

GENERAL NOTES

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS **4.77 ACRES**, OR **207,970 SF**.
2. THE GROSS FLOOR AREA OF NEW STRUCTURES IS **25,830 SQUARE FEET**. BUILDING #1 IS 7,700 SF, BUILDING #2 IS 4,480 SF, BUILDING #3 IS 2,600 SF, BUILDING #4 IS 6,500 SF, BUILDING #5 IS 4,550 SF.
3. THE FLOOR AREA RATIO (FAR) REQUIRED IS 0.3 MAXIMUM. THE ACTUAL FAR IS 0.12 (25,830 SF/207,970 SF).
4. THE LOT COVERAGE PERCENTAGE IS **66.5%**.
5. THE GROSS AREA OF ALL IMPERVIOUS HARDSCAPE SURFACES IS **138,312 SF**.
6. TOTAL MILES OF NEW PUBLIC STREETS IS **0.0** MILES.
7. TOTAL MILES OF NEW PRIVATE STREETS IS **0.0** MILES.
8. REZONING FROM R-S TO COMMERCIAL C-1 (OV2001931). CONDITIONAL USE PERMIT TO ALLOW RESTAURANT DRIVE THRU (OV2001933).
9. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND REVEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
10. THE PROPOSED USES FOR THIS PROJECT ARE **RETAIL, RESTAURANT, OFFICE AND MEDICAL SERVICE**.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER TOV ZONING CODE 23.4 TABLE 23-2B IS **25'**. THE PROPOSED BUILDING HEIGHT IS 25' MAX (1-STORY).
2. THIS PROJECT IS NOT SUBJECT TO SPECIAL OVERLAY ZONES.
3. THIS PROJECT IS NOT SUBJECT TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
4. THIS PROJECT DOES NOT CONTAIN ANY RIPARIAN HABITAT WITHIN THE 100-YEAR FLOODPLAIN.
5.
 - a. THE TOTAL AREA OF OPEN SPACE REQUIRED PER 23.4 TABLE 23-2B IS 20% OF THE GROSS AREA OF THE SITE. TOTAL AREA OF OPEN SPACE PROVIDED IS 41,594 SF, or 20%.
 - b. THE TOTAL AMOUNT OF LANDSCAPED COURTYARDS/PEDESTRIAN MALLS PER 28.8.C.3 IS 5,800 SF (2.8%).
 - c. REQUIRED LANDSCAPED BUFFER-YARDS PER 27.6 TABLE 27-7, C-1:

STREET = 30'

SIDE = 15'

REAR = 15'
 - d. BUILDING SETBACKS: PER 23.8.B.4

STREET (ORACLE) - 20' REQUIRED; 77' (MIN.) PROVIDED

STREET (SUFFOLK) - 25' REQUIRED; 43.6' (MIN.) PROVIDED

SIDE - 25' REQUIRED; 43' (MIN.) PROVIDED

REAR - 50' REQUIRED; 53.4' (MIN.) PROVIDED
6. THIS PROJECT HAS NO DESIGNATED COMMON AREA OR OPEN SPACE.
7. EXISTING ZONING IS **R-S**. PROPOSED ZONGING IS **C-1**.
8. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - A. 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
 - B. 2011 NATIONAL ELECTRICAL CODE.
 - C. 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - D. 2006 GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS.
 - E. 2012 TOWN OF ORO VALLEY POOL CODE.
 - F. 2015 PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.).
 - G. 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
 - H. 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL.
 - I. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
 - J. ORO VALLEY TOWN CODE, CURRENT REVISED.
 - K. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION, OPUS CONTROL POINT "12S13E_V21", DESCRIBED AS A 1/2" REBAR TAGGED "PCDOT GPS". THE ELEVATION OF SAID BENCHMARK IS **2,560.73' (780.511 (M))**, NAVD 88 DATUM.
5. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE NORTHWEST LINE OF BLOCK "B" OF THE "SUFFOLK HILLS" PLAT AS RECORDED IN BOOK 13, PAGE 18 OF MAPS AND PLATS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID LINE IS **N 10°16'11"E**.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED BETWEEN THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.
9. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT EGINS.
4. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
5. ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.

GOLDER RANCH FIRE GENERAL NOTES

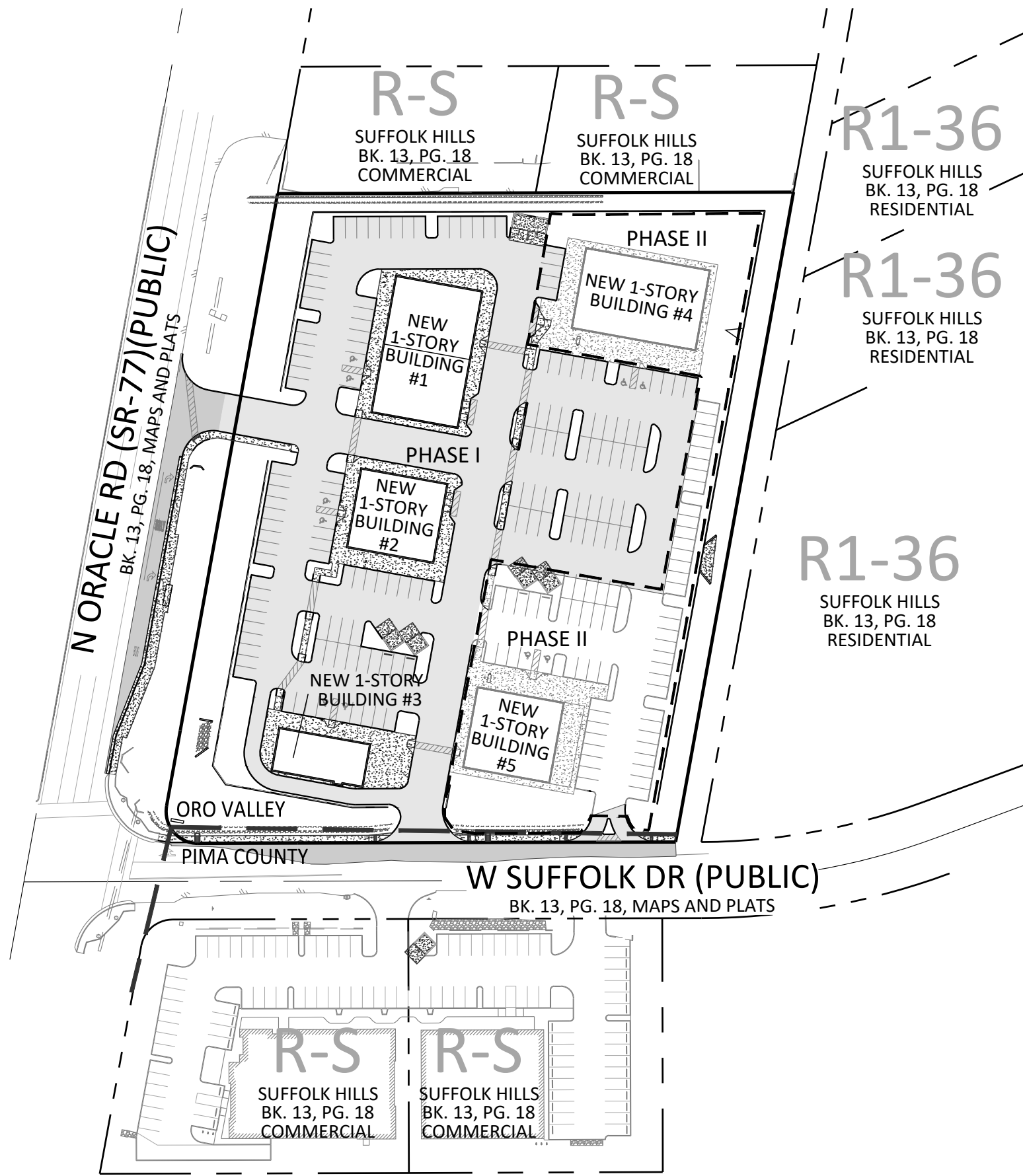
1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED THROUGHOUT ALL GROUP A, B, E, F, H, I, M, R, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION. APPROVED AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED THROUGHOUT ALL ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES USED AS MODEL DWELLINGS AND TOWNHOUSES WHICH EXCEED 3,600 SQUARE FEET IN FIRE-FLOW CALCULATION AREA HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

PARKING, LOADING, AND BICYCLE STORAGE CALCULATIONS

PAD/LOT NUMBER	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		PASSENGER DROP-OFF		BIKE PARKING CLASS I*		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
1	RESTAURANT	3700	10:1,000	37	40	1	1	0	0	0	1	1	0	0	2	2
1	RETAIL	4000	4:1,000	16	20	1	1	0	0	0	0	0	0	0	1	2
2	RESTAURANT	4480	10:1,000	45	45	2	2	0	0	0	1	1	0	0	2	2
3	RESTAURANT/DRIVE THRU	2600	15:1,000	39	39	2	2	0	0	0	0	0	0	0	2	2
4	OFFICE/MEDICAL SERVICE	6500	4.5:1,000	30	35	2	2	0	0	0	1	1	0	1	2	2
5	OFFICE/MEDICAL SERVICE	4550	4.5:1,000	21	29	2	2	0	0	0	0	0	1	1	1	2
TOTALS:		25830		188	208	10	10		0	0	3	3	1	2	10	12

* CLASS I BIKE PARKING HAS BEEN CALCULATED AT 10% OF CLASS II REQUIRED BICYCLE PARKING PER SECTION 27.7

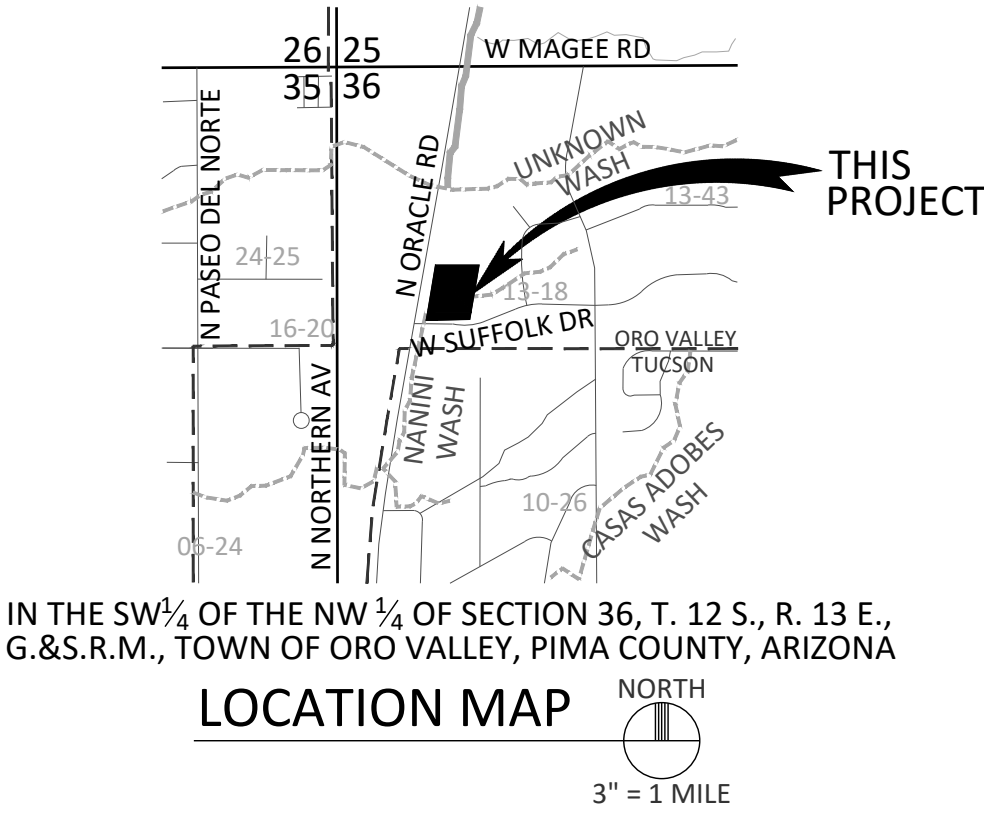
CONCEPTUAL SITE PLAN
for ORACLE ROAD ORO VALLEY
RETAIL CENTER
2001931 + 2001933



PROJECT OVERVIEW PLAN

SCALE: 1"=100'

EXISTING	PROPOSED	
		SUBJECT PROPERTY BOUNDARY
		RIGHT-OF-WAY
		ROADWAY CENTERLINE
		ZONE BOUNDARY
		CONTOUR
		SPOT ELEVATION
		CURB
		ASPHALT
		CONCRETE
		PAINT STRIPE
		RIPRAP
		WALL
		SIGN
		TRAFFIC LIGHT
		STORM DRAIN PIPE
		OVERHEAD ELECTRIC
		SEWER PIPE
		WATER PIPE
		UNKNOWN UTILITY
		100 YR. FLOOD PLAIN LIMIT



LEGEND

EXISTING	PROPOSED	
		POWER POLE
		ELECTRIC TRANSFORMER
		TELEPHONE PEDESTAL
		TRAFFIC LIGHT PULL BOX
		SEWER MANHOLE
		FIRE HYDRANT
		WATER METER
		BACKFLOW PREVENTER
		WATER VALVE
		SURVEY MONUMENT
		PARKING SPACE COUNT
		ZONING DIVISION
		SIGHT VISIBILITY TRIANGLE
		RIGHT-OF-WAY
		RECORDED; CALCULATED DISTANCE
		PAVEMENT (ASPHALT)
		CONCRETE
		FINISHED GRADE
		FINISHED FLOOR ELEVATION

SHEET INDEX

1. COVER SHEET
2. PHASING + INTERIM GRADING PLAN
3. SITE + UTILITIES PLAN
4. GRADING + DRAINAGE PLAN

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OWNER/DEVELOPER

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ATTN: MR. ANDREW CALL
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SITE ADDRESS

7630, 7636 AND APN #225-51-018A
ORO VALLEY, ARIZONA 85704

APPROVAL BY:

TOWN OF ORO VALLEY ENGINEER

DATE

NO. DATE REVISION DESCRIPTION BY



CYPRESS PROJECT NO: 20.031



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DATE: 12/08/20

SCALE: AS NOTED

C.I.: N/A

A PORTION OF LAND IN THE NW 1/4 OF SECTION 36, T. 12S., R.13E., G. & S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONCEPTUAL SITE PLAN for ORACLE ROAD
ORO VALLEY RETAIL CENTER

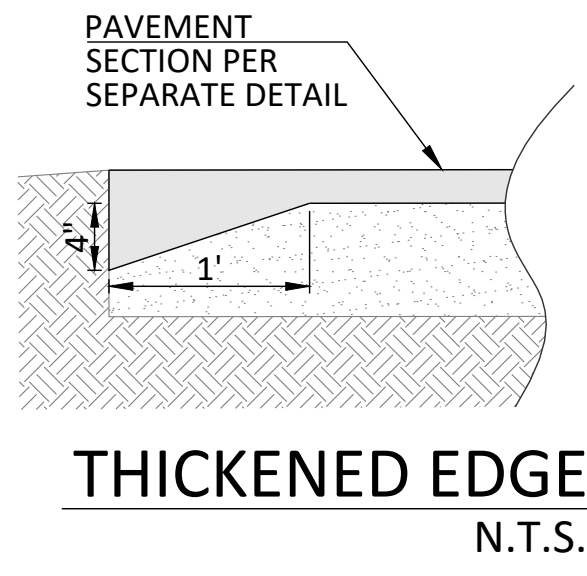
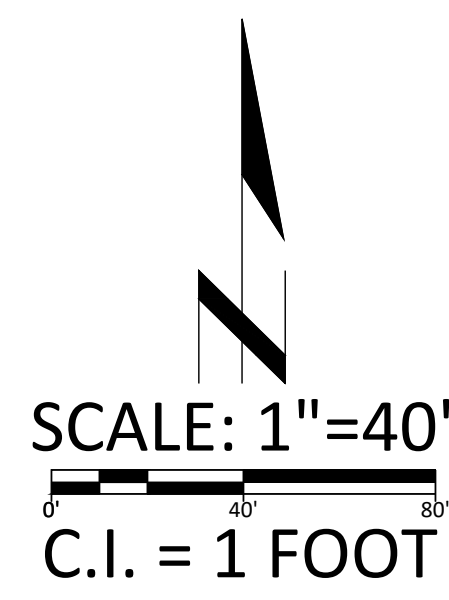
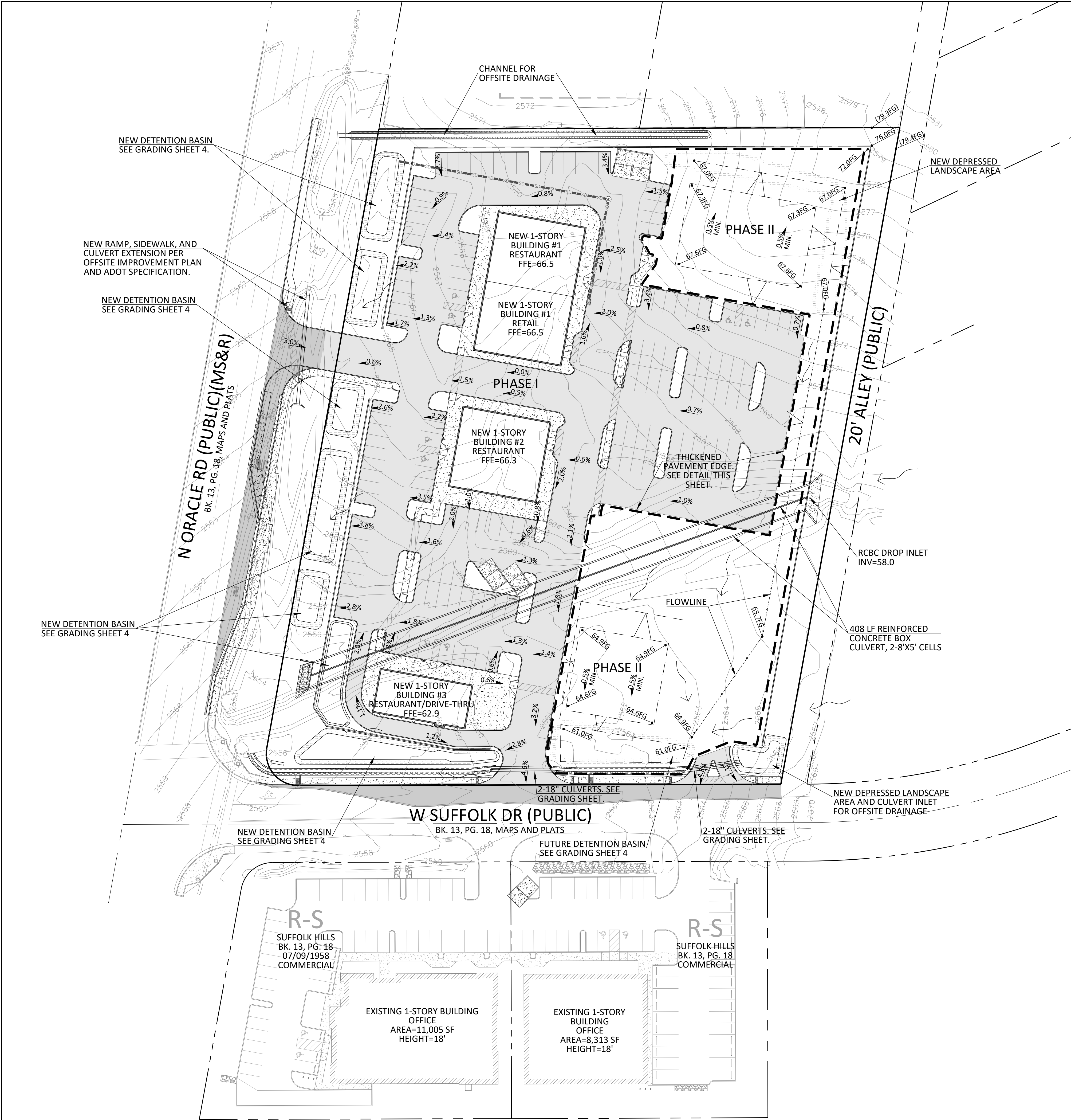
cover sheet

ORACLE ROAD ORO VALLEY RETAIL CENTER



2001931 + 2001933

1 OF 4



NEW DETENTION BASIN
SEE GRADING SHEET 4.

NEW RAMP, SIDEWALK, AND
CULVERT EXTENSION PER
OFFSITE IMPROVEMENT PLAN
AND ADOT SPECIFICATION.

NEW DETENTION BASIN
SEE GRADING SHEET 4

NEW DETENTION BASIN
SEE GRADING SHEET 4

NEW DETENTION BASIN
SEE GRADING SHEET 4

FUTURE DETENTION BASIN
SEE GRADING SHEET 4

R-S
SUFFOLK HILLS
BK. 13, PG. 18
07/09/1958
COMMERCIAL

R-S
SUFFOLK HILLS
BK. 13, PG. 18
COMMERCIAL

EXISTING 1-STORY BUILDING
OFFICE
AREA=11,005 SF
HEIGHT=18'

EXISTING 1-STORY BUILDING
OFFICE
AREA=8,313 SF
HEIGHT=18'



DATE: 12/08/20
SCALE: 1"=40'
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				THOMPSON THRIFT 3131 EAST CAMELBACK ROAD PHOENIX, ARIZONA 85016 ATTN: MR. ANDREW CALL PH: (602) 313-8633 E: acall@thompsonthrift.com
				SITE ADDRESS 7630, 7636 AND APN #225-51-018A ORO VALLEY, ARIZONA 85704

37624
KEVIN M. HALL
12/08/2020
ARIZONA U.S.A.

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CYPRESS CIVIL

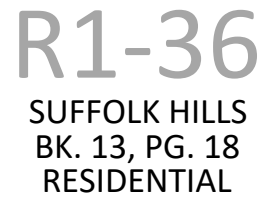
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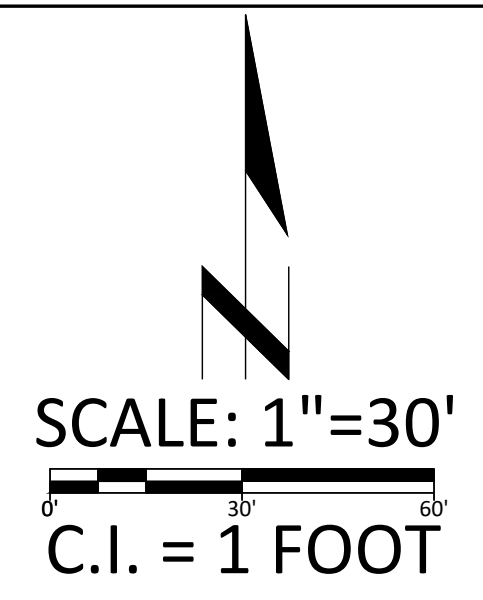
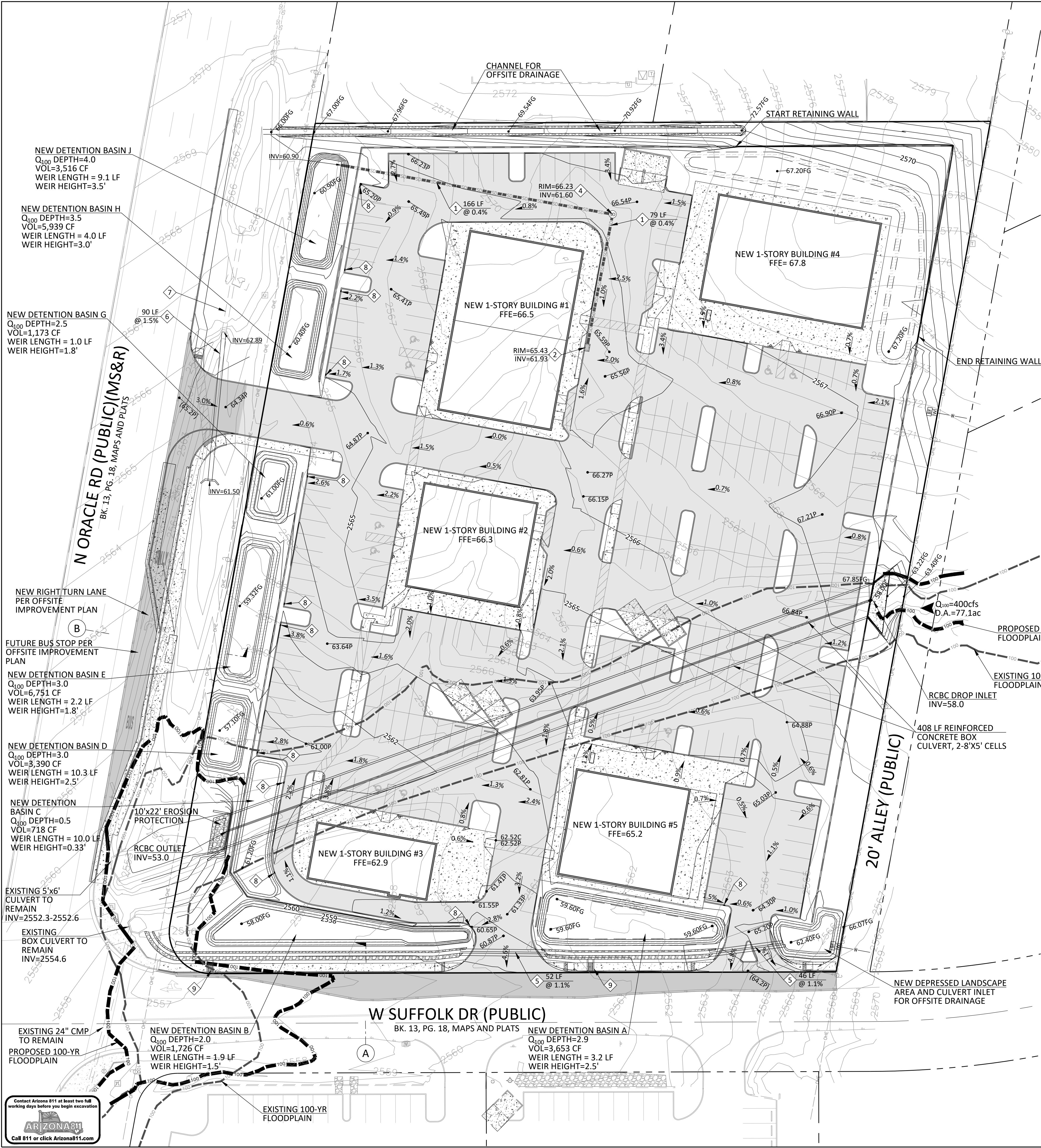
CONCEPTUAL SITE PLAN for ORACLE ROAD
ORO VALLEY RETAIL CENTER
phasing + interim grading plan

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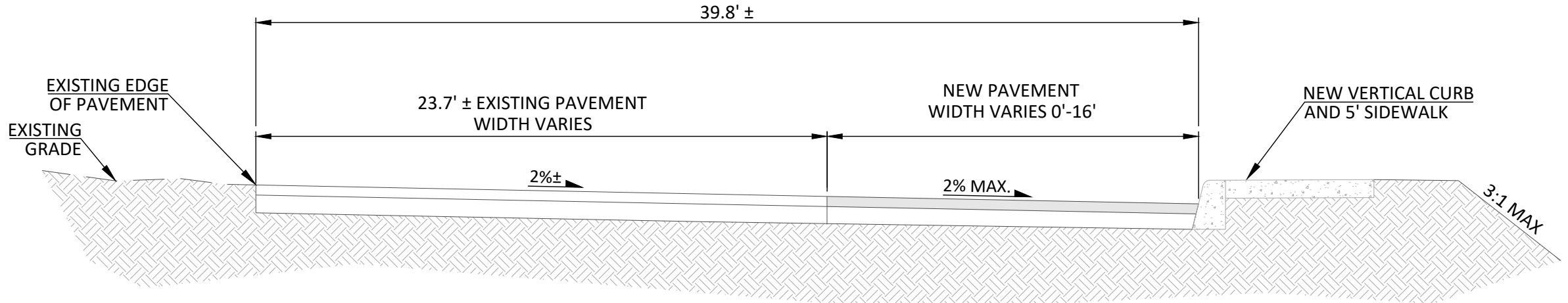
2001931 + 2001933

2
OF
4

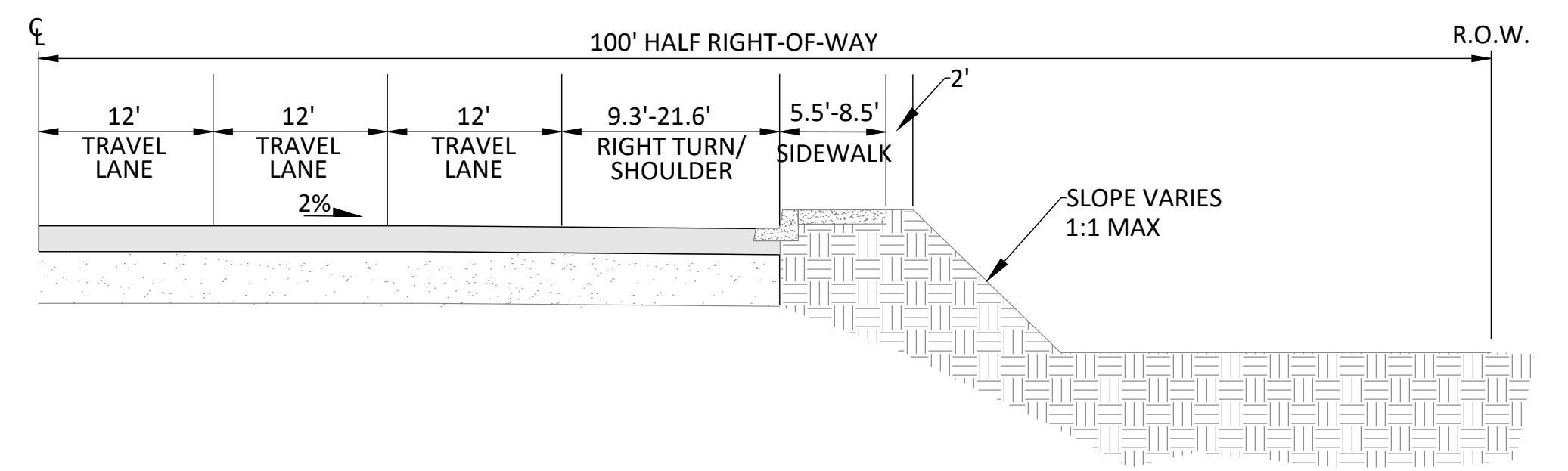




- STORM DRAIN KEYNOTES**
- 1 NEW 18" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - 2 NEW CATCH BASIN (TYPE 4, SINGLE) PER PAG DETAIL 309 WITH ONE EF-1 GRATE AND FLOGARD +PLUS CATCH BASIN INSERT FILTER FF-24060. SEE KEYNOTE FOR RIM AND INVERT.
 - 3 NEW CATCH BASIN (TYPE 4, DOUBLE) PER PAG DETAIL 309 WITH TWO EF-1 GRATES AND FLOGARD +PLUS CATCH BASIN INSERT FILTERS FF-24060. SEE KEYNOTE FOR RIM AND INVERT.
 - 4 NEW STORM DRAIN MANHOLE PER STD. DETAIL. SEE KEYNOTE FOR RIM AND INVERT.
 - 5 TWO (2) NEW 18" CULVERTS.
 - 6 NEW 30" CULVERT PER OFFSITE IMPROVEMENT PLAN AND ADOT SPECIFICATION.
 - 7 EXISTING 30" CULVERT TO REMAIN.
 - 8 DEPRESSED 1' CURB OPENING.
 - 9 NEW SIDEWALK SCUPPER (TYPE II) PER PAG DETAIL 205.



A CROSS-SECTION DETAIL
SUFFOLK DR N.T.S



B TYPICAL CROSS SECTION
(N ORACLE RD-SR77) N.T.S.

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