

CASE #2001300



A PORTION OF SEC. 31, & 32 T11S R14E AND
A PORTION OF SEC. 5 T12S R14E,
G&SRM, TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROJECT BOUNDARY
	AREA OF REVISION BOUNDARY
	RIGHT-OF-WAY
	FACE OF CURB
	EXIST. PAVEMENT
	EXIST. SEWERLINE & MANHOLE
	EXIST. WATERLINE & VALVE
	EXIST. STORM DRAIN
	PROPOSED 100-YEAR FLOOD LIMITS
	EXISTING 100-YEAR FLOOD LIMITS
	SECTION OR 1/4 SECTION CORNER
	MATCH LINE
	PEDESTRIAN PATH/SIDEWALK (PLEASE REFERENCE SHEET 5 FOR OVERALL SIDEWALK/PATH NETWORK DEPICTIONS)
	RIP-RAP SLOPE
	EXISTING RETAINING WALL
	EXISTING BUILDING
	PROPOSED BUILDING
	HANDICAPPED RAMP (ACCESS) PC/COT STD 207
	EXISTING EASEMENT KEYNOTE
	REFUSE ENCLOSURE W/ SELF CLOSING & SELF LATCHING STEEL GATES SEE PLANS FOR LOCATION
	ORO VALLEY TOWN LIMITS
	FLOW DIRECTION

1. THE OVERALL GROSS AREA OF THIS DEVELOPMENT IS 121.2 ACRES. THIS CONCEPTUAL SITE PLAN IS SPECIFIC TO THE FOLLOWING AREAS WITHIN THE DEVELOPMENT:
DEVELOPMENT AREA 1: 12.4± ACRES.
DEVELOPMENT AREA 2: 3.6± ACRES.
DEVELOPMENT AREA 3: 11.6± ACRES (IF ADDITIONAL PARKING AREA IS UTILIZED THEN DEVELOPMENT AREA 3 WILL BE 18.1± ACRES).
DEVELOPMENT AREA 4: 12.3± ACRES.
2. THE PROPOSED USES FOR THE DEVELOPMENT AREAS ARE AS FOLLOWS:
DEVELOPMENT AREA 1: APARTMENTS (248± UNITS).
DEVELOPMENT AREA 2: HOTEL (128± ROOMS) AND COMMERCIAL (IDENTIFIED AS OPTION 2A) AND APARTMENTS (72± UNITS) (IDENTIFIED AS OPTION 2B).
DEVELOPMENT AREA 3: CENTRAL OPEN SPACE (PHASE 1), COMMERCIAL AND/OR HOTEL OR APARTMENTS (PHASE 2), AND THE ENTERTAINMENT DISTRICT (PHASE 3).
DEVELOPMENT AREA 4: APARTMENTS (152± UNITS), HOTEL (112± ROOMS) AND COMMERCIAL.
3. TOTAL LENGTH OF NEW PUBLIC STREETS IS 0.00 MILES.
4. TOTAL LENGTH OF NEW PRIVATE STREETS IS 0.00 MILES.
5. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.

1. THE MAXIMUM BUILDING HEIGHT IS 39 FEET OR 3 STORIES WITH THE FOLLOWING EXCEPTIONS:
 - A. THE MAXIMUM BUILDING HEIGHT FOR HOTEL USES IS 49 FEET (OR 4 STORIES). HOTELS ARE ONLY PERMITTED IN DEVELOPMENT AREAS 2, 3 AND 4.
 - B. THE MAXIMUM BUILDING HEIGHT FOR THE MIXED-USE BUILDING IN DEVELOPMENT AREA 3 IS 49 FEET (4 STORIES).
2. BUILDING SETBACKS: NEIGHBORHOOD #4 WILL COMPLY WITH THE REGIONAL COMMERCIAL (C-2) ZONE BUILDING SETBACK REQUIREMENTS ON THE PERIMETER OF THE PROJECT ONLY.
3. COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE ORO VALLEY VILLAGE CENTER.
4. EXISTING ZONING IS RANCHO VISTOSO PAD C-2.
5. OPEN SPACE REQUIRED: 10.6 ACRES (30% OF DEVELOPMENT AREA 1,2,3 AND APARTMENT PORTION OF 4 TOTALS 24.4 ACRES).
6. OPEN SPACE PROVIDED:
DEVELOPMENT AREA 1: 3.7 ACRES (0.7 ACRES WITHIN DEVELOPMENT AREA 3),
DEVELOPMENT AREA 2: 1.1 ACRES,
DEVELOPMENT AREA 3: SEE PAD AMENDMENT FOR EXPLANATION.
DEVELOPMENT AREA 4: 2.3 ACRES (1 ACRE WITHIN DEVELOPMENT AREA 3).
7. TOTAL 7.1 ACRES (SEE PAD AMENDMENT FOR OPEN SPACE CALCULATIONS).
8. REQUIRED PARKING: REQUIRED PARKING CALCULATIONS ON SHEET 6 ARE BASED ON SHARED USE PARKING PRINCIPALS.
9. REFER TO PREVIOUS CONDITIONS OF APPROVAL AS SHOWN ON APPROVED PRELIMINARY PLAT/DEVELOPMENT PLAN, BOOK 30, PAGE 43.
10. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF SEPARATE REVIEW AND APPROVAL PROCESS.
11. BUFFERARY TYPES: 30' BUFFERARY "D" ADJACENT TO TANGERINE ROAD AND ORACLE ROAD, EXCEPT AS MODIFIED BY THE NEIGHBORHOOD 4 POLICES.
12. THE PERMITTED USES FOR THIS PROJECT ARE AS PER THE C-2 COMMERCIAL ZONING DISTRICT IN THE ORO VALLEY ZONING CODE AND THE NEIGHBORHOOD 4 POLICES. THIS PROJECT WILL UTILIZE THE MIXED USE ESLO FLEXIBLE DESIGN OPTION.
13. PROPERTY IS SUBJECT TO TANGERINE AND ORACLE ROAD SCENIC CORRIDOR STANDARDS EXCEPTIONS AS NOTED IN RESPECTIVE NOTES.
14. EVALUATION AND ELIMINATION OF GAPS IN PEDESTRIAN SERVING LIGHTING ALONG THE PEDESTRIAN ROUTE LEADING FROM THE TANGERINE APARTMENTS AND ALONG THE BUILDING FRONTAGES ADJACENT TO TANGERINE ROAD TO THE ENTERTAINMENT DISTRICT PURSUANT TO CONDITION C3 SHALL BE EVALUATED AT THE TIME OF BUILDING PERMIT FOR THE BUILDINGS ALONG THAT PEDESTRIAN ROUTE.
15. COMPLIANCE WITH THE LIGHTING IN CONDITION C4 RELATED TO THE ENTERTAINMENT DISTRICT SHALL BE EVALUATED AT THE TIME OF PERMIT FOR AMENITIES IN THE ENTERTAINMENT DISTRICT. MULTI-USE PATH LIGHTING SHALL BE EVALUATED AT THE TIME OF THE TANGERINE ROAD APARTMENTS BUILDING PERMIT.

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 25 MPH.
2. ALL NEW ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

1. DEVELOPER WILL COVENANT TO HOLD THE TOWN OF GORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
2. DRAINAGE WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED WITHOUT THE APPROVAL OF THE GORO VALLEY TOWN COUNCIL.
3. DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO TOWN STANDARDS AND PAID FOR BY THE DEVELOPER.
4. ALL DRAINAGE STRUCTURES MUST BE DESIGNED TO CONVEY A 100 YR FLOW.
5. ALL DRAINAGE FACILITIES WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FROM THE BUILDING OFFICIAL FOR ALL AFFECTED BUILDINGS.
6. THE DEVELOPER WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY AND LIABILITY OF PRIVATE DRAINAGEWAYS, DRAINAGE EASEMENTS, AND COMMON AREAS.

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT FOR THIS PROJECT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE.
4. WATER INFRASTRUCTURE SHOWN IS NOT NECESSARILY THE FINAL DESIGN. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO ORO VALLEY WATER UTILITY FOR REVIEW AND APPROVAL.
5. SEE SHEET 7 FOR PRELIMINARY WATER LAYOUT FOR DEVELOPMENT AREA 1 AND PROPOSED POINTS OF CONNECTION. PROPOSED WATER LINE BETWEEN BUILDING 7 AND POOL TO BE INSTALLED PER TUCSON WATER SD-800.

SCALE: 1"=200'

1. PROJECT IS IN CONFORMANCE WITH SECTION J, WASTEWATER, OF THE PIMA COUNTY DEVELOPMENT PLAN REQUIREMENTS AS REFERENCED IN 18.71.030.A.

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE BUILDING PERMITS.

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. NEW COMMERCIAL BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325.
6. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

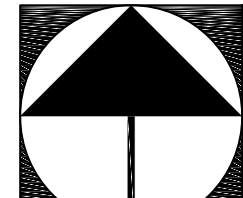
THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- INTERNATIONAL CODES WITH LOCAL AMENDMENTS
- NATIONAL ELECTRIC CODE
- ADA STANDARDS FOR ACCESSIBLE DESIGN
- ORO VALLEY POOL CODE
- PC/COT STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED

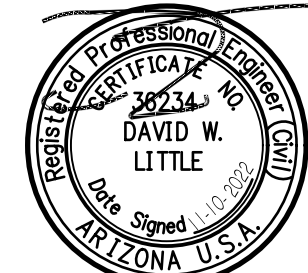
1. COVER SHEET
2. OVERALL SITE PLAN
3. PROPOSED LAND USES PER DEVELOPMENT AREA
4. PROPOSED LAND USE OPTIONS FOR DEVELOPMENT AREA 2 AND PHASES FOR DEVELOPMENT AREA 3
5. PEDESTRIAN AND BICYCLE CONNECTIVITY AND SETBACKS
6. OVERALL PARKING LAYOUT
7. DEVELOPMENT AREA 1- APARTMENTS
8. DEVELOPMENT AREA 2- HOTEL AND COMMERCIAL (OPTION 2A)
9. DEVELOPMENT AREA 1- APARTMENTS
10. DEVELOPMENT AREA 2- APARTMENTS (OPTION 2B)
11. DEVELOPMENT AREA 3- NORTH CENTRAL OPEN SPACE (PHASE 1 & 2)
12. DEVELOPMENT AREA 3- SOUTH CENTRAL OPEN SPACE (PHASE 1 & 2)
13. DEVELOPMENT AREA 3- NORTH ENTERTAINMENT DISTRICT (PHASE 3)
14. DEVELOPMENT AREA 3- SOUTH ENTERTAINMENT DISTRICT (PHASE 3)
15. DEVELOPMENT AREA 4- APARTMENTS, HOTEL AND COMMERCIAL
16. SOUTHERN DEVELOPMENT AREA

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SUITE 201
TUCSON, AZ 85704
(520) 615-7707
ATTN: JIM HORVATH
JIM@TOWNWESTREALTY.COM

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(520) 881-7480
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DLITTLE@WLBGROUP.COM



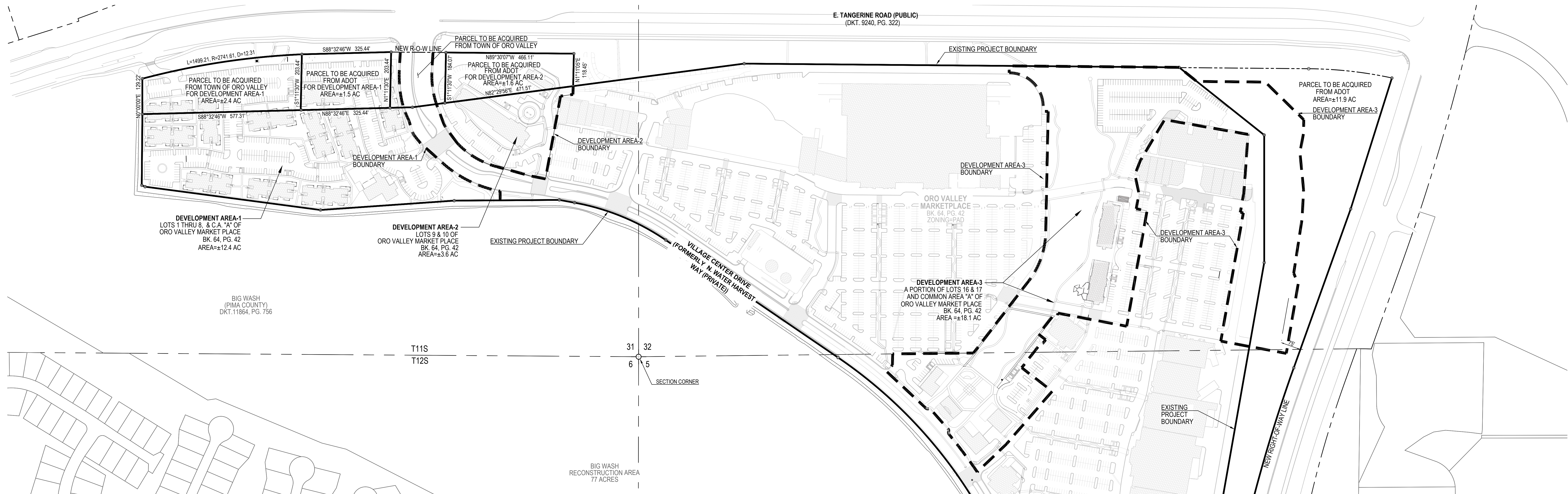
COVER SHEET



WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1"=200'

REF CASE# OV12-04-30
PAD AMEND (2001301
ESL AMEND (2001304

SHEET 1 OF 14



REZONING CONDITIONS

ITEM C - PLANNED AREA DEVELOPMENT (PAD) AMENDMENT

- TRANSFER OF OWNERSHIP FROM ARIZONA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF ORO VALLEY TO PARTIES AFFILIATED WITH ORO VALLEY MARKETPLACE MUST BE ACCOMPLISHED PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMITS IN AREAS WHERE DEVELOPMENT IS PLANNED WITHIN EXISTING PUBLIC RIGHTS-OF-WAY.
- EVALUATE AND ELIMINATE GAPS IN PEDESTRIAN SERVING LIGHTING ALONG THE PEDESTRIAN ROUTE LEADING FROM THE TANGERINE APARTMENTS AND ALONG THE BUILDING FRONTAGES ADJACENT TO TANGERINE ROAD TO THE ENTERTAINMENT DISTRICT IN ORDER TO ENSURE A CONTINUOUS LEVEL OF SAFETY.
- PEDESTRIAN LEVEL SAFETY LIGHTING MUST BE INSTALLED WITHIN THE ENTERTAINMENT DISTRICT AND ALONG THE CDO MULTI-USE PATH IN ACCORDANCE WITH ORO VALLEY CODE AND CURRENT IESNA STANDARDS TO ENSURE ACCEPTABLE LEVELS, DISTRIBUTION AND TYPE OF LIGHTING AS DETERMINED BY THE PLANNING AND ZONING ADMINISTRATOR AND TOWN ENGINEER. AT A MINIMUM, THE CDO MULTI-USE PATH PEDESTRIAN LEVEL LIGHTING MUST BE PROVIDED CONTINUOUSLY ALONG THE SOUTH SIDE OF THE TANGERINE APARTMENTS TO THE CONNECTING PEDESTRIAN PATH LEADING TO THE DEVELOPMENT AREA SOUTH OF VILLAGE CENTER DRIVE(FORMERLY WATER HARVEST WAY).
- SIGNIFICANT CHANGES, AS DETERMINED BY THE PZA, TO THE PROPOSED RECREATION AREAS USED TO MEET ZONING REQUIREMENTS MUST BE RECONSIDERED BY TOWN COUNCIL.
- APARTMENTS ARE LOCATION SPECIFIC, AS SHOWN ON THE ASSOCIATED MASTER DEVELOPMENT PLAN
- ALL STRUCTURES ASSOCIATED WITH APARTMENT DEVELOPMENT IN AREA 1 SHALL BE 2 AND 3-STORIES AS SHOWN ON THE PLANS, AND BUILDINGS SHALL NOT BE ANY CLOSER TO TANGERINE ROAD THAN CURRENTLY REPRESENTED. ALL 2-STORY MULTI-FAMILY BUILDINGS WITHIN AREA 1 SHALL BE LIMITED TO 29 FEET INCLUSIVE OF ARCHITECTURAL FEATURES. ALL 3-STORY MULTI-FAMILY BUILDINGS WITHIN AREA 1 SHALL BE LIMITED TO 39 FEET INCLUSIVE OF ARCHITECTURAL FEATURES.
- THE HOTEL IN DEVELOPMENT AREA 2 SHALL BE LOCATED AS SHOWN ON THE REVISED PLANS DATED NOVEMBER 10, 2022 (SOUTH OF THE DRIVE-THROUGH RESTAURANT USE), AND THE 49 FEET PLUS 10 FEET FOR ARCHITECTURE IS ONLY PERMITTED FOR HOTEL USE.
 - IF APARTMENTS ARE APPROVED FOR AREA 2, THE APARTMENTS ARE PERMITTED TO BE 3-STORIES, BUT LIMITED TO 39 FEET INCLUSIVE OF ARCHITECTURAL FEATURES AND WILL NOT BE CLOSER TO TANGERINE ROAD THAN CURRENTLY REPRESENTED.
 - IF AREA 2 IS TO BE DEVELOPED WITHOUT A HOTEL OR APARTMENTS, AREA 2 CAN BE RETAIL/RESTAURANT AS SHOWN ON THE APPROVED DEVELOPMENT PLAN ALONG WITH ONE DRIVE THROUGH NOT SUBJECT TO A CUP, BUT SUBJECT TO THE STAFF TRAFFIC REVIEW AS STATED IN THE PAD AMENDMENT.
- IN DEVELOPMENT AREA 4, THE 49 FEET PLUS 10 FEET FOR ARCHITECTURAL FEATURE HEIGHT ALLOWANCE IS PERMITTED FOR HOTEL USE ONLY.
- AREA 4 HOTEL IN THE PROJECT MUST RECEIVE A CERTIFICATE OF OCCUPANCY PRIOR TO THE CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY APARTMENTS IN AREA 4.
- REGARDING THE TWO BUILDINGS PROPOSED IN THE NORTHEAST PORTION OF DEVELOPMENT AREA 3, THE FOLLOWING RESTRICTIONS APPLY:
 - IF ONLY RETAIL IS VIABLE, THEN RETAIL/RESTAURANT SHALL BE PERMITTED.
 - IF HOTEL OR MULTI-FAMILY IS VIABLE, THEN THE BUILDING MUST HAVE RETAIL/RESTAURANT OPEN TO THE PUBLIC WITH FIRST-FLOOR SPACE(S), WITH EITHER MULTI-FAMILY OR HOTEL PERMITTED USING PART OF THE FIRST FLOOR AND THEN ON THE REMAINING FLOORS.
 - THE 49 FEET PLUS 10 FEET FOR ARCHITECTURAL FEATURES HEIGHT ALLOWANCE IS PERMITTED FOR ONLY THE MIXED RETAIL/RESTAURANT AND EITHER HOTEL OR MULTI-FAMILY USE.
- THE PORTIONS OF THE ENTERTAINMENT DISTRICT AREA THAT MUST BE CONSTRUCTED IN A FORM ACCEPTED BY THE TOWN AND IN PLACE PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY APARTMENT DEVELOPMENT ARE THOSE REQUIRED TO FULFILL THE TOWN CODE OPEN SPACE RECREATIONAL REQUIREMENT FOR THE APARTMENTS. DEVELOPER MAY APPLY FOR AN ECONOMIC INCENTIVE AGREEMENT WITH THE TOWN TO FACILITATE THE ADDITIONAL AMENITY CONSTRUCTION WITHIN THE ENTERTAINMENT DISTRICT.

- NO SENIOR CARE USES ARE PERMITTED ON THE PROPERTY.
- ARCHITECTURAL FEATURES FOR HOTEL(S) MAY COMPRISE NO MORE THAN 20% OF THE ROOFLINE AS VIEWED FROM ANY 1 SIDE, EXCEPT FOR PARAPET WALLS USED ONLY TO SCREEN MECHANICAL EQUIPMENT.
- ALL AMENITIES SHOWN WITHIN THE ENTERTAINMENT DISTRICT WILL BE PART OF A SEPARATE AGREEMENT WITH THE TOWN, WHICH WILL INCLUDE PUBLIC ENGAGEMENT BY THE TOWN OF ORO VALLEY CITIZENS TO IDENTIFY THE AMENITIES PER THAT AGREEMENT.

ITEM D - REVISED MASTER DEVELOPMENT PLAN/CONCEPTUAL SITE, LANDSCAPE AND RECREATION AREA PLANS

- TRANSFER OF OWNERSHIP FROM ARIZONA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF ORO VALLEY TO PARTIES AFFILIATED WITH ORO VALLEY MARKETPLACE MUST BE ACCOMPLISHED PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMITS IN AREAS WHERE DEVELOPMENT IS PLANNED WITHIN EXISTING PUBLIC RIGHTS-OF-WAY.
- EVALUATE AND ELIMINATE GAPS IN PEDESTRIAN SERVING LIGHTING ALONG THE PEDESTRIAN ROUTE LEADING FROM THE TANGERINE APARTMENTS AND ALONG THE BUILDING FRONTAGES ADJACENT TO TANGERINE ROAD TO THE ENTERTAINMENT DISTRICT IN ORDER TO ENSURE A CONTINUOUS LEVEL OF SAFETY.
- SIGNIFICANT CHANGES, AS DETERMINED BY THE PZA, TO THE ENTERTAINMENT DISTRICT REQUIRES RECONSIDERATION BY TOWN COUNCIL.
- PEDESTRIAN LEVEL SAFETY LIGHTING MUST BE INSTALLED WITHIN THE ENTERTAINMENT DISTRICT AND ALONG THE CDO MULTI-USE PATH IN ACCORDANCE WITH ORO VALLEY CODE AND CURRENT IESNA STANDARDS TO ENSURE ACCEPTABLE LEVELS, DISTRIBUTION AND TYPE OF LIGHTING AS DETERMINED BY THE PLANNING AND ZONING ADMINISTRATOR AND TOWN ENGINEER. AT A MINIMUM, THE CDO MULTI-USE PATH PEDESTRIAN LEVEL LIGHTING MUST BE PROVIDED CONTINUOUSLY ALONG THE SOUTH SIDE OF THE TANGERINE APARTMENTS TO THE CONNECTING PEDESTRIAN PATH LEADING TO THE DEVELOPMENT AREA SOUTH OF VILLAGE CENTER DRIVE(FORMERLY WATER HARVEST WAY).
- ALL PEDESTRIAN CROSSWALKS ON VILLAGE CENTER DRIVE(FORMERLY WATER HARVEST WAY) NOT LOCATED AT A TRAFFIC SIGNAL INTERSECTION SHALL BE IMPROVED WITH RAISED PEDESTRIAN TABLES AND SAFETY MEASURES THAT TRIGGER DRIVER AWARENESS (E.G. REFLECTORS, LIGHTED CROSSWALK SIGNS, ETC.) AS DETERMINED BY THE TOWN ENGINEER. ALL EXISTING SPEED TABLES SHALL BE REMOVED TO ACCOMMODATE NEW ONES AT REQUIRED PEDESTRIAN CROSSINGS.
- A CONTINUOUS AND DIRECT PEDESTRIAN CONNECTION AND ASSOCIATED IMPROVEMENTS MUST BE PROVIDED TO LINK THE SOUTHERN EDGE OF THE ORACLE ROAD INLINE GROUPING OF RETAIL BUILDINGS (BEST BUY, TUESDAY MORNING ETC.), ORACLE APARTMENTS AND THE ADJACENT BUILDING PAD TO THE SOUTH (RED LOBSTER ETC.).
- THE AREA 2, OPTION B (APARTMENTS) MUST INCLUDE AN OPEN SPACE/DOG PARK/RAMADA/PLAYGROUND AND OTHER SMALL OUTDOOR ACTIVE AMENITY SPACE (NOT INCLUDING A POOL) TO REFLECT AMENITIES WITHIN AREA 1. THE WALL DEPICTED IN THIS OPTION ADJACENT TO VILLAGE CENTER DRIVE (SHOWN AS "RETAINING WALL") IS REQUIRED AND MUST BE A MINIMUM OF 6' IN HEIGHT TO DETER PEDESTRIAN TRAFFIC. FURTHER, A ROW OF CACTI OR OTHER SIMILAR VEGETATION CONTAINING THORNS, SPINES OR SHARP LEAVES SHALL BE PROVIDED ADJACENT TO THE INSIDE PORTION OF THE WALL. THE MASTER DEVELOPMENT PLAN SHALL BE UPDATED ACCORDINGLY SUBJECT TO PLANNING AND ZONING ADMINISTRATOR AND TOWN ENGINEER APPROVAL.

EXISTING PROJECT BOUNDARY

DEVELOPMENT AREA-4 BOUNDARY

DEVELOPMENT AREA-4
LOTS 20 & 21 OF
ORO VALLEY MARKET PLACE
BK. 64, PG. 42
AREA=±12.3 AC

BIG WASH
(PIMA COUNTY)
DKT. 11864, PG. 756

EXISTING PROJECT BOUNDARY

LOT 24
ORO VALLEY MARKET PLACE
BK. 64, PG. 42
AREA=±5.5 AC

MATCHLINE. SEE RIGHT VIEW.

SOUTHERN DEVELOPMENT AREA
LOTS 25, 26, & 27
ORO VALLEY MARKET PLACE
BK. 64, PG. 42
AREA=±8.3 AC

MATCHLINE. SEE LEFT VIEW.

LOT 26
LOT 27
LOT 28

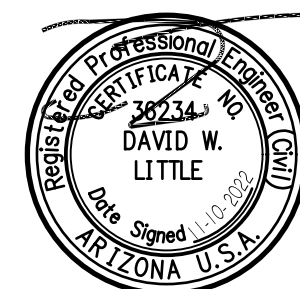
N. ORACLE ROAD - STATE ROUTE 77
(DKT. 548, PG. 385)

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(DKT. 548, PG. 385)

OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT
BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526
BEING A PORTION OF
SEC. 31 & 32 T11S R14E AND SEC. 5, T12S R14E, G&SRM
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

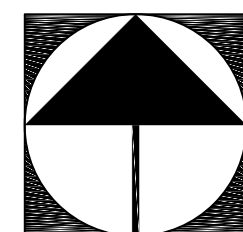
WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1:150

REF CASE# OV12-04-30
PAD AMEND (2001301)
ESL AMEND (2001304) **SHEET 2 OF 14**

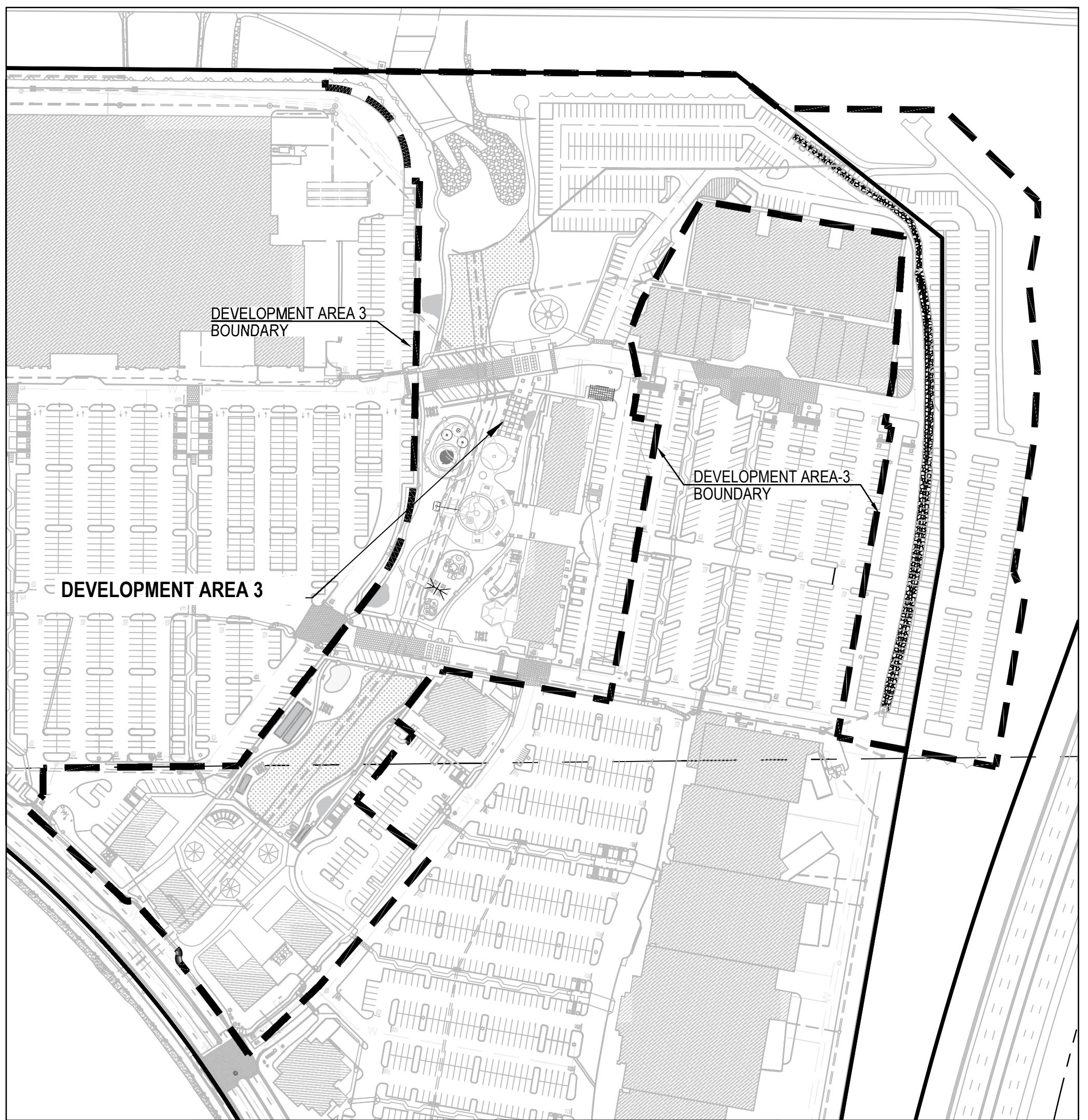
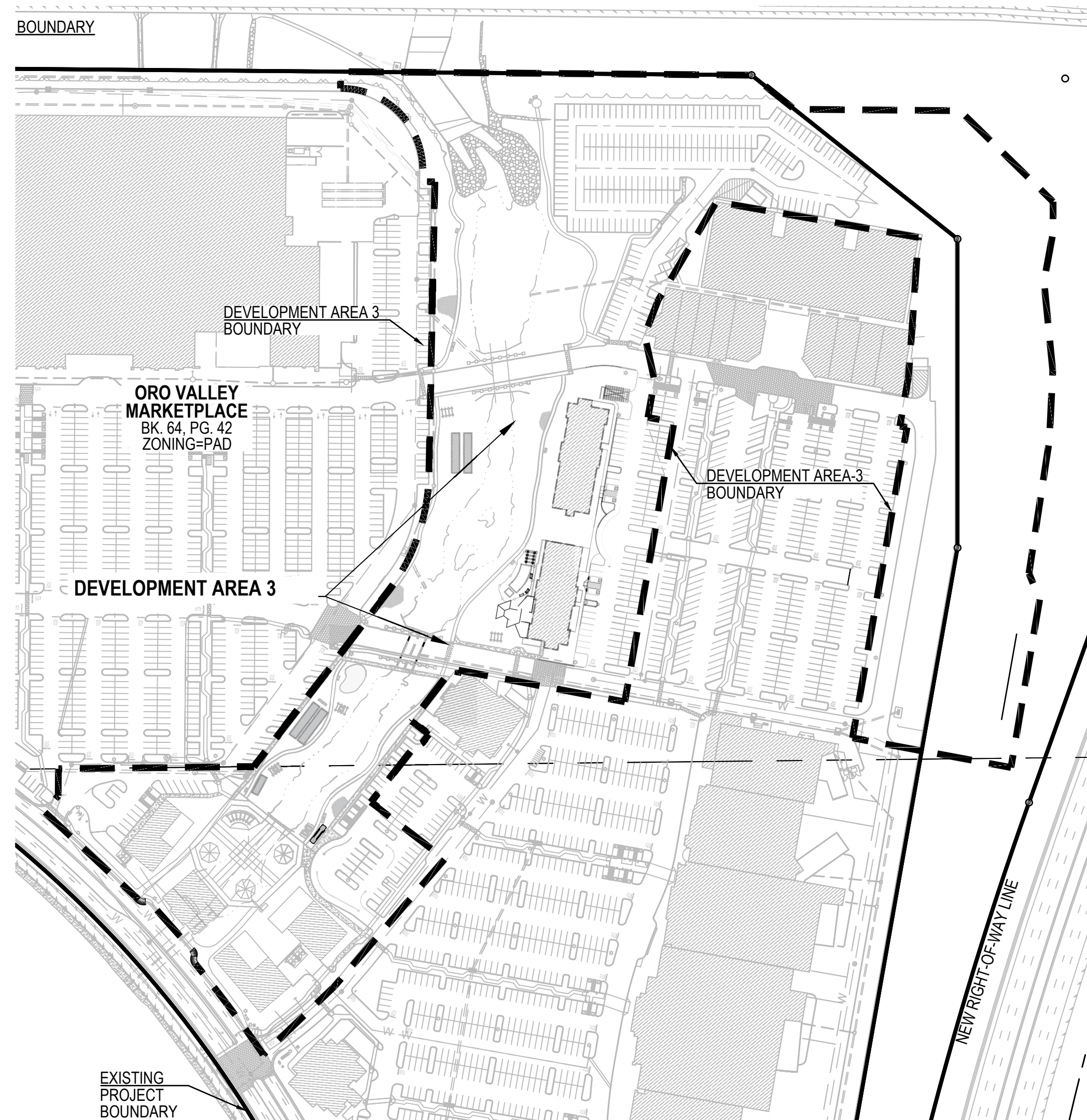
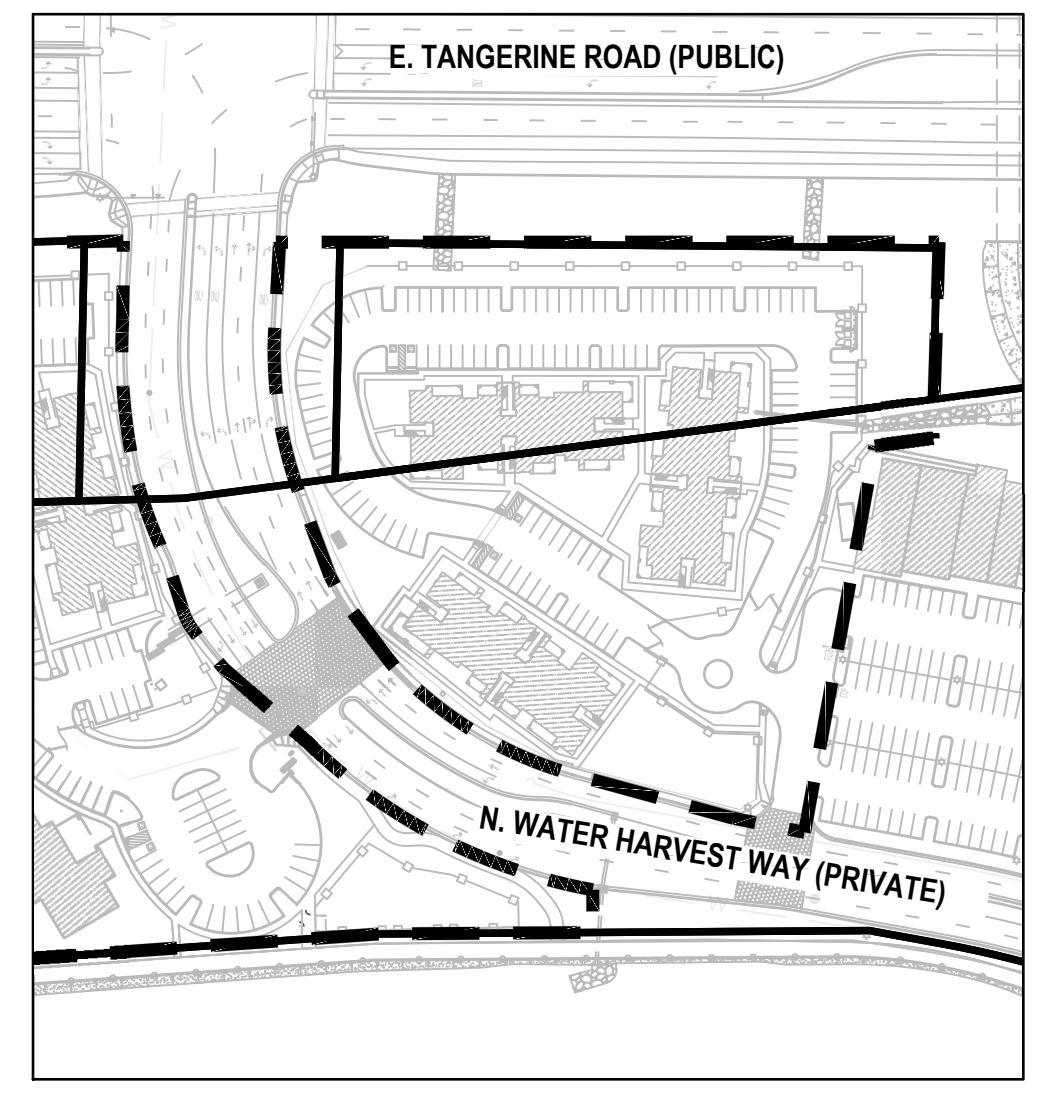


The WLB Group Inc.

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OVERALL SITE PLAN



DEVELOPMENT AREA 3
PROPOSED COMMERCIAL AND/OR HOTEL OR APARTMENTS (PHASE 2)

DEVELOPMENT AREA 3
ENTERTAINMENT DISTRICT(PHASE 3)

OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
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BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526

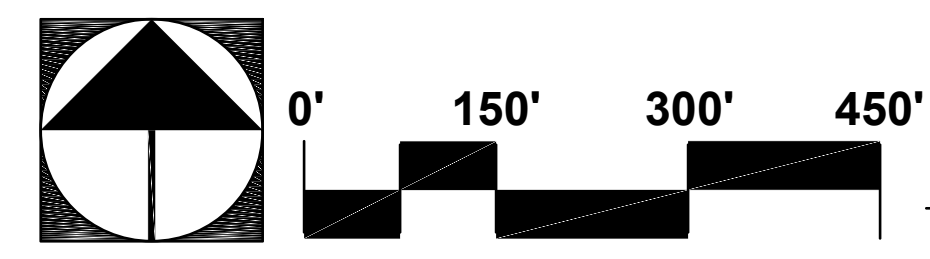
BEING A PORTION OF
SEC. 31 & 32 T11S R14E AND SEC. 5, T12S R14E, G&SRM
TOWN OF ORO VALLEY, PINA COUNTY, ARIZONA



WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1"=150'

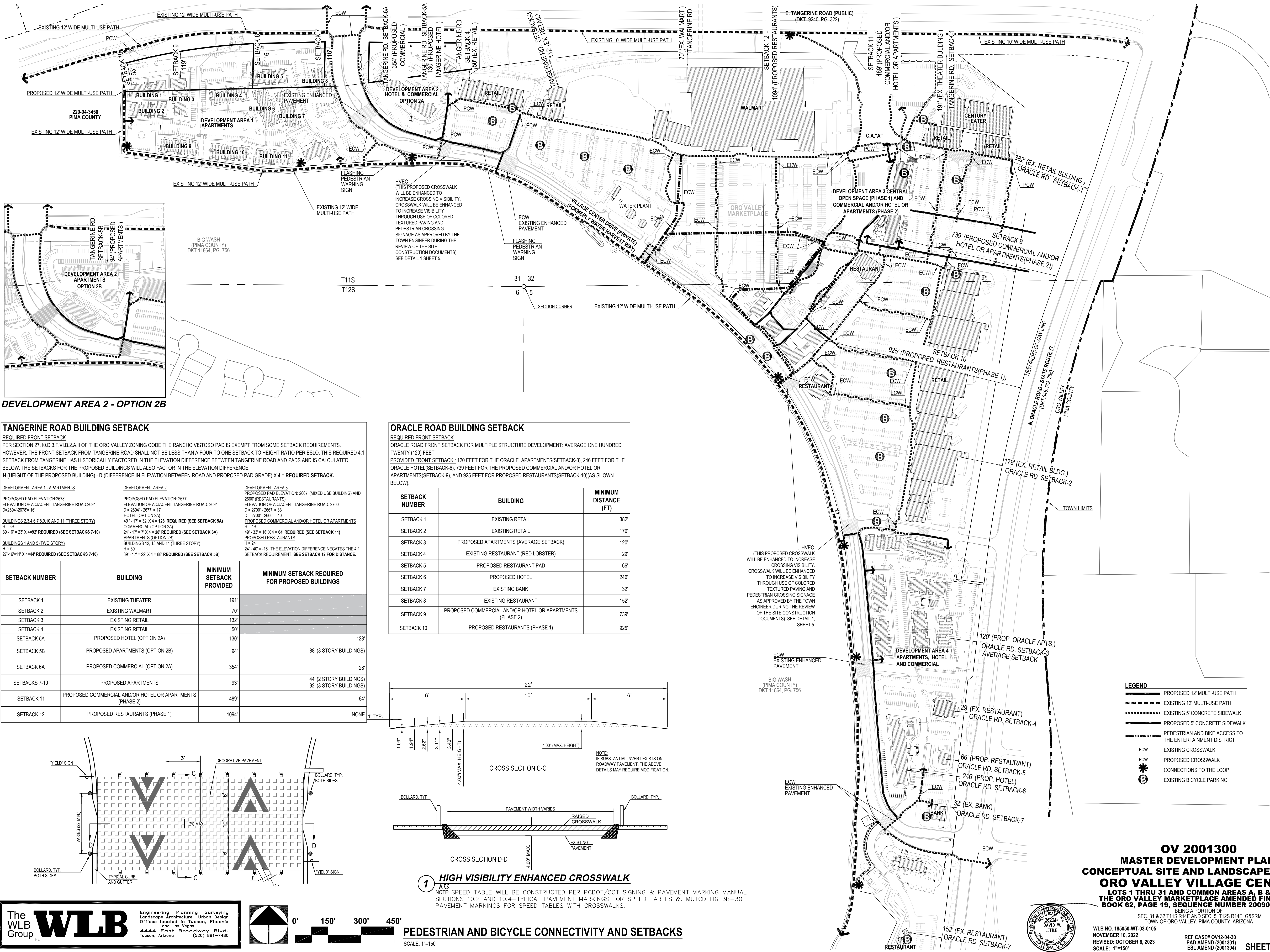
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PAD AMEND (2001301)
ESL AMEND (2001304)

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PROPOSED LAND USE OPTIONS FOR DEVELOPMENT AREA 2 AND PHASES FOR DEVELOPMENT AREA 3

Q:\185050\WT-03-Town West\04_Plating\02_CSP\CSP- September 23\4_OVWC_CSP_ALI_LU.dwg Plotted: Oct 06, 2023



DEVELOPMENT AREA 2 - OPTION 2B

TANGERINE ROAD BUILDING SETBACK

REQUIRED FRONT SETBACK
PER SECTION 27.10.D.3.F.VI.B.2.A.II OF THE ORO VALLEY ZONING CODE THE RANCHO VISTOSO PAD IS EXEMPT FROM SOME SETBACK REQUIREMENTS. HOWEVER, THE FRONT SETBACK FROM TANGERINE ROAD SHALL NOT BE LESS THAN A FOUR TO ONE SETBACK TO HEIGHT RATIO PER ESLO. THIS REQUIRED 4:1 SETBACK FROM TANGERINE HAS HISTORICALLY FACTORED IN THE ELEVATION DIFFERENCE BETWEEN TANGERINE ROAD AND PADS AND IS CALCULATED BELOW. THE SETBACKS FOR THE PROPOSED BUILDINGS WILL ALSO FACTOR IN THE ELEVATION DIFFERENCE.
H (HEIGHT OF THE PROPOSED BUILDING) - D (DIFFERENCE IN ELEVATION BETWEEN ROAD AND PROPOSED PAD GRADE) X 4 = REQUIRED SETBACK.

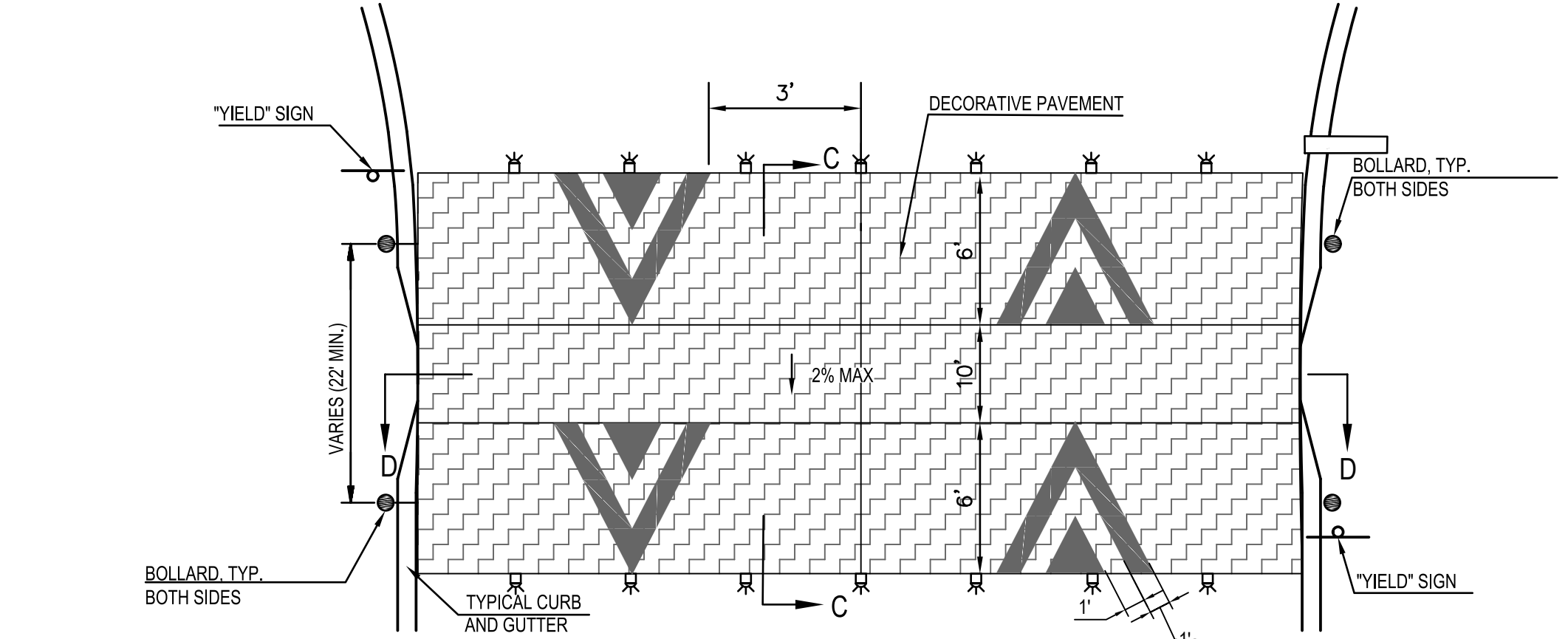
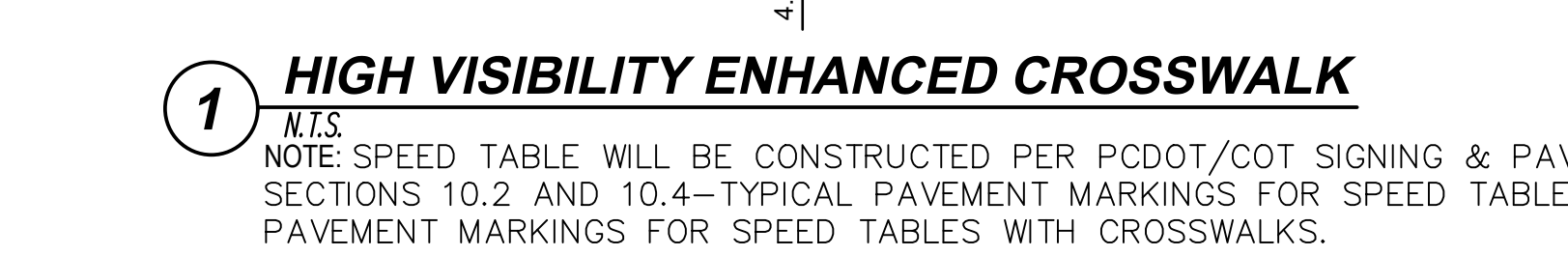
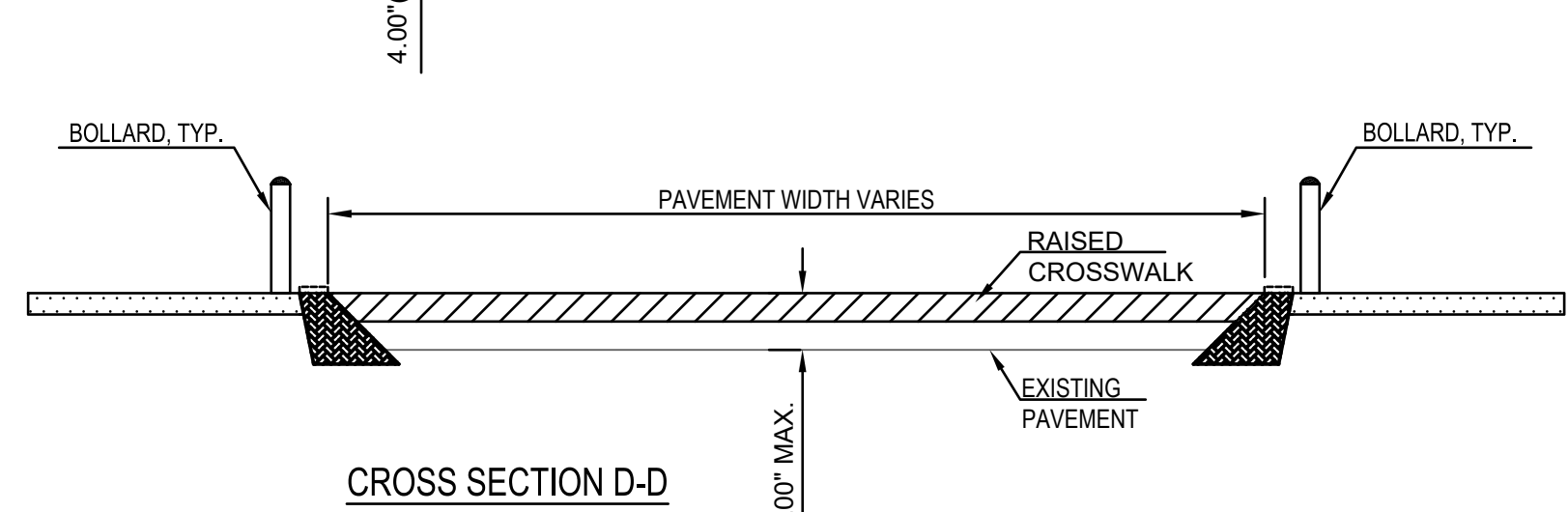
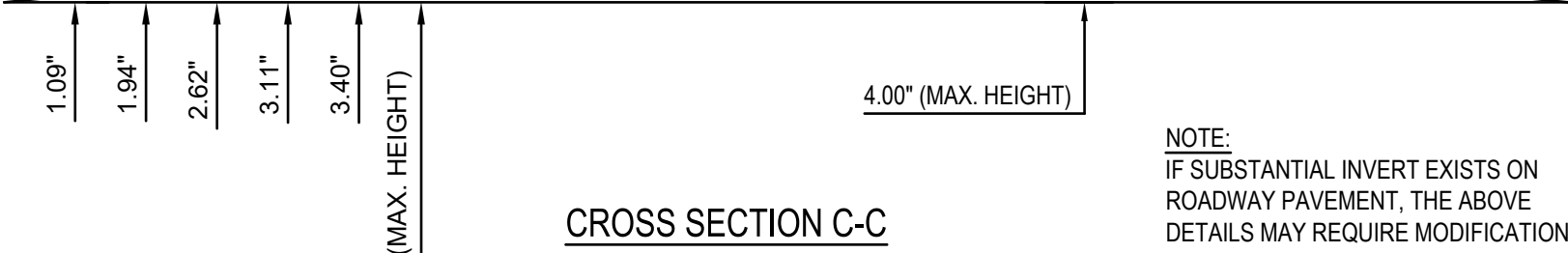
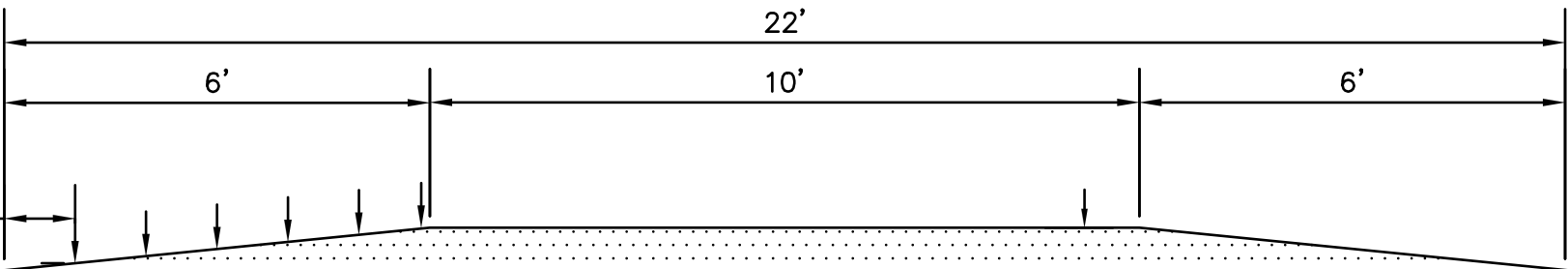
DEVELOPMENT AREA 1 - APARTMENTS	DEVELOPMENT AREA 2	DEVELOPMENT AREA 3
PROPOSED PAD ELEVATION: 2678' ELEVATION OF ADJACENT TANGERINE ROAD: 2694' D=2694'-2678'= 16'	PROPOSED PAD ELEVATION: 2677' ELEVATION OF ADJACENT TANGERINE ROAD: 2694' D = 2694' - 2677' = 17' HOTEL (OPTION 2A) 49' - 17' = 32' X 4 = 128' REQUIRED (SEE SETBACK 5A) COMMERCIAL (OPTION 2A) 24' - 17' = 7' X 4 = 28' REQUIRED (SEE SETBACK 6A) APARTMENTS (OPTION 2B) BUILDINGS 12, 13 AND 14 (THREE STORY) H = 24' 24' - 40' = -16'. THE ELEVATION DIFFERENCE NEGATES THE 4:1 SETBACK REQUIREMENT. SEE SETBACK 12 FOR DISTANCE.	PROPOSED PAD ELEVATION: 2667' (MIXED USE BUILDING) AND 2660' (RESTAURANTS) ELEVATION OF ADJACENT TANGERINE ROAD: 2700' D = 2700' - 2667' = 33' D = 2700' - 2660' = 40' PROPOSED COMMERCIAL AND/OR HOTEL OR APARTMENTS H = 49' 49' - 33' = 16' X 4 = 64' REQUIRED (SEE SETBACK 11) RESTAURANTS (OPTION 2B) H = 24' 24' - 40' = -16'. THE ELEVATION DIFFERENCE NEGATES THE 4:1 SETBACK REQUIREMENT. SEE SETBACK 12 FOR DISTANCE.

SETBACK NUMBER	BUILDING	MINIMUM SETBACK PROVIDED	MINIMUM SETBACK REQUIRED FOR PROPOSED BUILDINGS
SETBACK 1	EXISTING THEATER	191'	
SETBACK 2	EXISTING WALMART	70'	
SETBACK 3	EXISTING RETAIL	132'	
SETBACK 4	EXISTING RETAIL	50'	
SETBACK 5A	PROPOSED HOTEL (OPTION 2A)	130'	128'
SETBACK 5B	PROPOSED APARTMENTS (OPTION 2B)	94'	88' (3 STORY BUILDINGS)
SETBACK 6A	PROPOSED COMMERCIAL (OPTION 2A)	354'	28'
SETBACKS 7-10	PROPOSED APARTMENTS	93'	44' (2 STORY BUILDINGS) 92' (3 STORY BUILDINGS)
SETBACK 11	PROPOSED COMMERCIAL AND/OR HOTEL OR APARTMENTS (PHASE 2)	489'	64'
SETBACK 12	PROPOSED RESTAURANTS (PHASE 1)	1094'	NONE

ORACLE ROAD BUILDING SETBACK

REQUIRED FRONT SETBACK
ORACLE ROAD FRONT SETBACK FOR MULTIPLE STRUCTURE DEVELOPMENT: AVERAGE ONE HUNDRED TWENTY (120) FEET.
PROVIDED FRONT SETBACK: 120 FEET FOR THE ORACLE APARTMENTS(SETBACK-3), 246 FEET FOR THE ORACLE HOTEL(SETBACK-6), 739 FEET FOR THE PROPOSED COMMERCIAL AND/OR HOTEL OR APARTMENTS(SETBACK-9), AND 925 FEET FOR PROPOSED RESTAURANTS(SETBACK-10)(AS SHOWN BELOW).

SETBACK NUMBER	BUILDING	MINIMUM DISTANCE (FT)
SETBACK 1	EXISTING RETAIL	382'
SETBACK 2	EXISTING RETAIL	179'
SETBACK 3	PROPOSED APARTMENTS (AVERAGE SETBACK)	120'
SETBACK 4	EXISTING RESTAURANT (RED LOBSTER)	29'
SETBACK 5	PROPOSED RESTAURANT PAD	66'
SETBACK 6	PROPOSED HOTEL	246'
SETBACK 7	EXISTING BANK	32'
SETBACK 8	EXISTING RESTAURANT	152'
SETBACK 9	PROPOSED COMMERCIAL AND/OR HOTEL OR APARTMENTS (PHASE 2)	739'
SETBACK 10	PROPOSED RESTAURANTS (PHASE 1)	925'

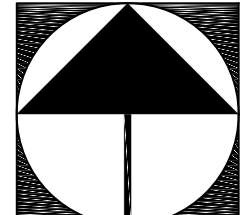


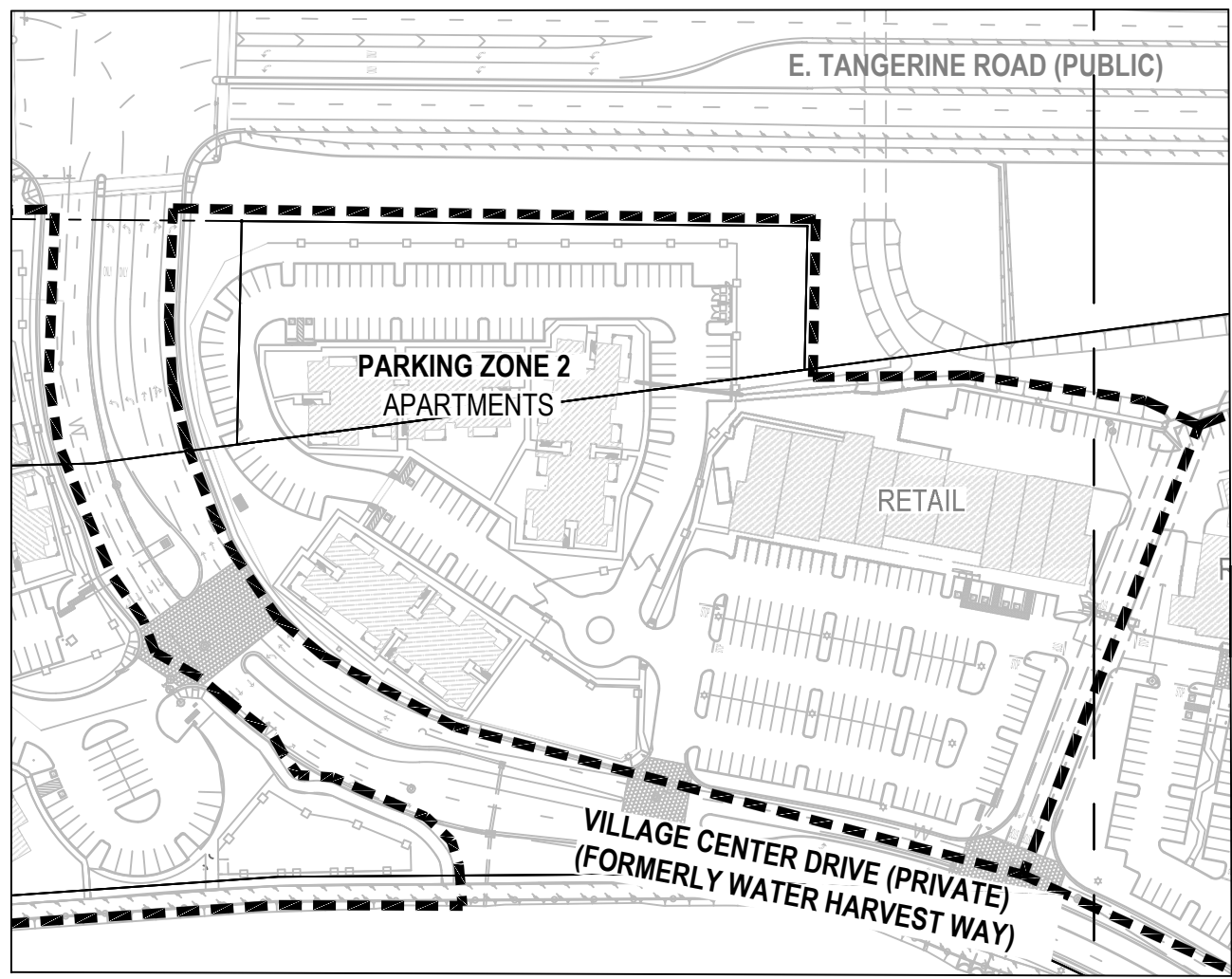
- LEGEND
- PROPOSED 12' MULTI-USE PATH
 - EXISTING 12' MULTI-USE PATH
 - EXISTING 5' CONCRETE SIDEWALK
 - PROPOSED 5' CONCRETE SIDEWALK
 - PEDESTRIAN AND BIKE ACCESS TO THE ENTERTAINMENT DISTRICT
 - EXISTING CROSSWALK
 - PROPOSED CROSSWALK
 - CONNECTIONS TO THE LOOP
 - EXISTING BICYCLE PARKING

OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT
BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526
BEING A PORTION OF
SEC. 31 & 32 T11S R14E AND SEC. 5, T12S R14E, G&SRM
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1"=150'

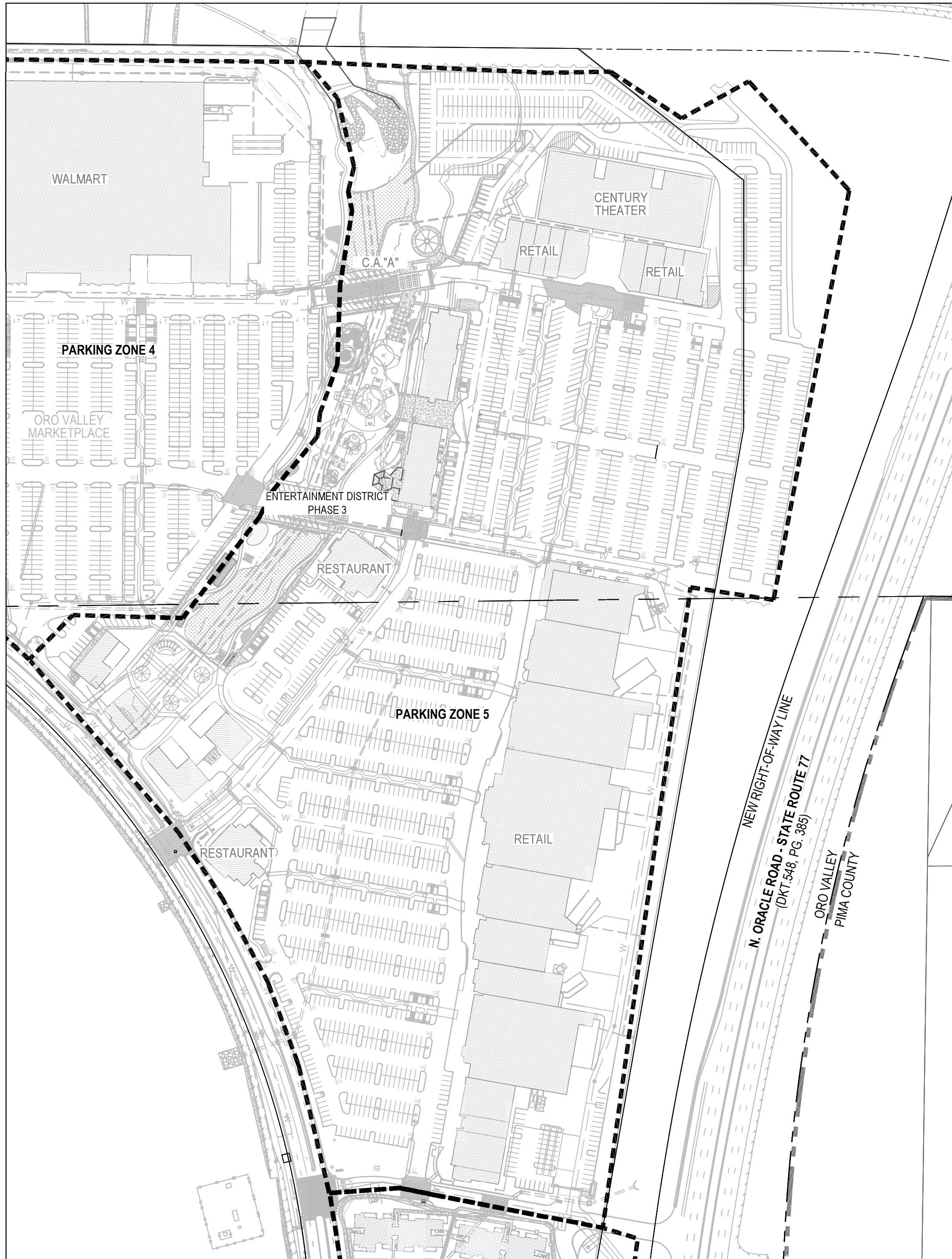
REF CASE# OV12-04-30
PAD AMEND (2001301)
ESL AMEND (2001304)



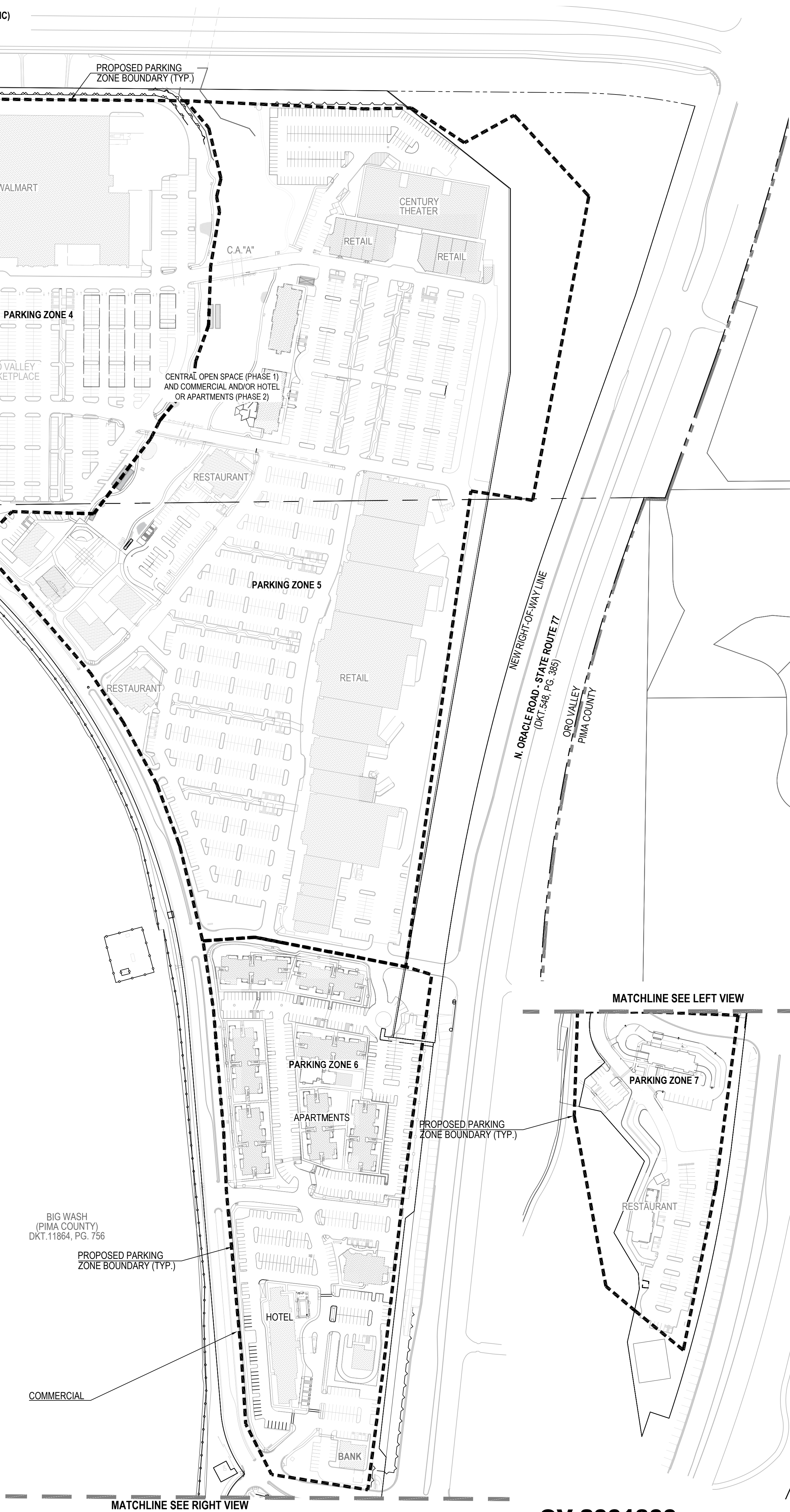


PARKING ZONE 2 - ALTERNATE PARKING LAYOUT
APARTMENTS (OPTION 2B)

PARKING ZONE LAND USE AND PROVIDED PARKING SPACES							
LAND USE	TOTAL SIZE	REQUIRED STANDARD PARKING SPACES	PROVIDED STANDARD PARKING SPACES	REQUIRED ADA PARKING SPACES	PROVIDED ADA PARKING SPACES	TOTAL PROVIDED PARKING SPACES	TOTAL BICYCLE SPACES REQUIRED/PROVIDED
PARKING ZONE 1							
APARTMENTS (PROPOSED)	248 UNITS	481	481	10	15	496	24
PARKING ZONE 2 (OPTION 2A)							
HOTEL (PROPOSED)	128 ROOMS	176	272	7	11	283	16
COMMERCIAL (PROPOSED)	3000 SF						
RETAIL	4,200 SF						
RETAIL	4,970 SF						
OFFICE	2,940 SF						
MEDICAL OFFICE	10,208 SF						
PARKING ZONE 3							
RETAIL	70,243 SF	197	411	13	13	424	22
OFFICE	3,470 SF						
PARKING ZONE 4							
SUPERMARKET	195,273 SF	1172	902	23	24	926	59
PARKING ZONE 5 (PHASES 1 & 2)							
RESTAURANT (PROPOSED)	33,200 SF	1342	1413	28	45	1458	74
RETAIL (PROPOSED)	9,000 SF						
THEATER	1,928 SEATS						
RESTAURANT (STANDARD)	16,098 SF						
RETAIL	203,128 SF						
APARTMENTS(PROPOSED)	48 UNITS						
HOTEL (PROPOSED)	TBD						
PARKING ZONE 6							
APARTMENTS (PROPOSED)	152 UNITS	467	546	11	21	567	27
HOTEL (PROPOSED)	112 ROOMS						
COMMERCIAL (PROPOSED)	2,000 SF						
RESTAURANT (STANDARD)	7,028 SF						
FINANCIAL SERVICES	4,355 SF						
PARKING ZONE 7							
RESTAURANT (CONVENIENCE)	3,650 SF	125	151	6	10	161	8
RETAIL	8,000 SF						
RETAIL	8,000 SF						
GAS STATION	4,500 SF						
TOTALS (INCLUDING OPTION 2A)		3960	4176	98	139	4315	229
ALTERNATE USE							
PARKING ZONE 2 (OPTION 2B)							
APARTMENTS (PROPOSED)	72 UNITS	197	267	6	7	274	13
RETAIL	4,200 SF						
RETAIL	4,970 SF						
OFFICE	2,940 SF						
MEDICAL OFFICE	10,208 SF						
TOTALS (INCLUDING OPTION 2B)		3981	4171	97	135	4306	226
PARKING ZONE 5 (PHASE 3)							
RESTAURANT (PROPOSED)	33,200 SF	1445	1719	34	47	1766	89
RETAIL (PROPOSED)	9,000 SF						
COMMERCIAL RECREATION (PROPOSED)	16,000 SF						
COMMUNITY PARK (PROPOSED)	1.4 ACRES						
THEATER	1,928 SEATS						
RESTAURANT (STANDARD)	16,098 SF						
RETAIL	203,128 SF						
APARTMENTS(PROPOSED)	48 UNITS						
HOTEL (PROPOSED)	TBD						
NOTE: 1. THIS TABLE SHOWS REQUIRED A.D.A. PARKING AND BICYCLE PARKING SPACES. 2. FINAL ADA ACCESSIBLE SPACES AND REQUIREMENTS WILL BE VERIFIED AT FINAL DESIGN STAGES OF DEVELOPMENT AREAS/PADS TO ENSURE COMPLIANCE WITH ADAAG STANDARDS AT TIME OF DEVELOPMENT. 3. 10% OF THE BICYCLE SPACES MUST BE CLASS 1.							

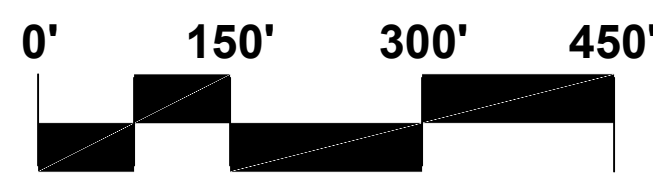
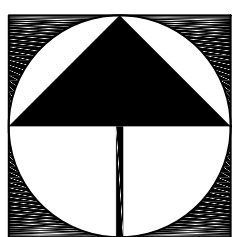


PARKING ZONE 5 - ALTERNATE PARKING LAYOUT FOR PHASE 3

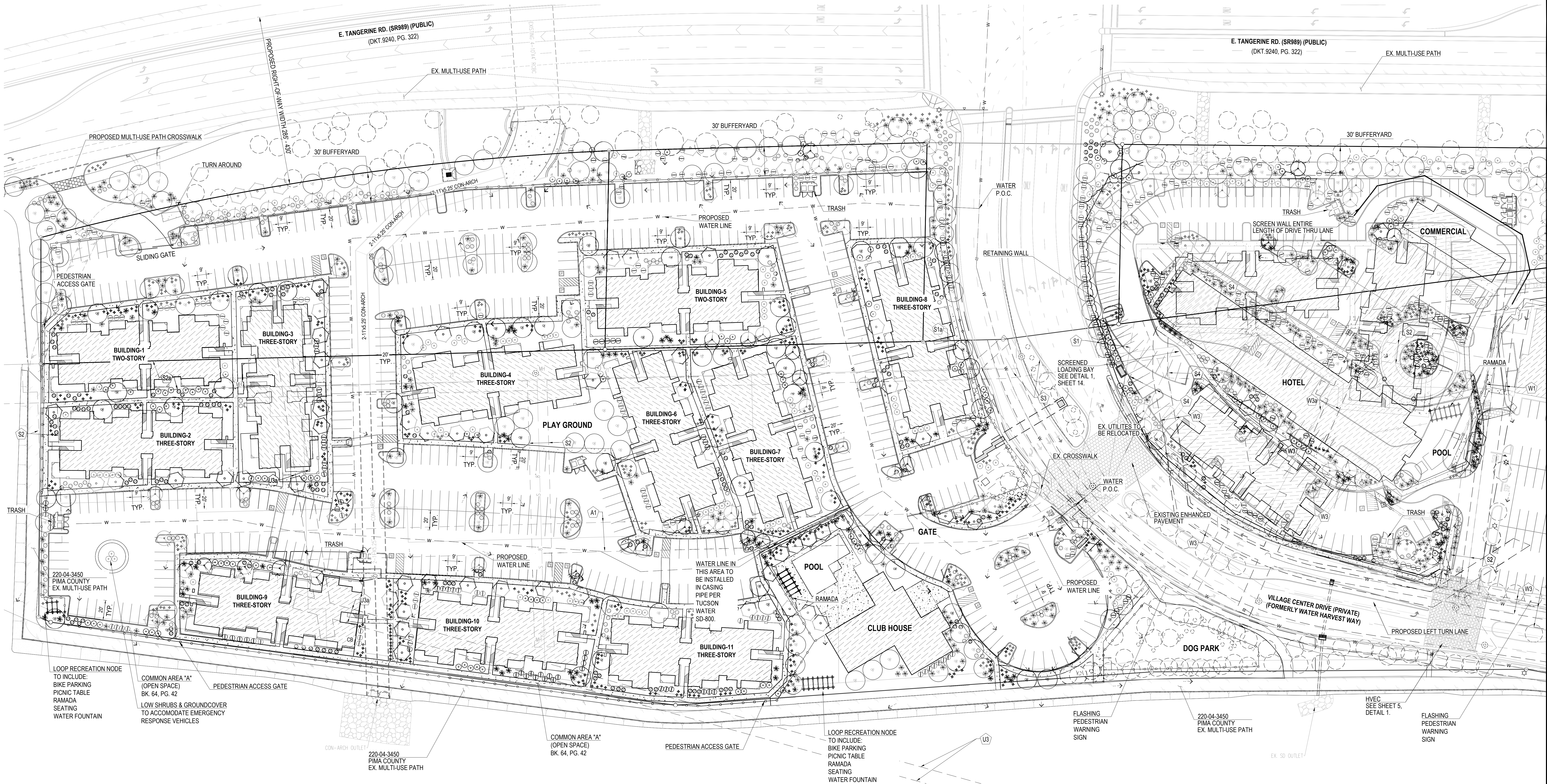


OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
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PAD AMEND (2001301)
ESL AMEND (2001304)
SHEET 6 OF 14



Q:\185050\MT-03 - Town West\04 Flating\02 CSP\CSP - September 23\7 - CIVIC CSP 1019 - 1 & 2A.dwg Plotted: Oct 06, 2023



EASEMENTS KEYNOTES

- A1 ACCESS ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT.
S1 PUBLIC SEWER ESMT. PER BK. 62, PG. 19
S2a PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO BE REMOVED.
S2 PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO BE REMOVED.
S3 PUBLIC SEWER ESMT. PER DKT. 13149, PG. 44 & DKT. 13149, PG. 47
S4 PUBLIC SEWER ESMT. PER DKT. 13285, PG. 1347
S2a PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING SEWER MAIN AND MANHOLE TO BE DEMOLISHED AND REMOVED.
W1 WATER ESMT. PER DKT. 13671, PG. 677
W3 WATER ESMT. PER DKT. 13671, PG. 731 TO REMAIN.

- W3a WATER ESMT. PER DKT. 13671, PG. 731 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITY TO BE RELOCATED.
U3 ELECTRIC ESMT. PER DKT. 8778, PG. 1187 & DKT. 7871, PG. 1829 TO REMAIN
U3a ELECTRIC ESMT. PER DKT. 8778, PG. 1187 & DKT. 7871, PG. 1829 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITY TO BE RELOCATED.

PLANT LEGEND

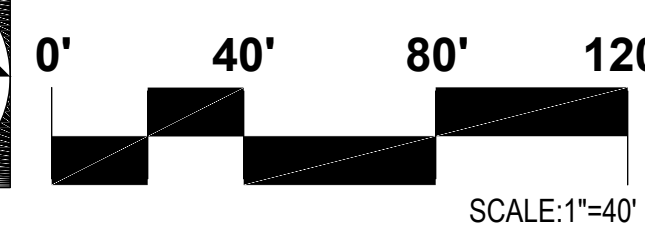
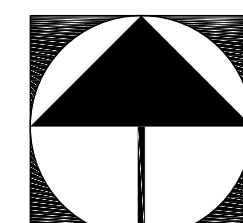
- TREES
SHRUBS/GROUND COVER
ACCENTS
EXISTING TREES AND SHRUBS TO REMAIN

NOTES

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- FENCE DETAIL TO BE PROVIDED DURING FINAL DESIGN REVIEW. OPENINGS IN FENCE WILL BE REQUIRED TO PROVIDE PEDESTRIAN CONNECTION TO EXISTING MULTI-USE PATH.

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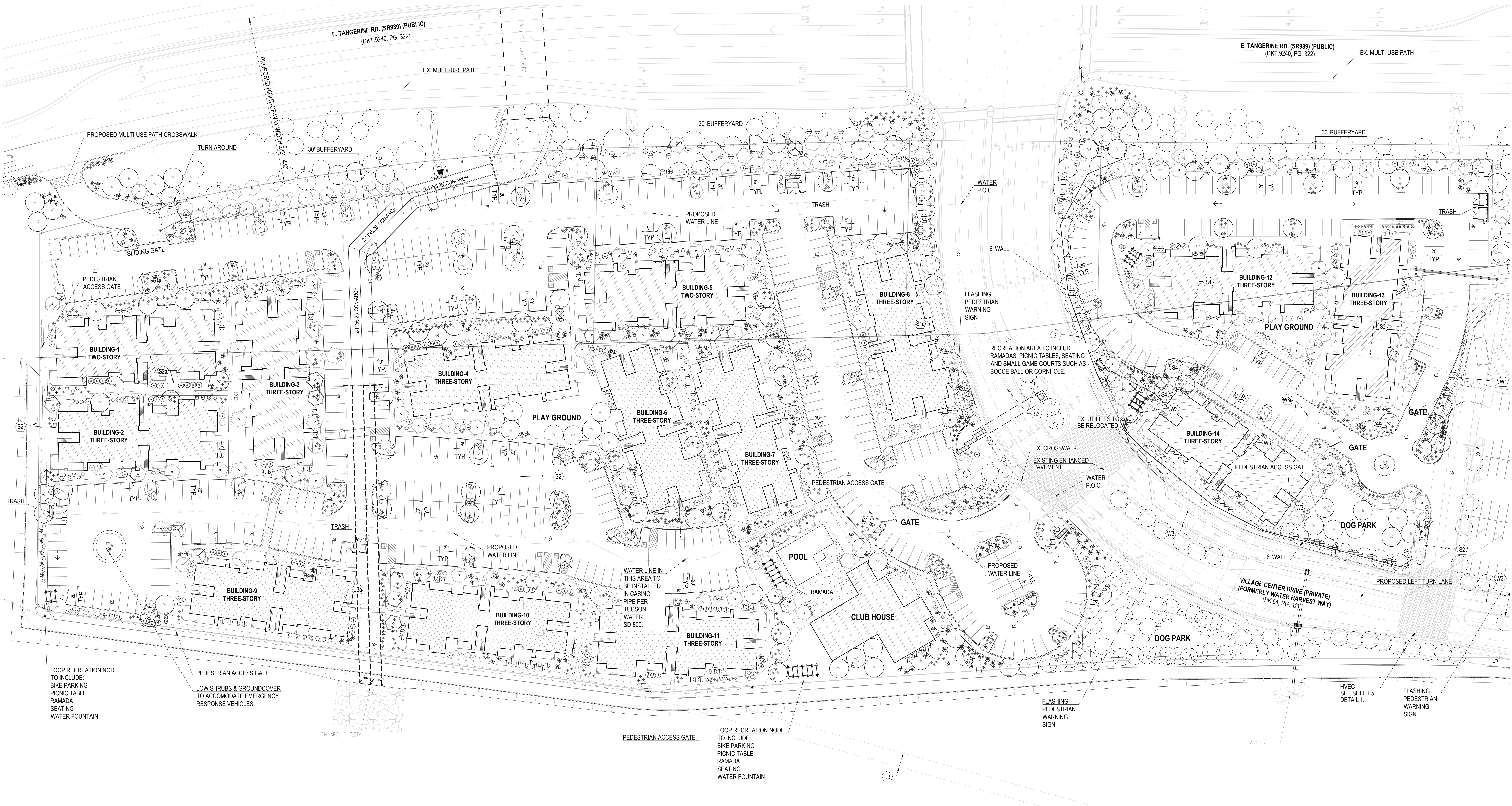
DEVELOPMENT AREA 1 - APARTMENTS
DEVELOPMENT AREA 2 - HOTEL AND COMMERCIAL (OPTION 2A)

OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
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BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526
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TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

WLB NO. 185050-MT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1"=40'

REF CASE# OV12-04-30
PAID AMEND (2001301)
ESL AMEND (2001304)

SHEET 7 OF 14



EASEMENTS KEYNOTES

- A1 ACCESS ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT.
- S1 PUBLIC SEWER ESMT. PER BK. 62, PG. 19
- S1a PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO BE REMOVED.
- S2 PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO BE REMOVED.
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- W3 WATER ESMT. PER DKT. 13671, PG. 731 TO REMAIN.
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- U3 ELECTRIC ESMT. PER DKT. 8778, PG. 1187 & DKT. 7871, PG. 1829 TO REMAIN
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PLANT LEGEND

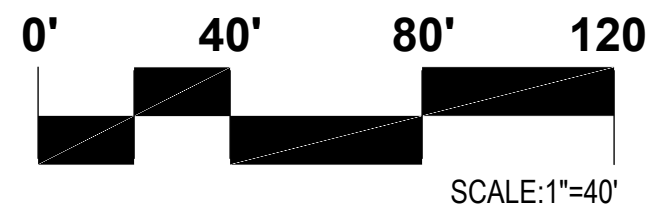
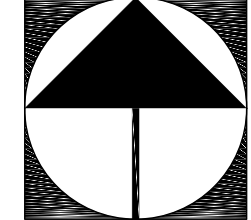
- TREES
- SHRUBS/GROUND COVER
- ACCENTS
- EXISTING TREES AND SHRUBS TO REMAIN

NOTES

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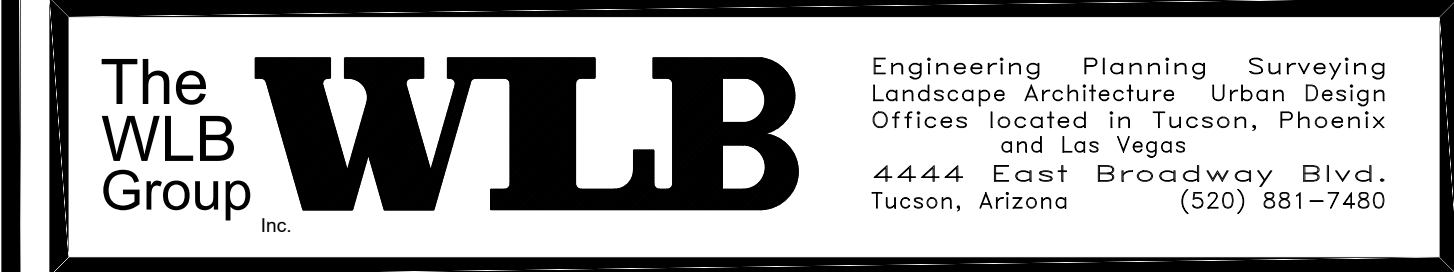
DEVELOPMENT AREA 1 - APARTMENTS
DEVELOPMENT AREA 2 - APARTMENTS (OPTION 2B)

OV 2001300
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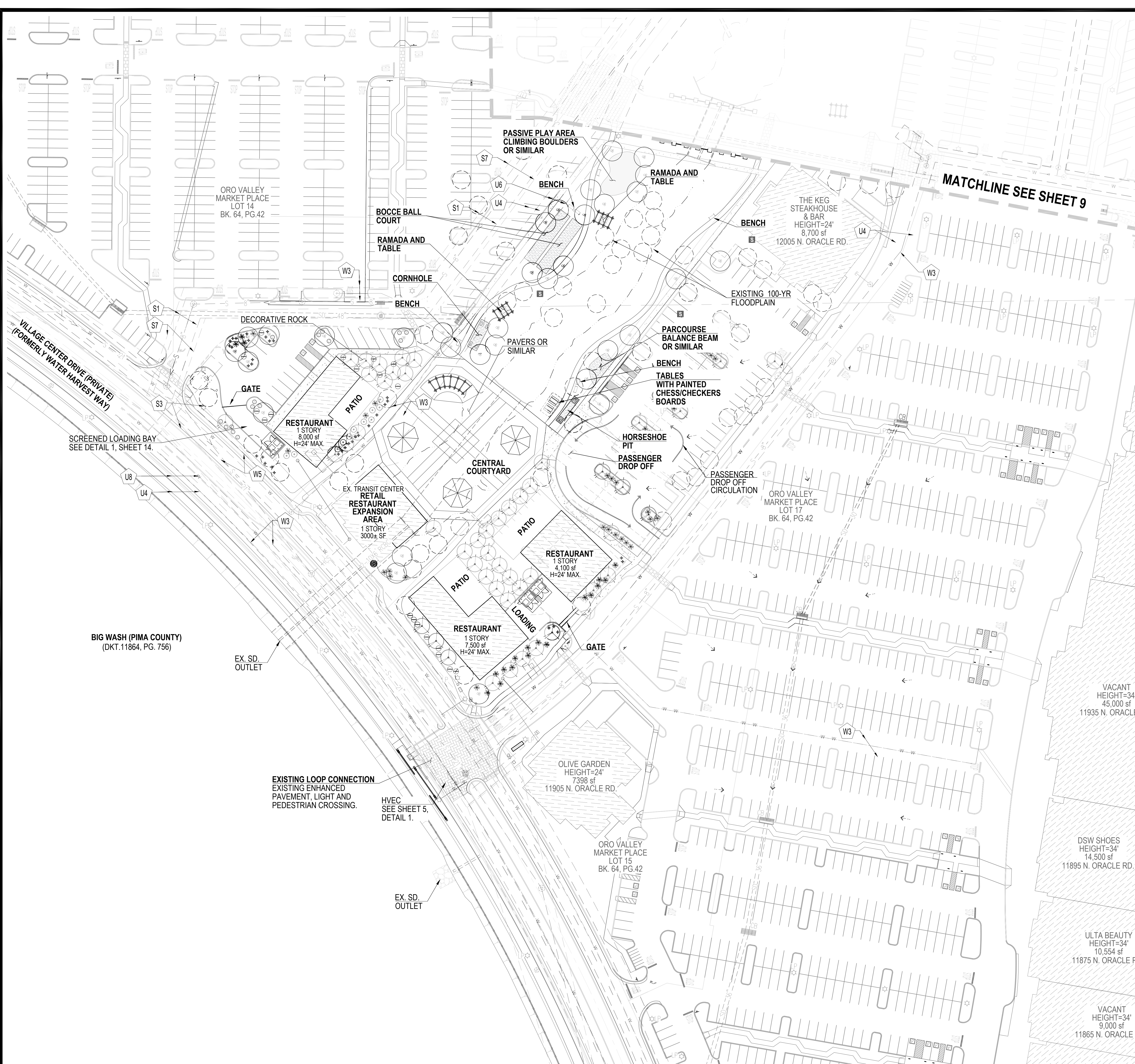
SHEET 8 OF 14



TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

WLB NO. 185050-WT-03-0105	
NOVEMBER 10, 2022	REF CASE# OV12-04-30
REVISED: OCTOBER 6, 2023	PAD AMEND (2001301)
SCALE: 1"=40'	ESL AMEND (2001304)
	SHEET 9 OF 14

Q:\185500\VT-03 - Town West\04 Planning\02 CSP\CSP - September 2319-10_OVVC CSP 1019_3A.dwg Plotted: Oct 06, 2023



CENTRAL OPEN SPACE AMENITIES

SPORT COURTS (BOCCE, CORN HOLE, VOLLEYBALL)
NATIVE PLANT INFORMATION SIGNS
PARCOURSE
WALKING PATHS
OPEN SPACE
SEATING

NOTE:

THE PHASING OF THE CENTRAL OPEN SPACE IS CONNECTED ONLY TO THE PROPOSED APARTMENTS. THE TIMING OF THE RESTAURANT CLUSTER AND CENTRAL COURTYARD WILL BE DETERMINED SEPARATELY.

EASEMENT KEYNOTES

- | | | | |
|----|--|----|--|
| S1 | PUBLIC SEWER ESMT. PER BK. 62, PG. 19 | U4 | ELECTRIC ESMT. PER DKT. 13571, PG. 919 |
| S3 | PUBLIC SEWER ESMT. PER DKT. 13149, PG. 44 & DKT. 13149, PG. 47 | U6 | ELECTRIC ESMT. PER DKT. 13303, PG. 2242 |
| S7 | SEWER ESMT. PER DKT. 813077, PG. 1 | U8 | ELECTRIC ESMT. PER DKT. 13091, PG. 1254 |
| | | W3 | WATER ESMT. PER DKT. 13671, PG. 731 TO REMAIN. |
| | | W5 | WATER ESMT. PER DKT. 12265, PG. 6090 |

LEGEND

- | | |
|--|--------------------------------|
| | BICYCLE PARKING |
| | NATIVE PLANT INFORMATION SIGNS |
| | FENCE/WALL |

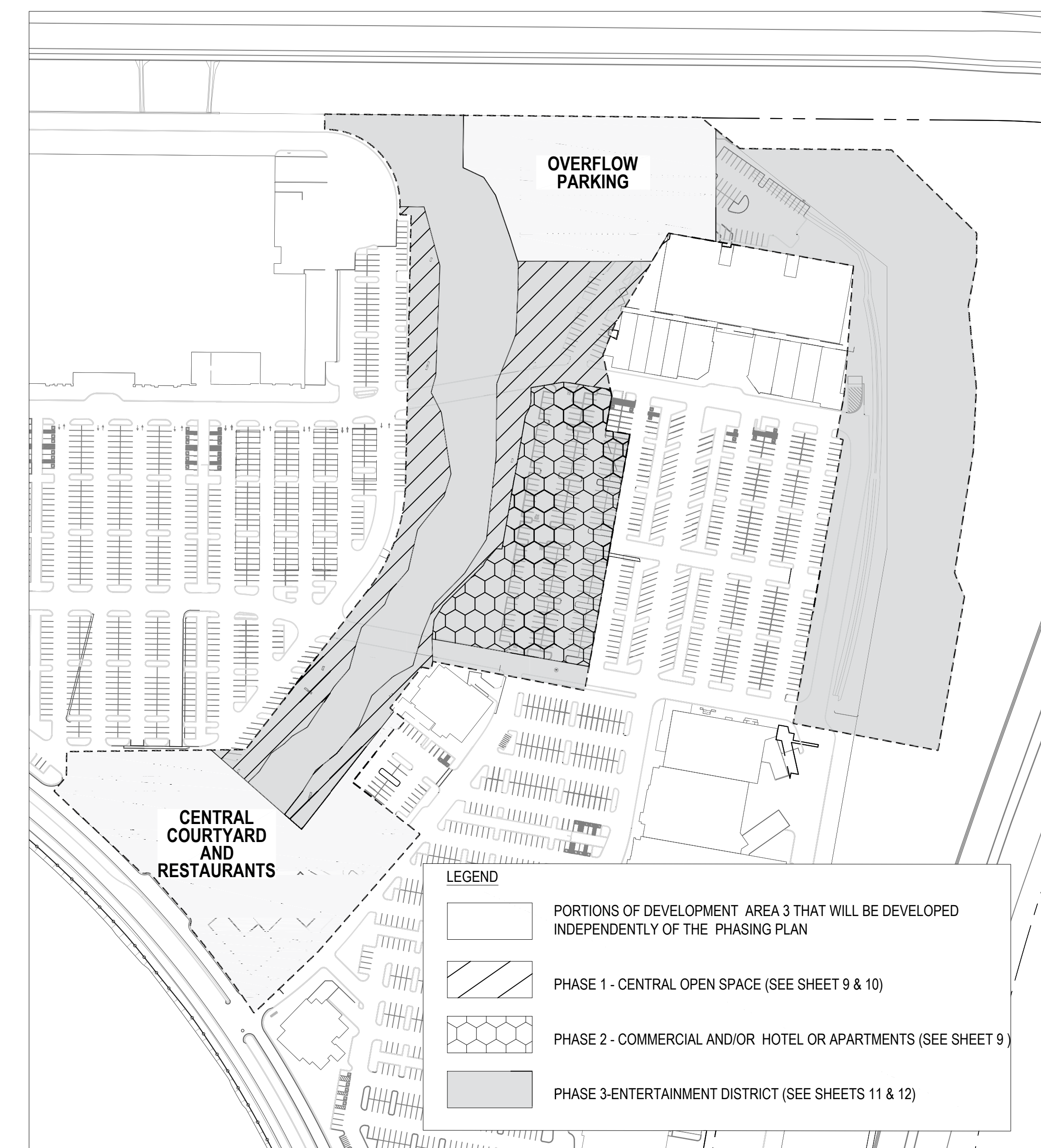
PLANT LEGEND

- | | |
|--|-------------------------------------|
| | TREES |
| | SHRUBS/GROUND COVER |
| | ACCENTS |
| | EXISTING TREES AND SHRUBS TO REMAIN |

LANDSCAPE NOTES

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OVERALL CENTRAL OPEN SPACE PHASING DIAGRAM



OV 2001300 MASTER DEVELOPMENT PLAN/ CONCEPTUAL SITE AND LANDSCAPE PLAN ORO VALLEY VILLAGE CENTER LOTS 1 THRU 31 AND COMMON AREAS A, P & D OF THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526

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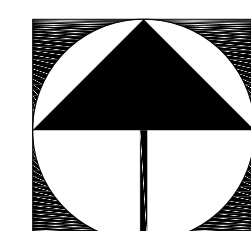
WLB NO. 185500-VT-03-0105
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SHEET 10 OF 14

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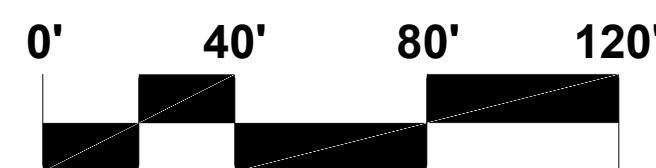
DEVELOPMENT AREA 3 - SOUTH CENTRAL OPEN SPACE (PHASE 1)

SCALE: 1"=40'

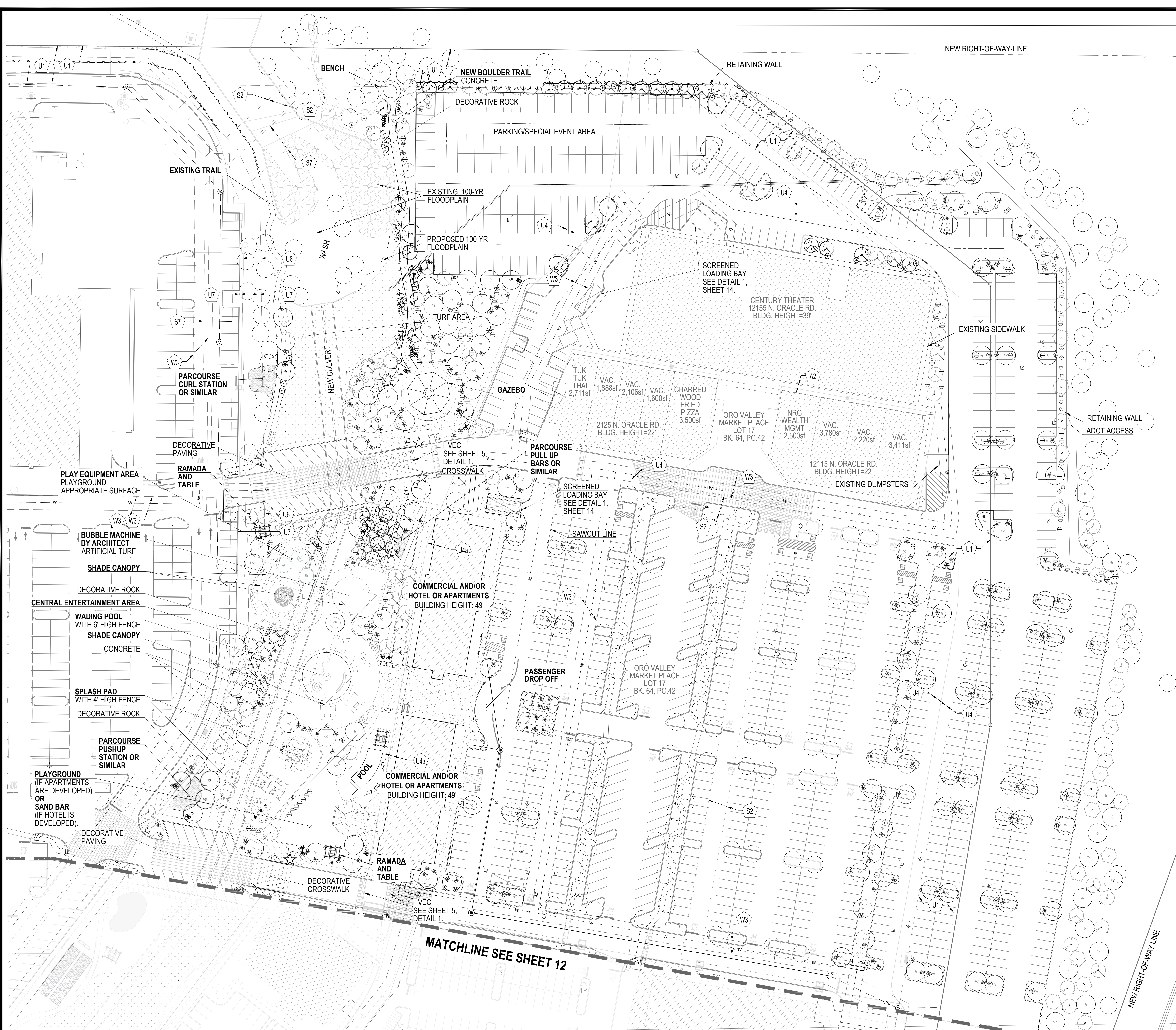
Q:\185050\WT-03 - Town West\04 Planning\02 CSP\CSP - September 2311-12 CSP Plan C.DWG Sheets.dwg Plotter: Oct 06, 2023

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DEVELOPMENT AREA 3 - NORTH ENTERTAINMENT DISTRICT (PHASE 3)
SCALE: 1"=40'



CENTRAL OPEN SPACE AMENITIES

BIKE PARKING
RAMADAS WITH PICNIC TABLES - INCLUDE PAINTED CHESS BOARDS
BENCHES
MULTIFUNCTIONAL GAME COURTS - BOCCIE BALL, HORSESHOES, CORNHOLE
NATIVE PLANT INFORMATION SIGNS
PLAY EQUIPMENT
PARCOURSE
SPLASH PAD
WALKING PATHS

NOTE:

THE PHASING OF THE CENTRAL OPEN SPACE IS CONNECTED ONLY TO THE PROPOSED APARTMENTS. THE TIMING OF THE RESTAURANT CLUSTER AND CENTRAL COURTYARD AND OVERFLOW PARKING WILL BE DETERMINED SEPARATELY. SEE SHEET 10 FOR THE OVERALL CENTRAL OPEN SPACE PHASING DIAGRAM.

EASEMENT KEYNOTES

- | | |
|---|---|
| A2 CROSS ACCESS ESMT. PER BK. 62, PG. 19 | U1 UTILITY ESMT. PER DKT. 9240, PG. 336 |
| S1 PUBLIC SEWER ESMT. PER BK. 62, PG. 19 | U6 ELECTRIC ESMT. PER DKT. 13303, PG. 2242 |
| S2 PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO BE REMOVED. | U7 TEP ESMT. PER DKT. 13263, PG. 2335 |
| S6 SEWER ESMT. PER DKT. 8233, PG. 2372 | W3 WATER ESMT. PER DKT. 13671, PG. 731 TO REMAIN. |
| S7 SEWER ESMT. PER DKT. 813077, PG. 1 | |

LEGEND

- BICYCLE PARKING
- GATEWAY SIGN
- NATIVE PLANT INFORMATION SIGN
- FENCE/WALL

PLANT LEGEND

- TREES
- SHRUBS/GROUND COVER
- ACCENTS
- EXISTING TREES AND SHRUBS TO REMAIN

NOTES

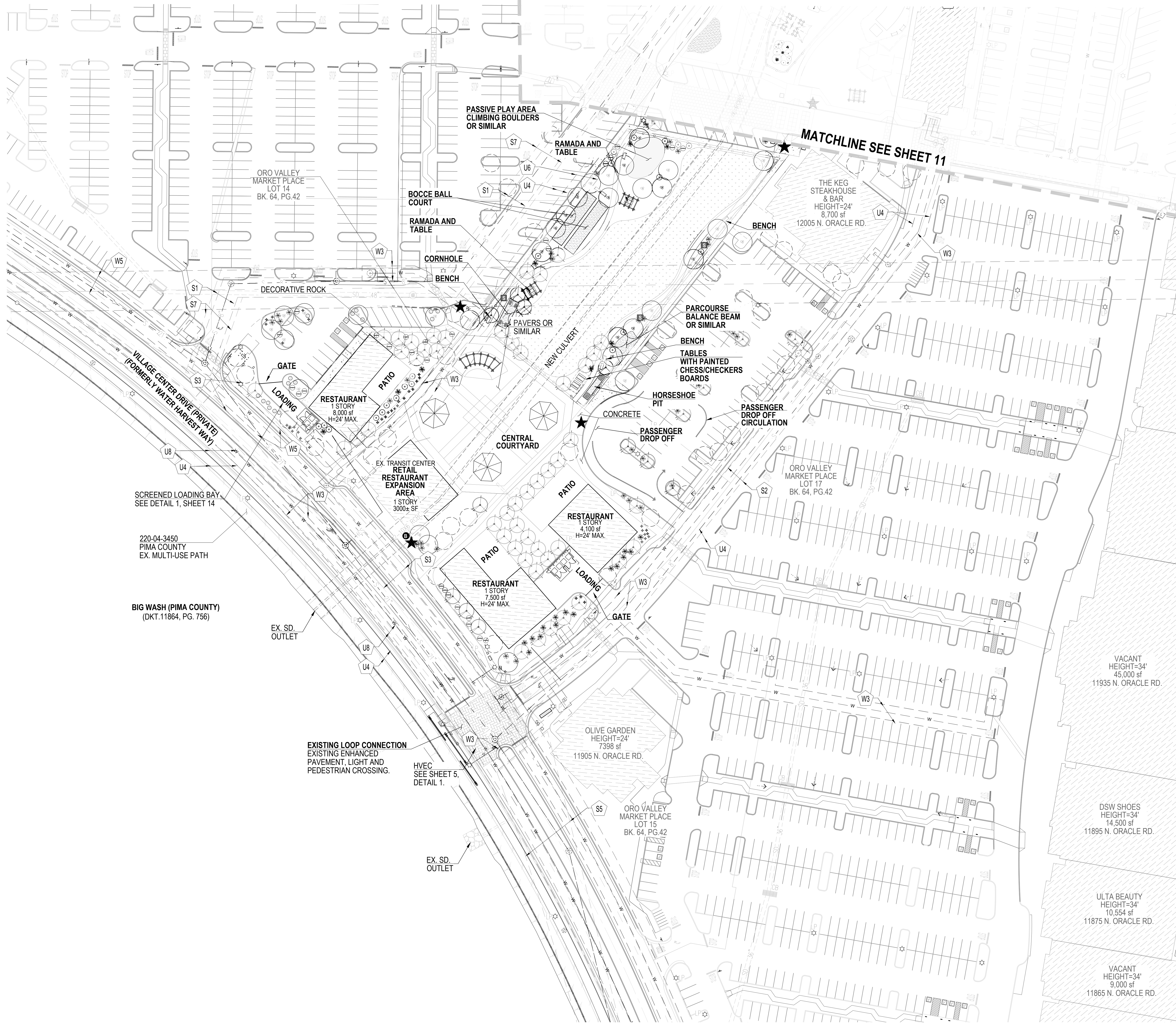
- LANDSCAPE TO CONFORM TO ORO VALLEY CODE.
- MITIGATION OF SURVEYED PLANTS IN THE NATIVE PLANT PRESERVATION PLAN WILL BE INCORPORATED IN THE LANDSCAPE DESIGN.
- ALL TREE, SHRUB/GROUND COVER AND ACCENT LOCATIONS ARE PRELIMINARY.
- FENCE DETAIL TO BE PROVIDED DURING FINAL DESIGN REVIEW. OPENINGS IN FENCE WILL BE REQUIRED TO PROVIDE PEDESTRIAN CONNECTION TO EXISTING MULTI-USE PATH.

OV 2001300
MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT
BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526
BEING A PORTION OF
SEC. 31 & 32 T11S R14E AND SEC. 5, T12S R14E, G&SRM
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
REVISED: OCTOBER 6, 2023
SCALE: 1"=40'

REF CASE# OV12-04-30
PAD AMEND (2001301)
ESL AMEND (2001304)

SHEET 11 OF 14



CENTRAL OPEN SPACE AMENITIES

BIKE PARKING
PARCOURSE
RAMADAS WITH PICNIC TABLES - INCLUDE PAINTED CHESS BOARDS
BENCHES
MULTIFUNCTIONAL GAME COURTS - BOCCIE BALL, HORSESHOES, CORNHOLE, VOLLEYBALL
EDUCATIONAL SIGNAGE - FLORA AND FAUNA IDENTIFICATION, WATER RESOURCES
WALKING PATHS
COURTYARD
TOWN PARK

NOTE:

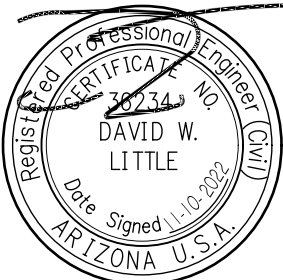
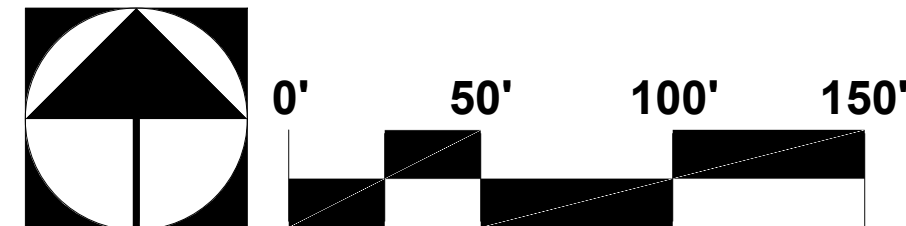
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- EASEMENT KEYNOTES**
- A2 CROSS ACCESS ESMT. PER BK. 62, PG. 19
 - S1 PUBLIC SEWER ESMT. PER BK. 62, PG. 19
 - S2 PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING UTILITIES TO REMOVED.
 - S6 SEWER ESMT. PER DKT. 8233, PG. 2372
 - S7 SEWER ESMT. PER DKT. 813077, PG. 1
 - U1 UTILITY ESMT. PER DKT. 9240, PG. 336
 - U6 ELETRIC ESMT. PER DKT. 13303, PG. 2242
 - U7 TEP ESMT. PER DKT. 13263, PG. 2335
 - W3 WATER ESMT. PER DKT. 13671, PG. 731 TO REMAIN.

- LEGEND**
- BICYCLE PARKING
 - GATEWAY SIGN
 - NATIVE PLANT INFORMATION SIGN
 - FENCE/WALL

- PLANT LEGEND**
- TREES
 - SHRUBS/GROUNDCOVER
 - ACCENTS
 - EXISTING TREES AND SHRUBS TO REMAIN

- LANDSCAPE NOTES**
- LANDSCAPE TO CONFORM TO ORO VALLEY CODE.
 - MITIGATION OF SURVEYED PLANTS IN THE NATIVE PLANT PRESERVATION PLAN WILL BE INCORPORATED IN THE LANDSCAPE DESIGN.
 - ALL TREE, SHRUB/GROUNDCOVER AND ACCENT LOCATIONS ARE PRELIMINARY.
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Q:\185050\WT-03 - Town West\04 Planning\02 CSP\CSP - September 23\13-0VVC_CSP_1019_4A_Csp.dwg Plotat: Oct 06, 2023

EASEMENTS KEYNOTES

- S2 PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT EXISTING UTILITIES TO BE REMOVED.
- S2a PRIVATE SEWER ESMT. PER BK. 62, PG. 19 TO BE ABANDONED BY SEPARATE INSTRUMENT EXISTING SEWER MAIN AND MANHOLE TO BE DEMOLISHED AND REMOVED.
- S5 SEWER ESMT. PER DKT. 17787, PG. 1320
- W3a WATER ESMT. PER DKT. 13671, PG. 731 TO BE ABANDONED BY SEPARATE INSTRUMENT
- W4 WATER ESMT. PER DKT. 13671, PG. 711 TO REMAIN
- W5 WATER ESMT. PER DKT. 12265, PG. 6090
- U1 UTILITY ESMT. PER DKT. 9240, PG. 336
- U4 ELECTRIC ESMT. PER DKT. 13571, PG. 919
- U4a ELECTRIC ESMT. PER DKT. 13571, PG. 919 TO BE ABANDONED BY SEPARATE INSTRUMENT.
- U5 ELECTRIC ESMT. PER DKT. 10062, PG. 1245

PLANT LEGEND

- TREES
- SHRUBS/GROUND COVER
- ACCENTS
- EXISTING TREES AND SHRUBS TO REMAIN

LEGEND

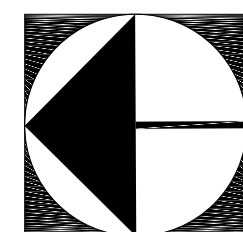
- FENCE/WALL

NOTES

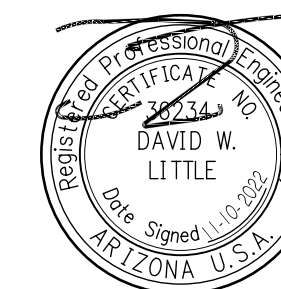
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The WLB Group

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix
and Las Vegas
4444 East Broadway Blvd.
Tucson, Arizona (520) 881-7480



DEVELOPMENT AREA 4 - APARTMENTS, HOTEL & COMMERCIAL
SCALE: 1"=40'



OV 2001300
**MASTER DEVELOPMENT PLAN/
CONCEPTUAL SITE AND LANDSCAPE PLAN**
ORO VALLEY VILLAGE CENTER
LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF
THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT
BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526

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TOWN OF ORO VALLEY, PINA COUNTY, ARIZONA

WLB NO. 185050-WT-03-0105
NOVEMBER 10, 2022
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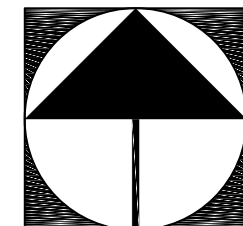
REF CASE# OV12-04-30
PAD AMEND (2001301)
ESL AMEND (2001304)

SHEET 13 OF 14

Q:\185050\WT-03 - Town West\04 Planning\02 CSP\CSP - September 23\15-OWC CSP 1019 TC Sheets.dwg Plotted: Oct 06, 2023



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SOUTHERN DEVELOPMENT AREA
SCALE: 1"=40'

EXISTING EASEMENTS KEYNOTES

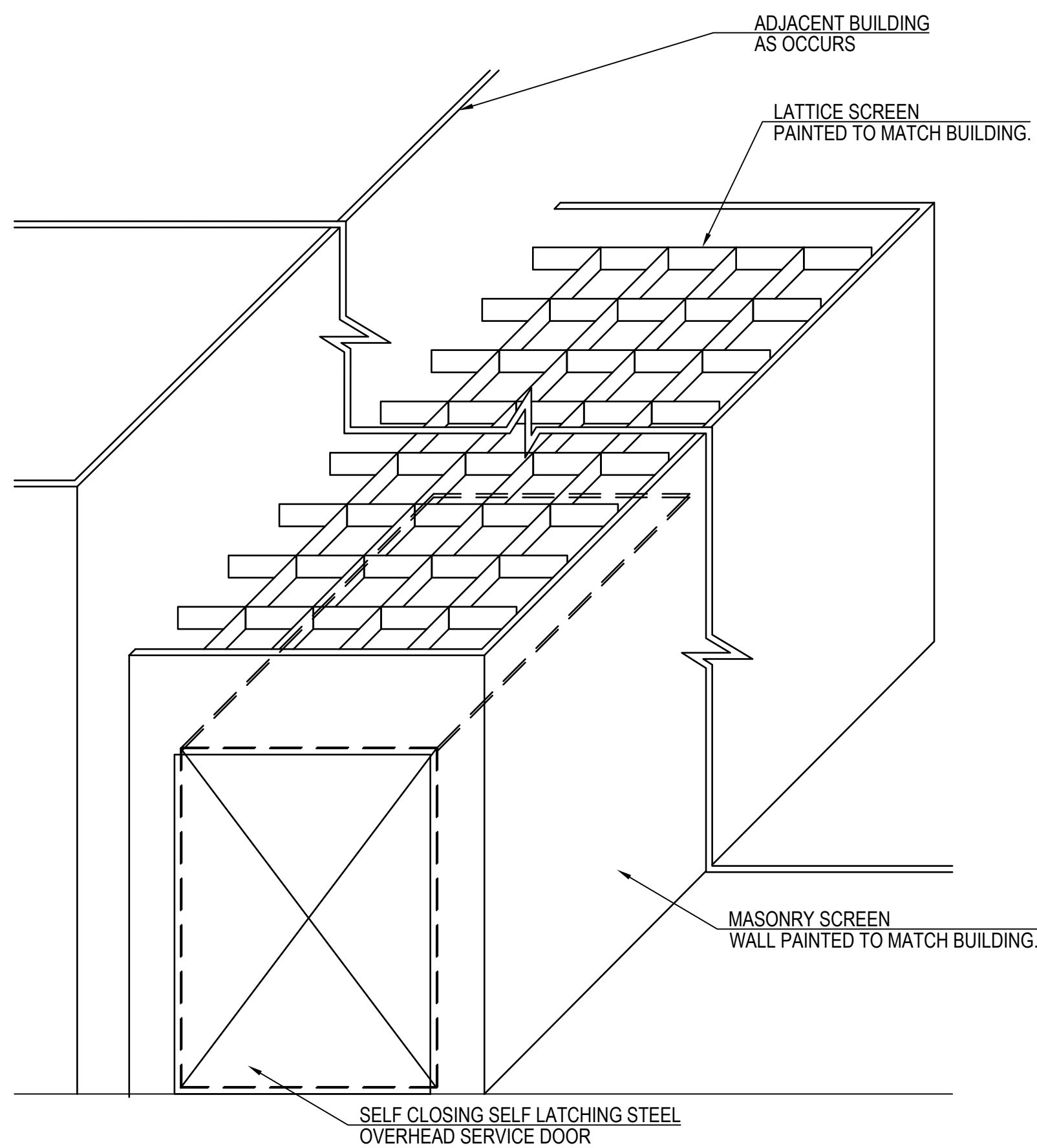
- S1 PUBLIC SEWER ESMT. PER BK. 62, PG. 19
- SS SEWER ESMT. PER DKT. 7787, PG. 1320
- W4 WATER ESMT. PER DKT. 13671, PG. 711 TO REMAIN
- W4a WATER ESMT. PER DKT. 13671, PG. 711 TO BE ABANDONED BY SEPARATE INSTRUMENT. EXISTING MAIN TO BE REMOVED AND RELOCATED.
- U4 ELECTRIC ESMT. PER DKT. 13571, PG. 919
- U4a ELECTRIC ESMT. PER DKT. 13571, PG. 919 TO BE ABANDONED BY SEPARATE INSTRUMENT.

PLANT LEGEND

- TREES
- SHRUBS/GROUND COVER
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1 SCREENED LOADING BAY N.T.S.

OV 2001300 MASTER DEVELOPMENT PLAN/ CONCEPTUAL SITE AND LANDSCAPE PLAN ORO VALLEY VILLAGE CENTER LOTS 1 THRU 31 AND COMMON AREAS A, B & D OF THE ORO VALLEY MARKETPLACE AMENDED FINAL PLAT BOOK 62, PAGE 19, SEQUENCE NUMBER 20090270526

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