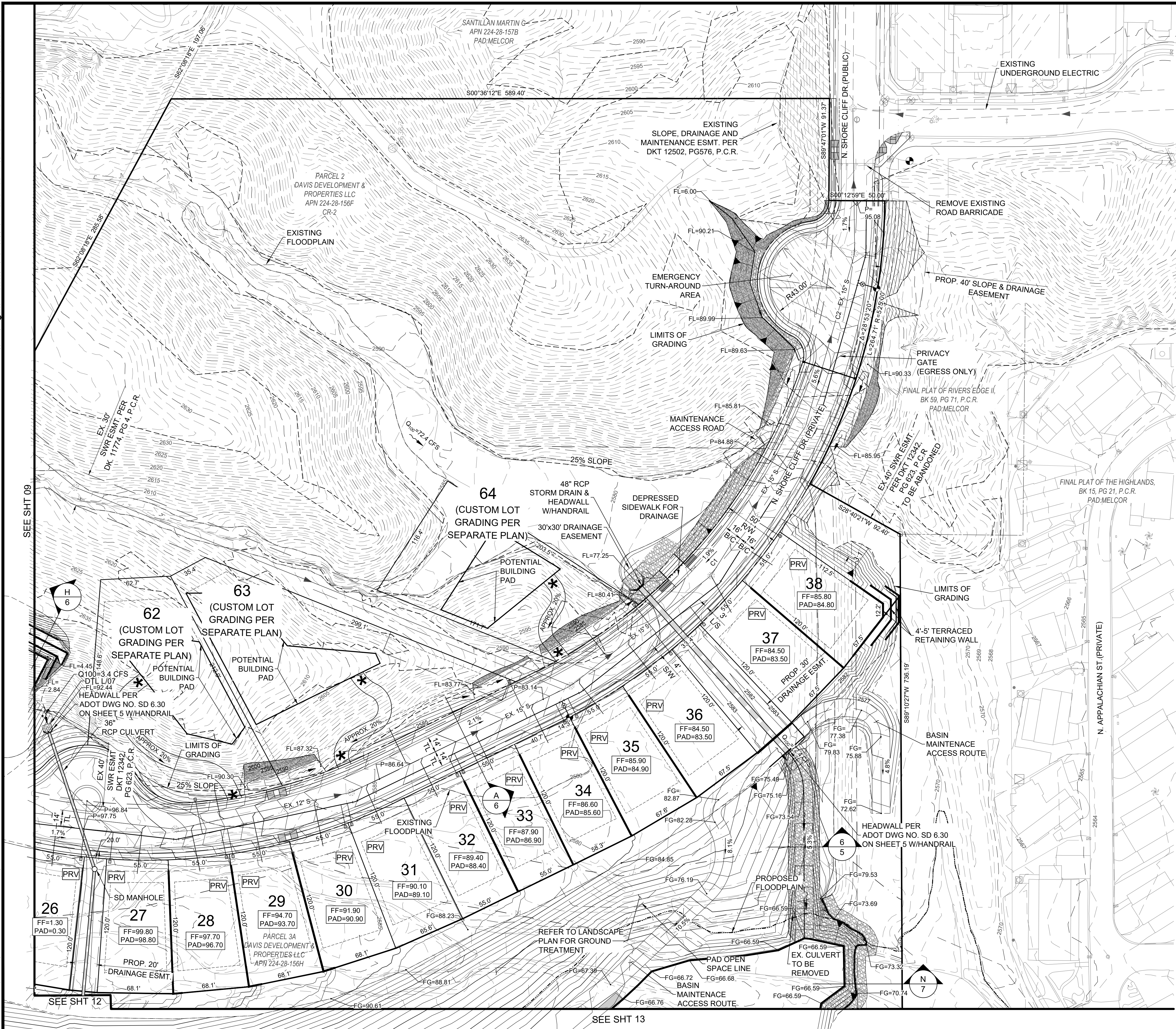
ORO VALLEY CASE No: 2002761

SITE PLAN

PM. F. HEMMAH
DR. F. HEMMAH
JOB NO. 20000103
DATE: 09.23.2021

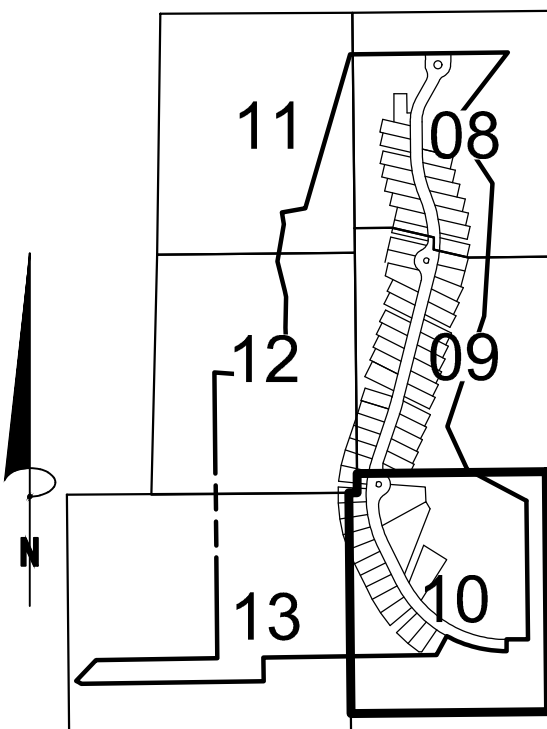
SHEET NO.

09 OF 13

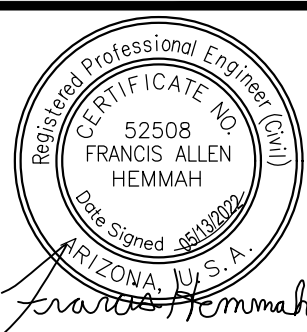


CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	257.84'	500.00'	29°32'49"
C2	251.91'	505.15'	28°34'22"

HIGHLANDS WASH LOT FILL TABLE			
LOT #	EXIST. 100-YR CWSEL	PROP. 100-YR CWSEL	PAD ELEV.
26	2592.70	2610.60	2578.70
27	2591.30	2609.50	2578.10
28	2589.30	2609.60	2578.00
29	2588.00	2590.60	2577.30
30	2586.50	2586.40	2577.20
31	2585.10	2579.20	2577.10
32	2583.70	2579.10	2577.00
33	2581.90	2578.80	2577.00
34	2579.70	2578.70	2577.00
35	2579.50	2609.60	2577.00
36	2579.80	2590.60	2577.00
37	2579.20	2586.40	2577.00
38	2579.30	2579.20	2577.00



KEYMAP
NTS



Know what's below.
Call before you dig.

LOCATION DESCRIPTION
A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CONCEPTUAL SITE PLAN
NARANJA TRAILS**

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

ORO VALLEY CASE No: 2002761

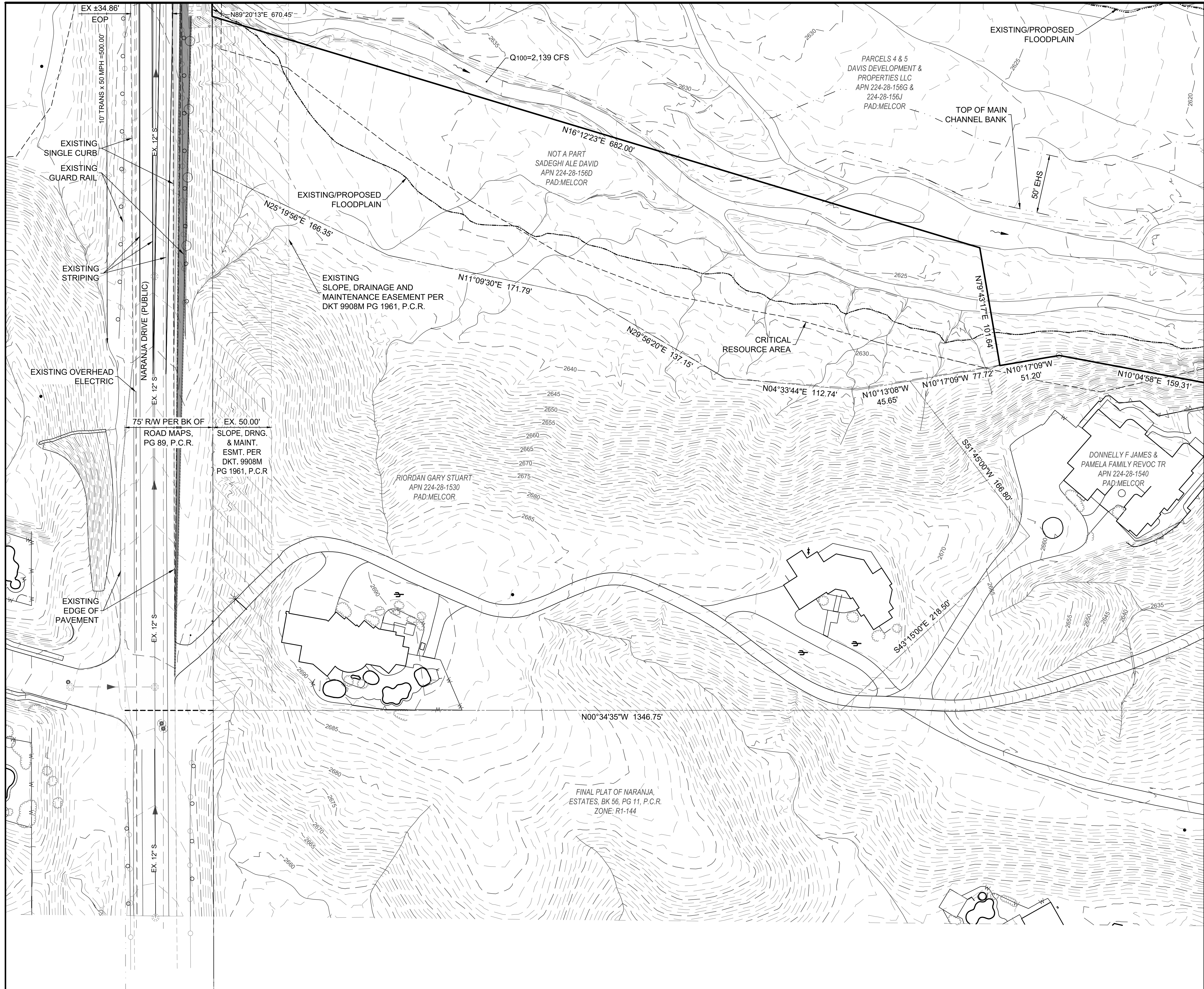
SITE PLAN

PM. F. HEMMAH
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JOB NO. 20000103
DATE: 09.23.2021

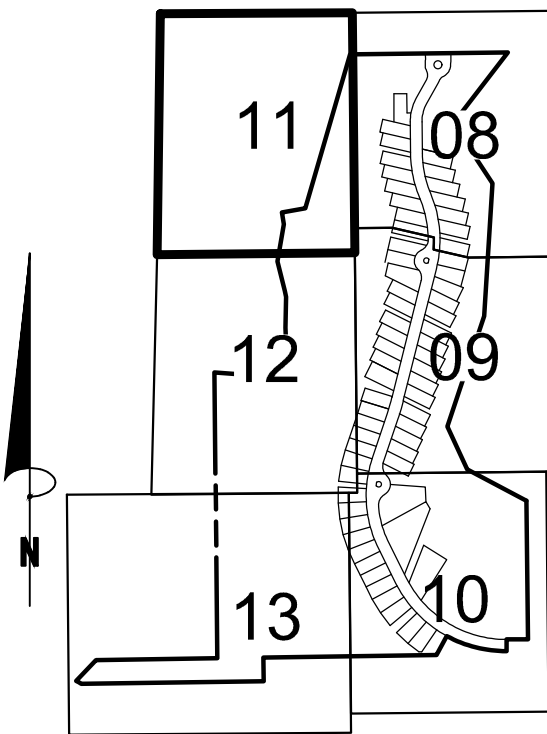
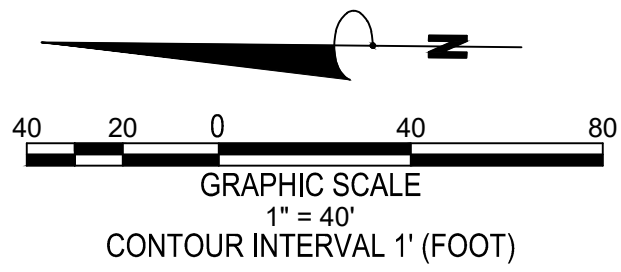
SHEET NO.

10 OF 13

SEE SHT 08



SEE SHT 12



KEYMAP
NTS



ATWELL
866.850.4200 www.atwell-group.com
4700 E. SOUTHERN AVENUE
MESA, AZ 85206
480.216.8531



LOCATION DESCRIPTION
A PORTION OF THE EAST HALF OF THE NORTHWEST
QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH,
RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE
AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY,
ARIZONA

CONCEPTUAL SITE PLAN
NARANJA TRAILS

LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

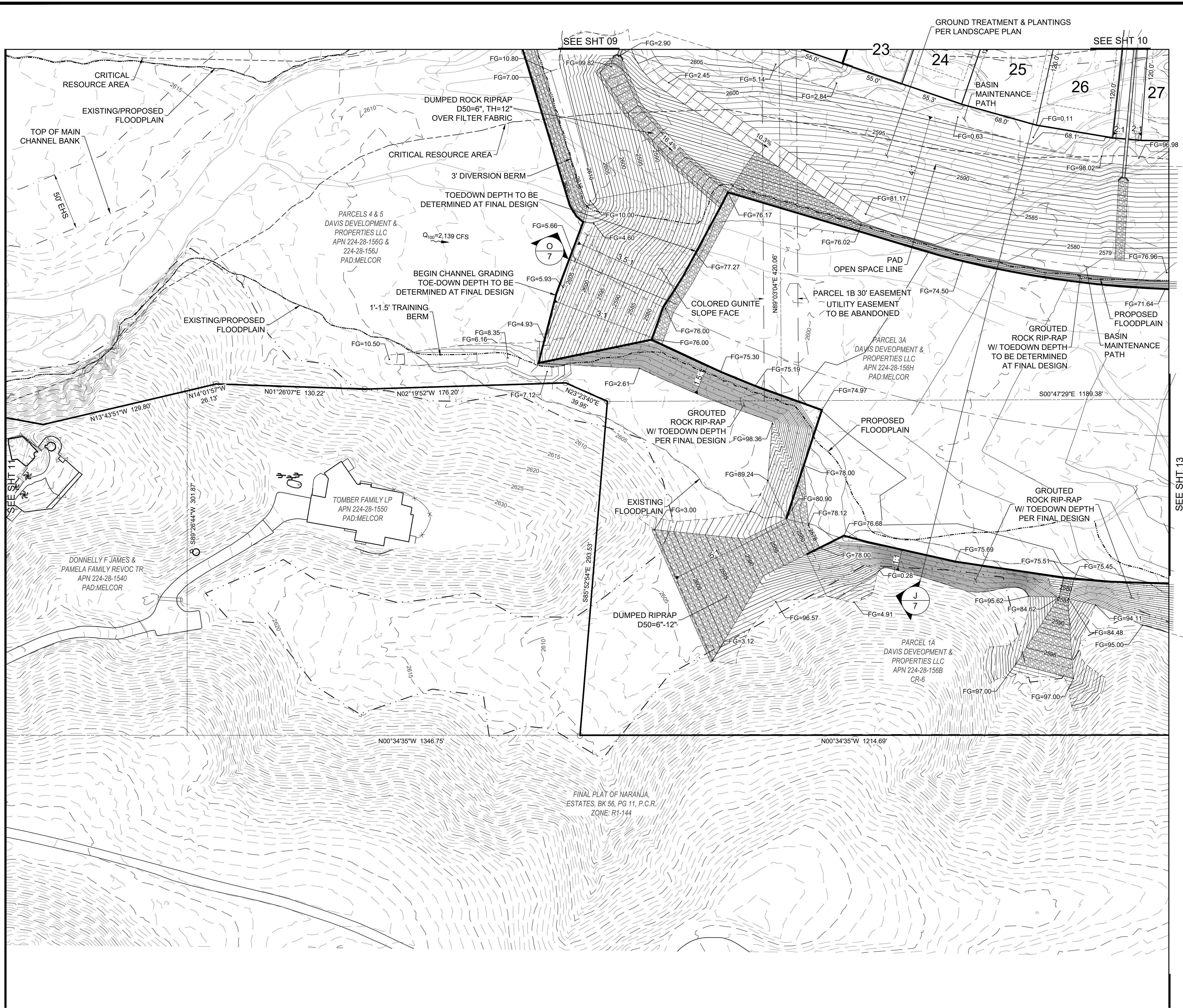
ORO VALLEY CASE No: 2002761

SITE PLAN

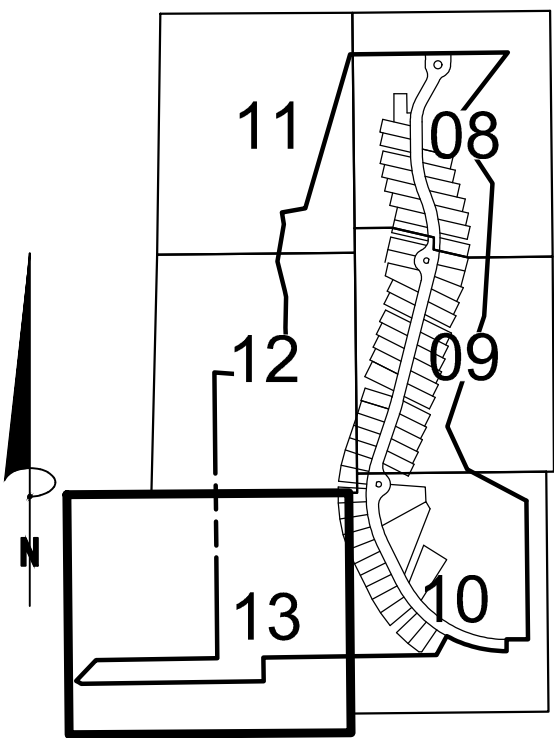
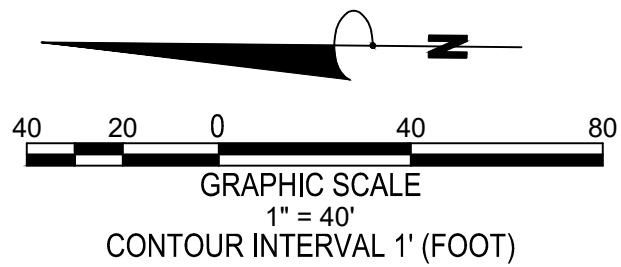
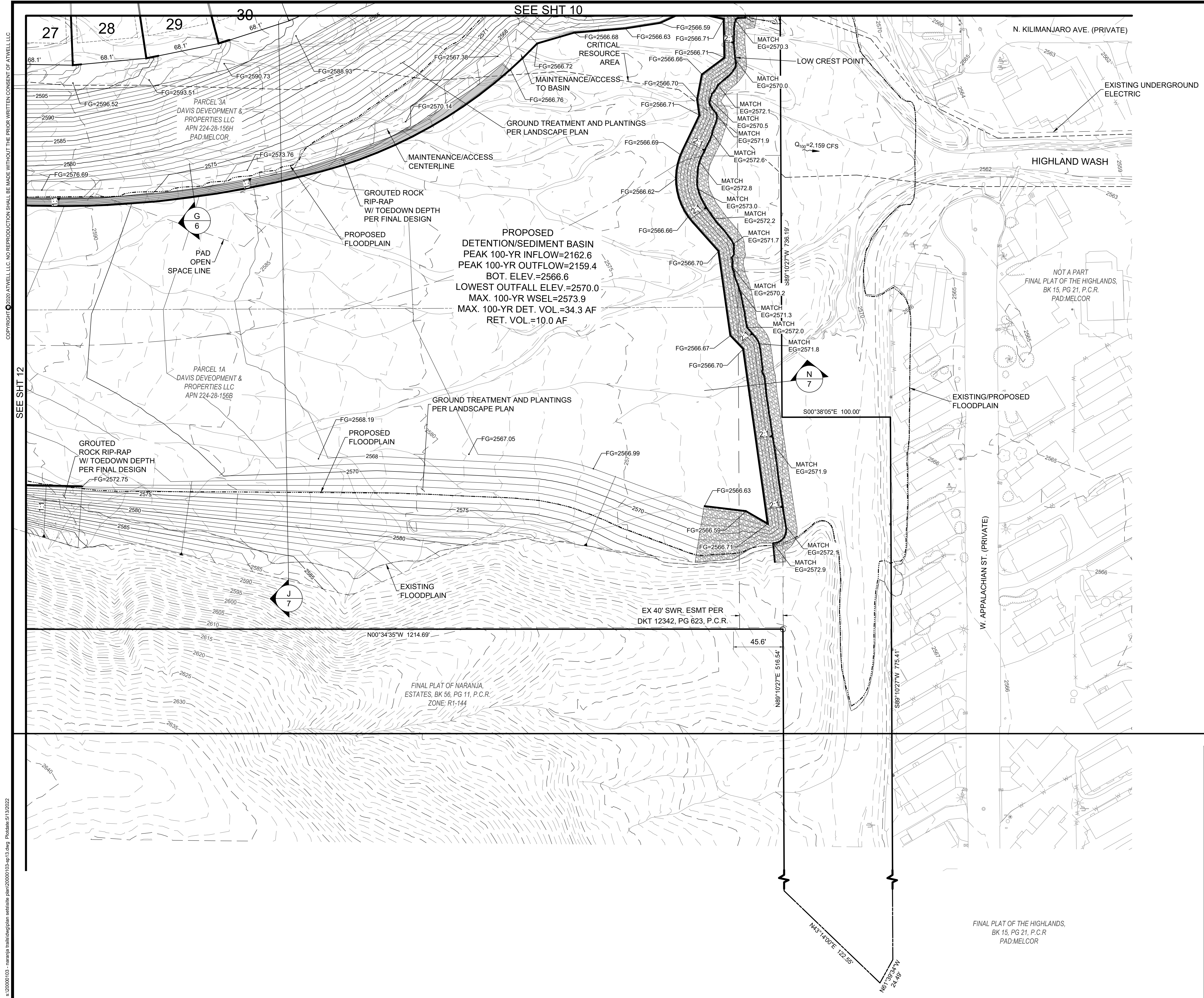
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SHEET NO.

11 OF 13



 866.850.4200 www.atwell-group.com 4700 E. SOUTHERN AVENUE MESA, AZ 85206 480.216.8531		 Francis Allen Hemmah
 Know what's below. Call before you dig.	LOCATION DESCRIPTION A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	
CONCEPTUAL SITE PLAN NARANJA TRAILS LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		PM. F. HEMMAH DR. F. HEMMAH JOB NO. 20000103 DATE: 09.23.2021
ORO VALLEY CASE No: 2000939		SHEET NO. 12 OF 13
SITE PLAN		



 866.850.4200 www.atwell-group.com 4700 E. SOUTHERN AVENUE MESA, AZ 85206 480.216.8931		 Francis Hemmah
 Know what's below. Call before you dig.	LOCATION DESCRIPTION A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	
CONCEPTUAL SITE PLAN NARANJA TRAILS LOTS 1 THROUGH 64 & COMMON AREAS A THROUGH B TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		
ORO VALLEY CASE No: 2002761	SHEET NO. 13 OF 13	
SITE PLAN		PM. F. HEMMAH DR. F. HEMMAH JOB NO. 20000103 DATE: 09.23.2021

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