

GENERAL NOTES

1. THE GROSS AREA OF THIS DEVELOPMENT IS 0.88 ACRES (38,424 S.F.).
2. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
3. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
4. ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT ARE PER THE EL CONQUISTADOR PAD #1-AREA D OV12-02-06, WILL BE A CONDITION OF DEVELOPMENT. CASE NUMBER OV12-02-06 APPLIES TO THE APPROVED 2003 MASTER DEVELOPMENT PLAN.
5. ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, PER PAD #1 OV12-02-06, WILL BE A CONDITION OF DEVELOPEMENT.
6. ASSURANCES FOR WATER SERVICES, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO ALL GRADING EXCEPTION CONDITIONS FROM 2003 CASE NUMBER OV12-02-06A.
2. THE MAXIMUM ALLOWED BUILDING HEIGHT FOR THIS DEVELOPMENT IS 3 STORIES/38 FEET.
3. THE PROPOSED BUILDING HEIGHT IS 3 STORIES/38 FEET.
4. THE TOTAL AMOUNT OF FUNCTIONAL OPEN SPACE REQUIRED FOR THIS PROJECT IS 4,800 SF.
5. THE TOTAL AMOUNT OF FUNCTIONAL OPEN SPACE PROVIDED WITHIN THIS PROJECT IS 4,800 S.F.
6. THE TOTAL AMOUNT OF LANDSCAPED AREA WITHIN THIS PROJECT IS 6,220.1 S.F.
7. THE LANDSCAPE BUFFERYARD (B) FOR THIS PROJECT IS:  
NORTH (LAMBERT LANE) = 25' MINIMUM.  
THE BUILDING SETBACKS FOR THIS PROJECT ARE:  
PUBLIC STREET = 90'  
ADJACENT PAD #1 = 25'
8. EXISTING ZONING IS PAD #1 EL CONQUISTADOR COUNTRY CLUB-AREA D.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
10. THE APPROXIMATE AREA OF DISTURBANCE IS 0.80 ACRES.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 15 MPH.
2. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE BEFORE ANY WATER INFRASTRUCTURE WORK BEGINS.
4. ORO VALLEY WATER WILL BE THE WATER SERVICE PROVIDER.

GENERAL UTILITY GENERAL NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME OF 3600 SQUARE FEET OR LESS WHEN REQUIRED FIRE FLOW OF 1000 GPM IS NOT WITHIN 600 FEET OF THE HOME. HOMES OF 3601+ SQUARE FEET SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THE REQUIRED FIRE FLOW PRESCRIBED BY IFC TABLE B105.1 IS NOT AVAILABLE WITHIN 600 FEET OF THE HOME. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

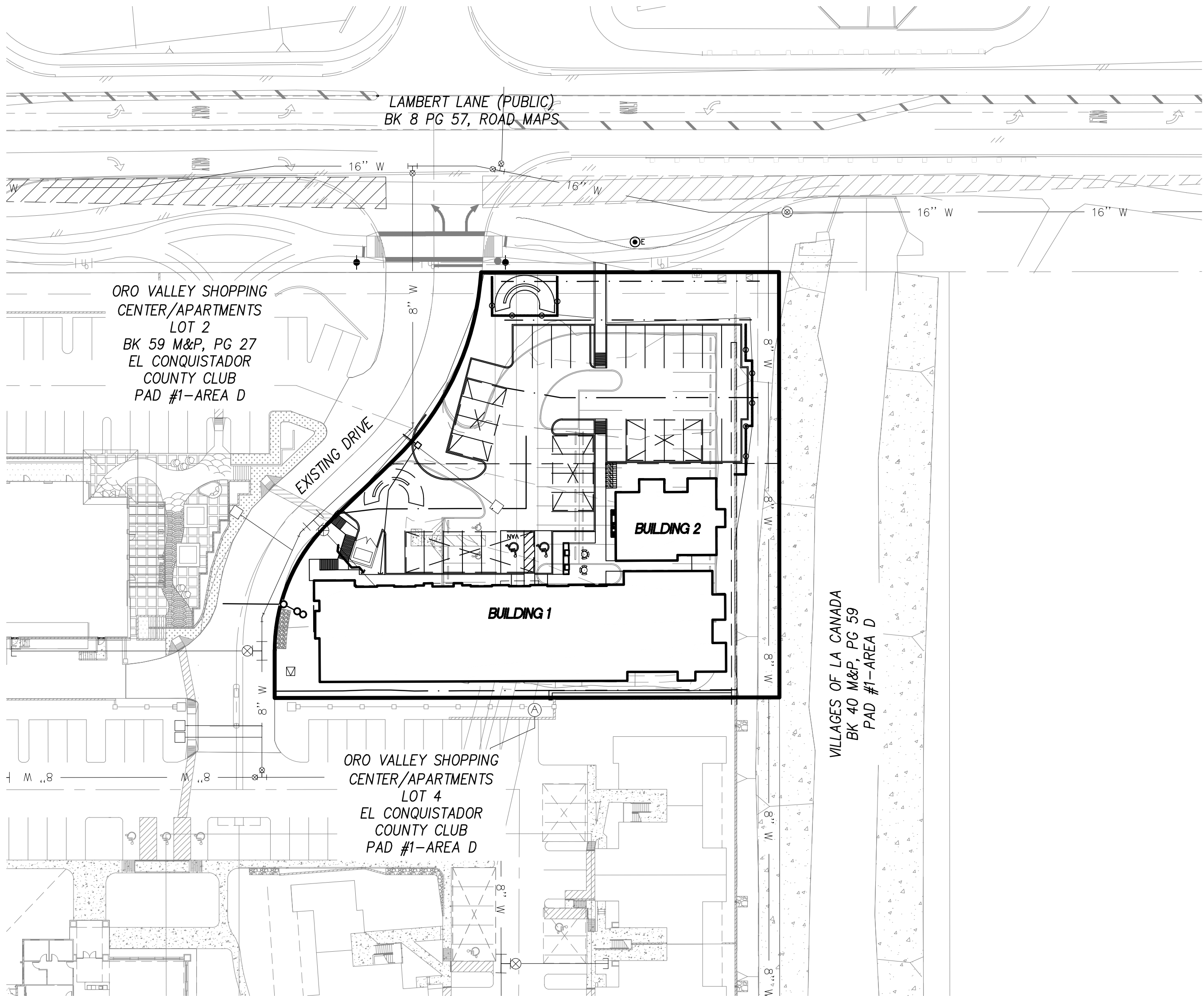
PERMITTING DIVISION – BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
  - 2018 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
  - 2017 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS
  - 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES
  - GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
  - 2012 TOWN OF ORO VALLEY POOL CODE
  - PAG STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
  - 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
  - 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
  - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
  - ORO VALLEY TOWN CODE, CURRENT REVISED

PARKING CALCULATIONS

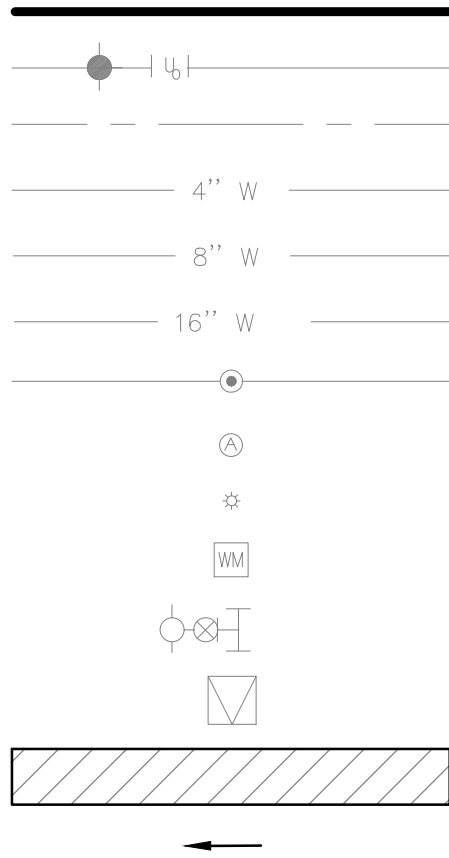
- PARKING REQUIRED  
2 SPACES PER UNIT X 16 UNITS = 32 SPACES  
1 GUEST SPACE PER 4 UNITS = 4 SPACES  
TOTAL REQUIRED = 36 SPACES  
  
ADA REQUIRED = 2 PER 25 SPACES.
- PARKING PROVIDED  
36 SPACES, 2 OF WHICH ARE ADA STALLS..

CONCEPTUAL SITE PLAN  
ORO VISTA APARTMENTS  
2002073



SITE PLAN

LEGEND



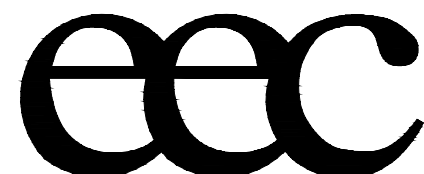
- PROJECT BOUNDARY  
EXISTING OVERHEAD UTILITY W/ UTILITY POLE  
CENTERLINE  
EXISTING 4" WATERLINE AND VALVE  
EXISTING 8" WATERLINE AND VALVE  
EXISTING 16" WATERLINE AND VALVE  
EXISTING SANITARY SEWER AND MANHOLE  
EXISTING AIR RELEASE VALVE  
EXISTING LIGHT POLE  
EXISTING WATER METER  
EXISTING FIRE HYDRANT  
EXISTING ELECTRIC  
PROPOSED OPEN SPACE  
INDICATES DIRECTION OF FLOW

OWNER/DEVELOPER

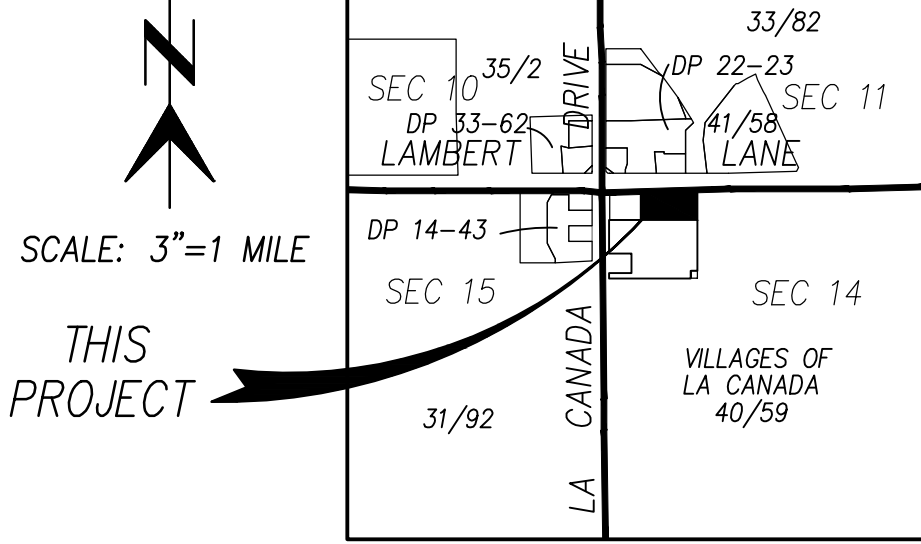
ORO VISTA SHOPPING CENTER  
THE BEZTAK COMPANIES  
31731 NORTHWESTERN HWY, SUITE 250W  
FARMINGTON HILLS, MI 48334  
ATTN: MARK HIGLEN  
EMAIL: mhighlen@beztak.com  
PHONE: (248) 737-6175

SHEET INDEX

- |         |                       |
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| SHEET 1 | COVER SHEET AND NOTES |
| SHEET 2 | PLAN SHEET            |
| SHEET 3 | DETAIL SHEET          |

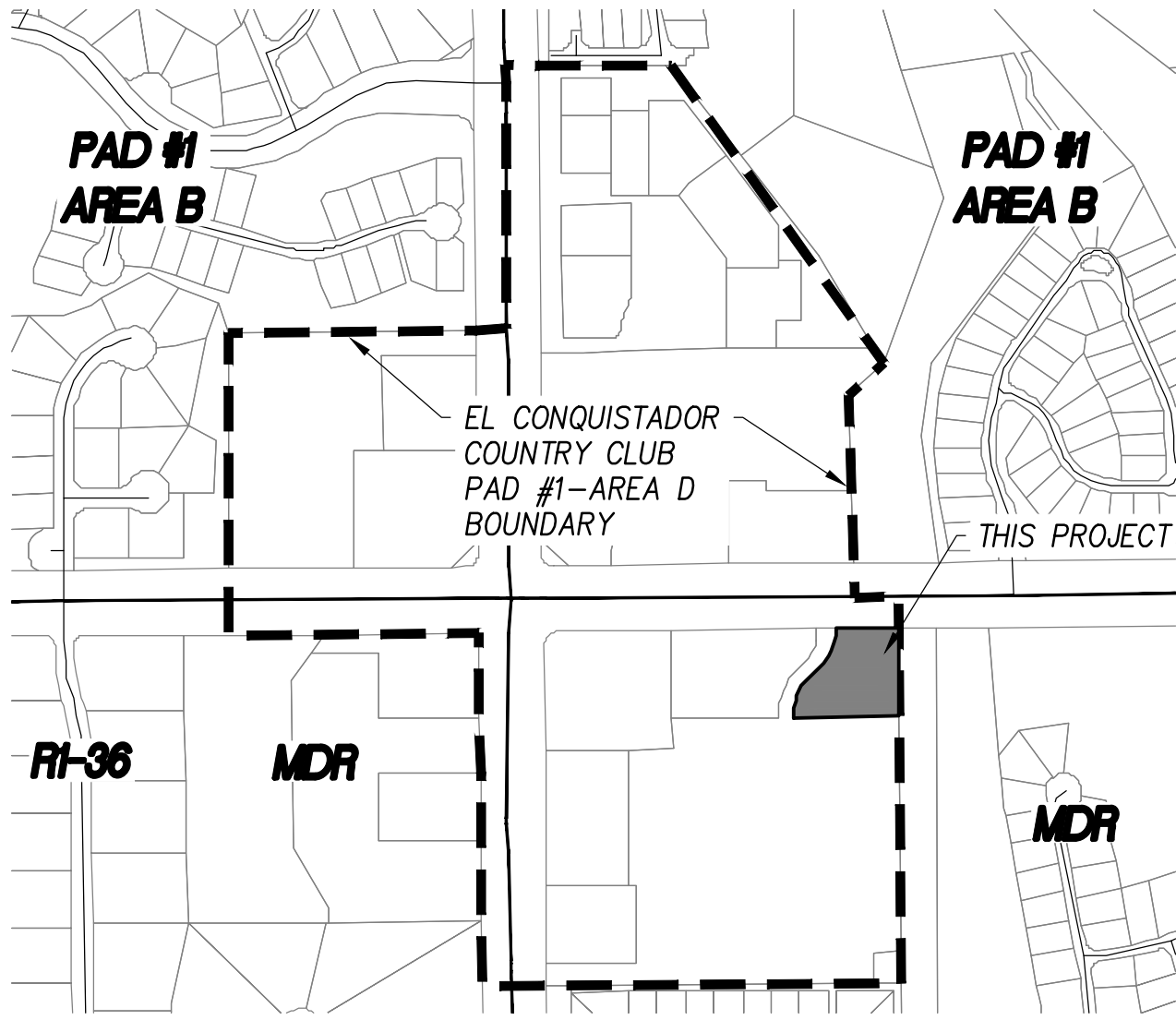


Engineering and Environmental Consultants, Inc.  
555 E River Road | Tucson, Arizona 85704  
Tel 520.321.4625 | Fax 520.321.0333



LOCATION MAP

PORTION OF SECTION 14,  
T.12 S., R.13 E.  
G. & S.R.M., PIMA COUNTY, ARIZONA



PAD MAP

ENGINEER

ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.  
555 E. RIVER ROAD, SUITE 301  
TUCSON, AZ 85704  
ATTN: STEFANIE THRUSH, P.E.  
EMAIL: sthrush@eccc.com  
PHONE: (520) 321-4625  
FAX: (520) 321-0333

2002073  
CONCEPTUAL SITE PLAN  
FOR

ORO VISTA APARTMENTS

A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,  
SECTION 14, T 12 S, R 13 E, G&SRM,  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

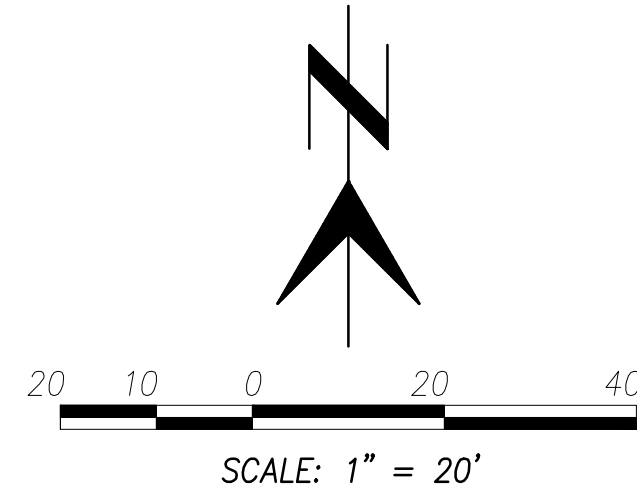
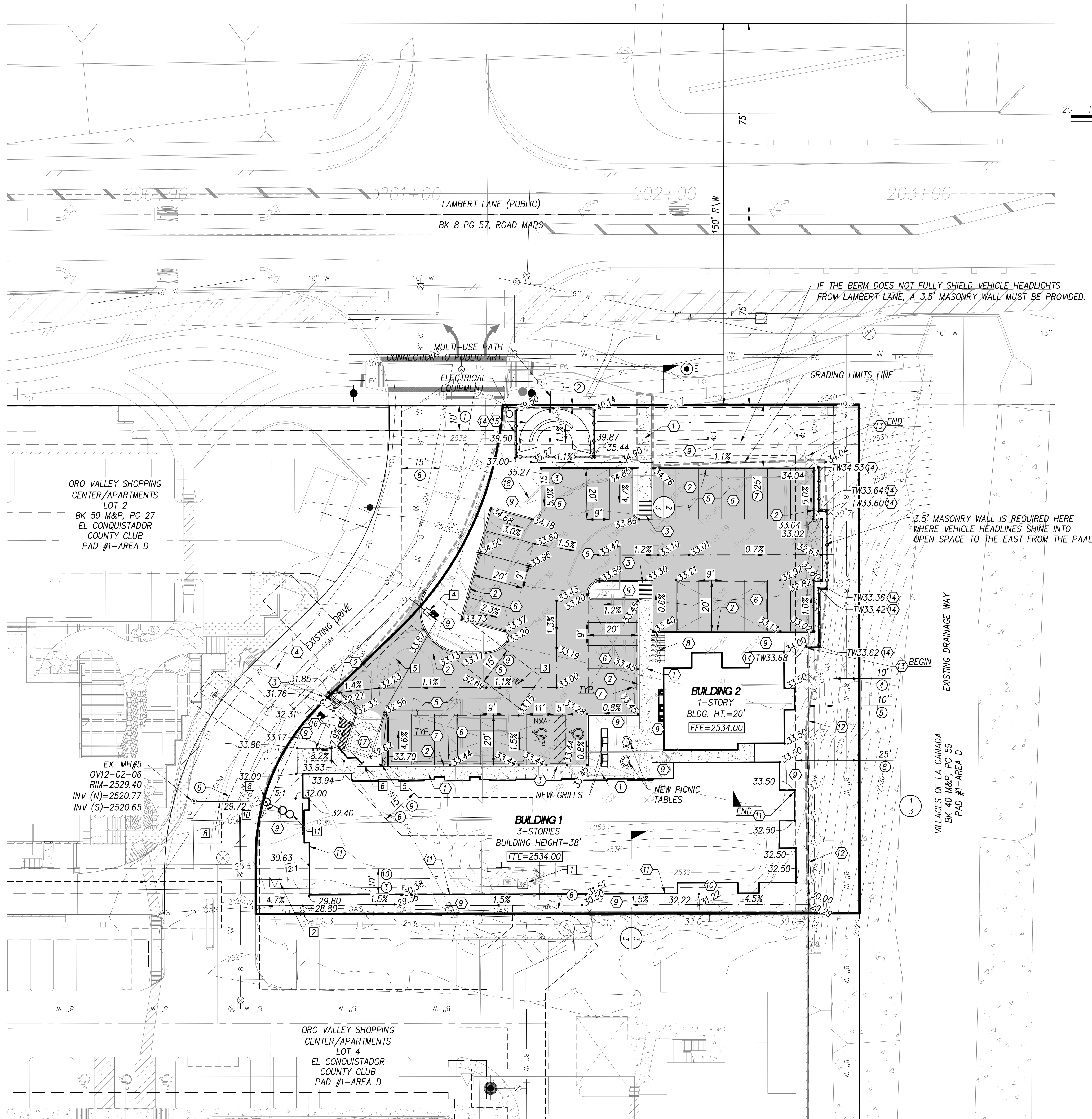
CONTOUR INTERVAL = 1 FOOT  
MARCH 2021  
EEC JOB NO 20004

REF CASE: OV12-02-06  
SCALE: 1"=40'  
SHEET 1 OF 3

CONCEPTUAL SITE PLAN: ORO VISTA APARTMENTS



N:\20004 - Oro Vista Apartments\950 CAD\955 DWG\CSF\20004-csf-02.dwg Plotter: Mar 24, 2021 - 12:05pm strush



## SITE KEYNOTES

- 10' PUBLIC TELEPHONE EASEMENT DKT. 7044, PG. 819.
- 1' PUBLIC NO ACCESS EASEMENT BK 59, PG 27.
- PUBLIC UTILITY EASEMENT DKT. 12650, PG. 2014.
- 10' PUBLIC FOOTHILLS WATER EASEMENT DKT. 7926, PG. 1733.
- 10' PUBLIC TEP EASEMENT DKT. 7719, PG. 1644.
- PUBLIC INGRESS/EGRESS & UTILITY EASEMENT DKT. 13307, PG. 3455.
- 25' BUFFERYARD
- 25' BUILDING SETBACK.
- VACATE WATER EASEMENT AND REMOVE WATER LINE.
- VACATE ELECTRIC EASEMENT.

## GRADING KEYNOTES

- CONCRETE SIDEWALK PER PAG SD 200
- CONCRETE CURB W/6" REVEAL, TYPE 2, PER PAG SD 209
- CURB ACCESS RAMP WITH TRUNCATED DOMES PER PAG SD 207.
- EXISTING CROSSWALK.
- PROPOSED PAVEMENT.
- PROPOSED PARKING.
- PROPOSED CONCRETE WHEEL STOPS.
- BICYCLE SPACES.
- LANDSCAPE AREA (TYP.)
- NEW HARDSCAPE PER ARCHITECTURAL PLAN.
- PROPOSED STEM WALL, HEIGHT PER PLAN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING RETAINING WALL TO BE REMOVED AND REPLACED WITH RELOCATED NEW RETAINING WALL.
- PROPOSED RETAINING WALL, HEIGHT PER PLAN, WITH HANDRAIL ON TOP OF WALL PER PAG SD 105.
- EXISTING PUBLIC ART/MONUMENT TO BE RELOCATED IN LOCATION SHOWN.
- PROPOSED RAMP AND HANDRAIL, SEE ARCHITECT PLANS FOR DETAILS.
- PROPOSED REFUSE ENCLOSURE.
- EXISTING SIGN TO BE REMOVED.

## UTILITY KEYNOTES

- EXISTING TRANSFORMER TO BE RELOCATED
- RELOCATED ELECTRIC TRANSFORMER.
- EXISTING WATER METER TO BE RELOCATED. SHORTEN EXISTING SERVICE TO RELOCATED METER LOCATION. INSTALL BACKFLOW PREVENTER.
- RELOCATED WATER METER.
- PROPOSED PRIVATE WATER SERVICE LINE, STUB 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- REMOVE EXISTING FIRE LINE BACK TO 5' FROM BUILDING AND REROUTE AROUND NEW TRASH ENCLOSURE. INSTALL BACKFLOW PREVENTER. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- CONNECT NEW HCS TO EXISTING MH#5 PER PC RWRD SD 402. NEW INV=2521.00.
- PROPOSED PRIVATE 28.44 LF HCS @ 2.00% SLOPE
- PROPOSED PRIVATE SINGLE CLEANOUT, HCS INV=2521.57.
- PROPOSED PRIVATE 10.33 LF HCS @ 2.00% SLOPE.
- PROPOSED DOUBLE CLEANOUT 5' FROM BUILDING, HCS INV=2521.78, SEE PLUMBING PLANS FOR CONTINUATION.



EXPIRES 3/31/2023



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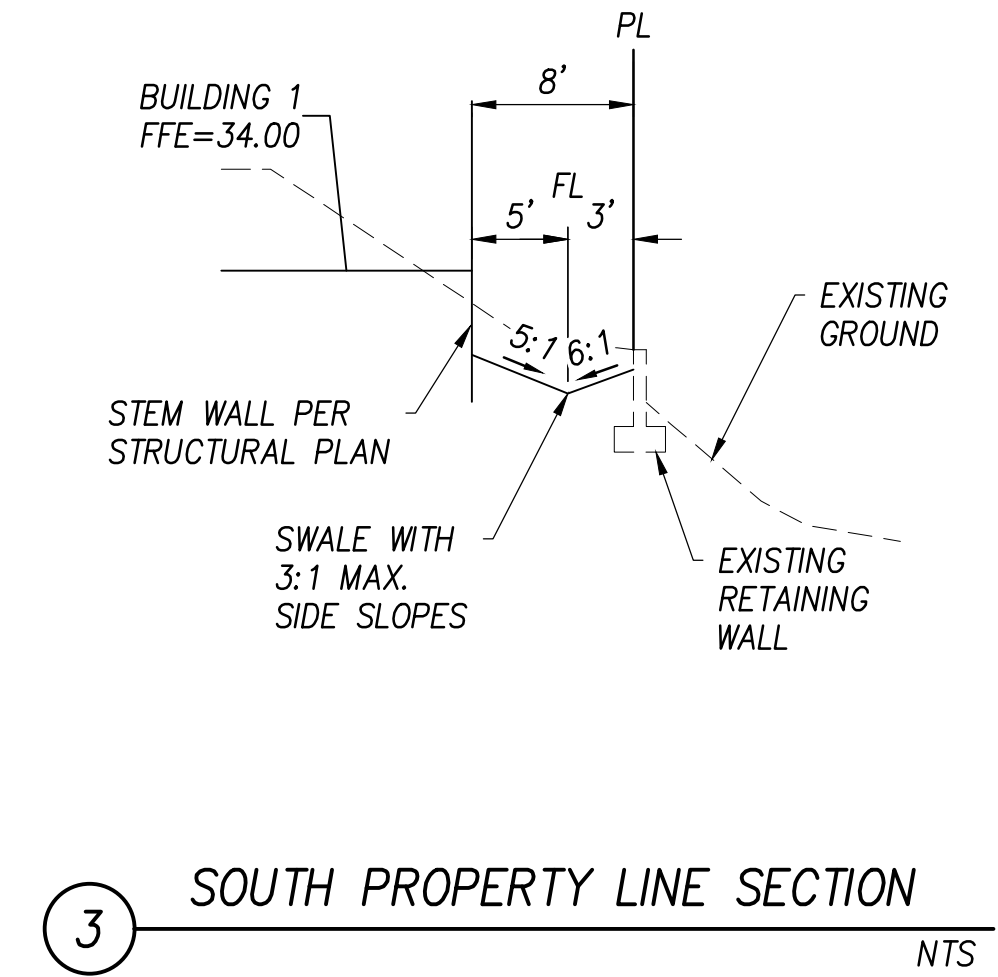
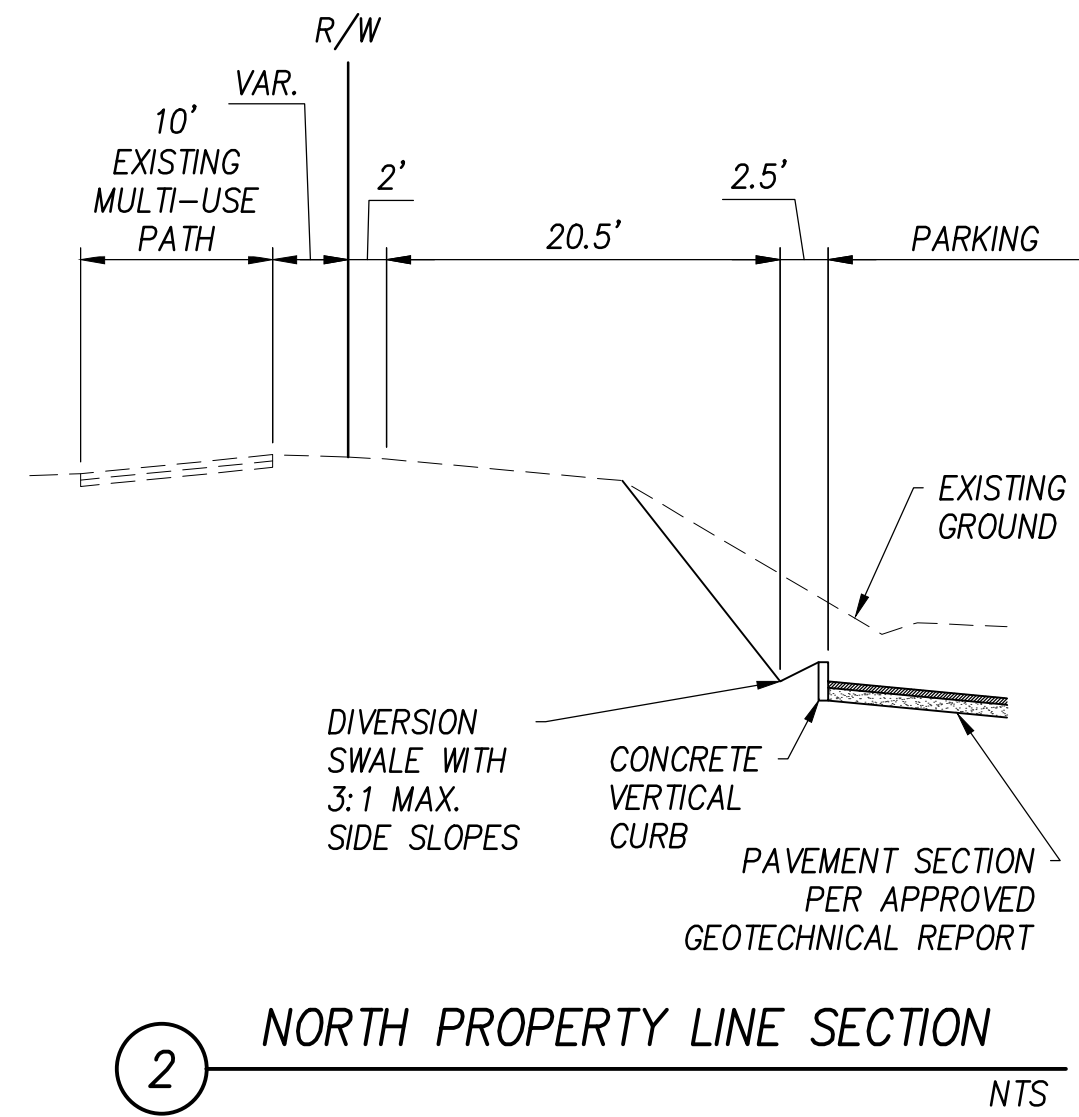
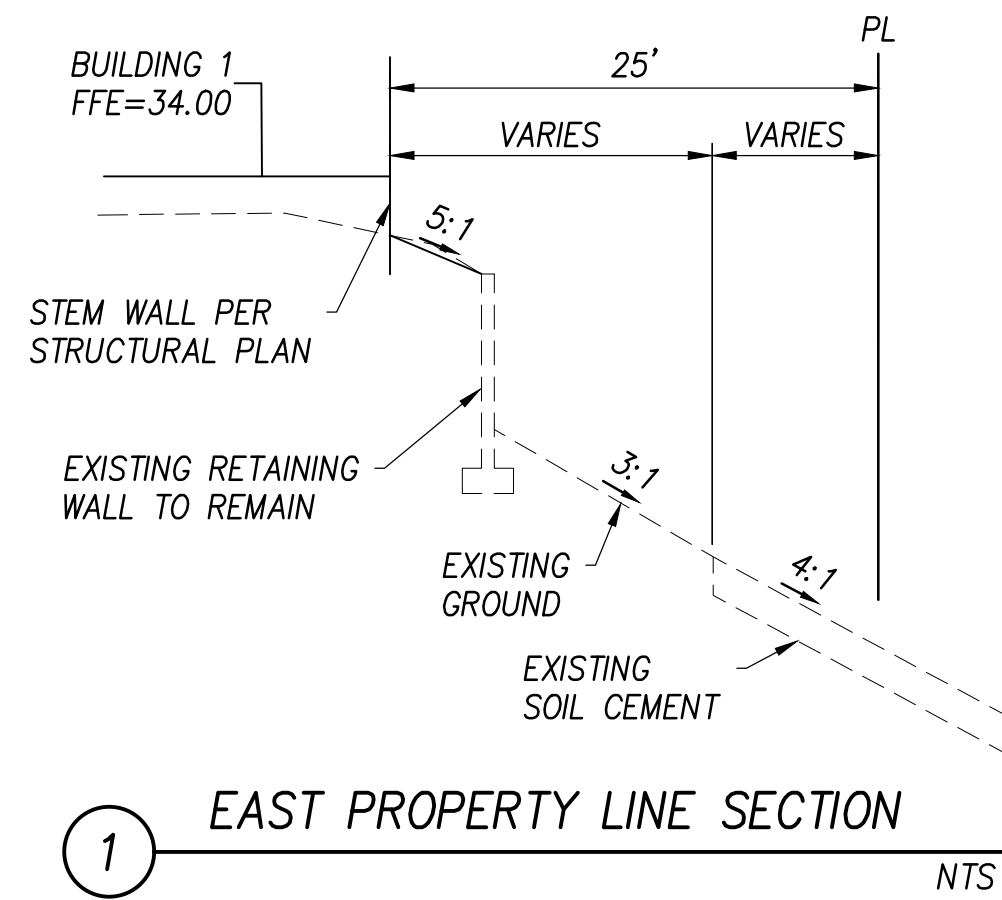
2002073  
CONCEPTUAL SITE PLAN  
FOR  
ORO VISTA APARTMENTS  
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,  
SECTION 14, T 12 S, R 13 E, G&SRM,  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL = 1 FOOT  
MARCH 2021  
EEC JOB NO 20004

REF CASE: OV12-02-06  
SCALE: 1"= 20'  
SHEET 2 OF 3

CONCEPTUAL SITE PLAN: ORO VISTA APARTMENTS

NO.	DATE	REVISION	BY	CH	APPR



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civil engineering • land development  
surveying • environmental services  
staking • flood control and drainage  
transportation

2002073  
CONCEPTUAL SITE PLAN  
FOR  
ORO VISTA APARTMENTS  
A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,  
SECTION 14, T 12 S, R 13 E, G&SRM,  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL = 1 FOOT  
MARCH 2021  
EEC JOB NO 20004

REF CASE: 0V12-02-06  
SCALE: AS NOTED  
SHEET 3 OF 3

CONCEPTUAL SITE PLAN: ORO VISTA APARTMENTS



# ORO VISTA APARTMENTS

## Conceptual Landscape Plan

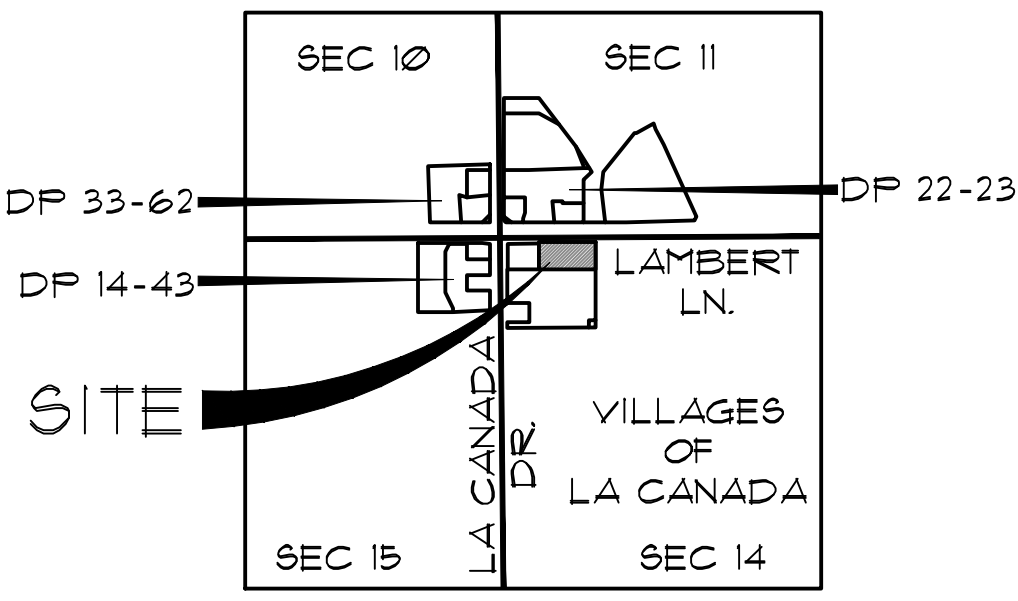
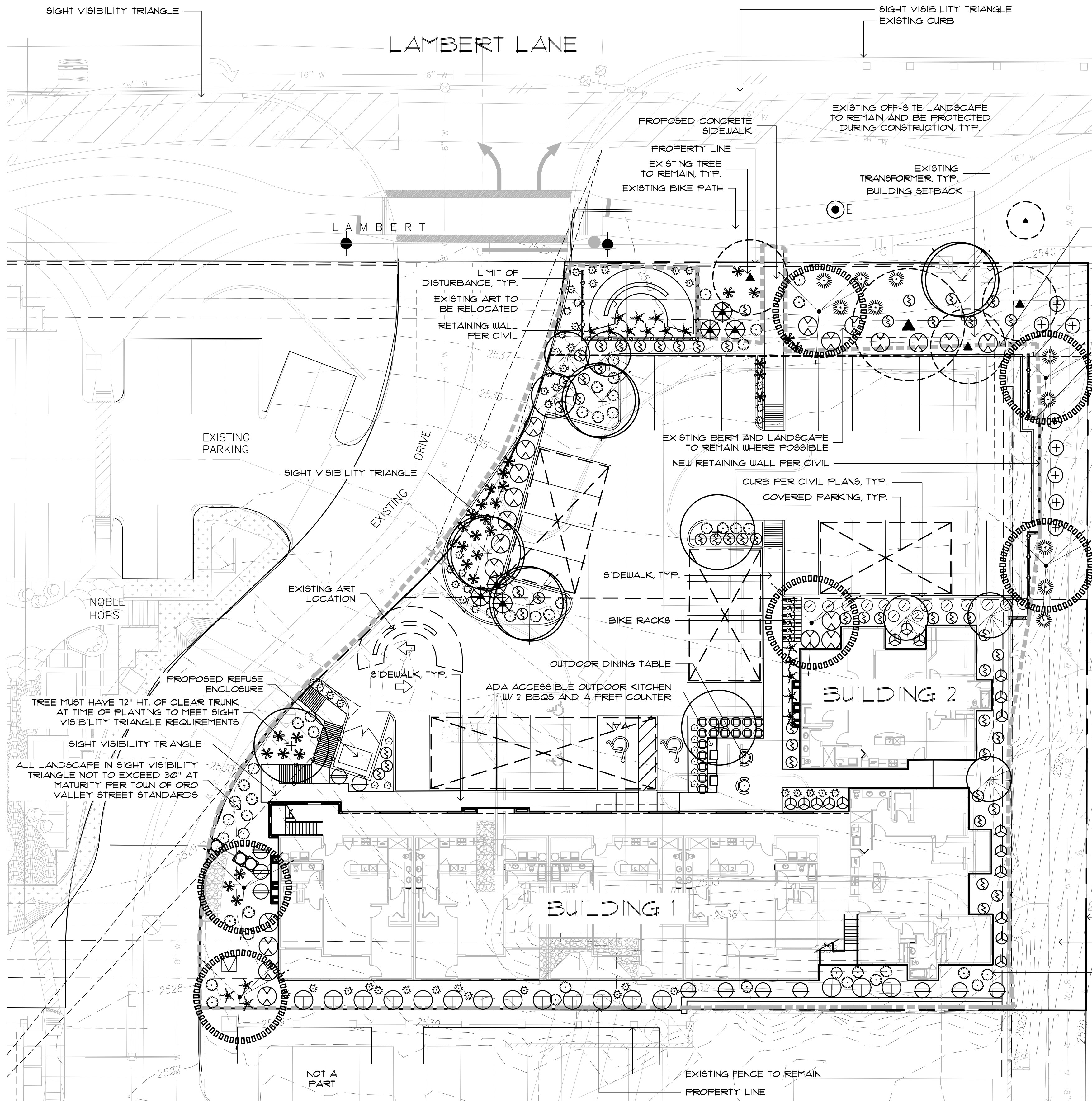
2002073

### LANDSCAPE PLAN REQUIRED GENERAL NOTES

- GROSS AREA OF DEVELOPMENT IN ACRES - .28 AC
- TOTAL ACRES OF GRADED AREA - .11 AC
- TOTAL ACRES OF UNDISTURBED AREA - .11 AC
- TOTAL AMOUNT OF OPEN SPACE REQUIRED AND PROVIDED (AS DEFINED IN CHAPTER 31, DEFINITIONS & EL CONQUISTADOR COUNTRY CLUB FUD)  
REQUIRED: 4,800 SF  
PROVIDED: 8,126 SF
- THE LANDSCAPE BUFFERYARD (B) FOR THIS PROJECT IS:  
NORTH (LAMBERT LANE) = 25' MINIMUM
- THE REQUIRED SETBACKS FOR THIS PROJECT ARE:  
PUBLIC STREET = 30'  
ADJACENT PAD #1 = 25'
- ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT ARE PER THE EL CONQUISTADOR PAD #1-AREA D OV12-02-06, WILL BE A CONDITION OF DEVELOPMENT
- ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, PER PAD #1 OV12-02-06 EL CONQUISTADOR COUNTRY CLUB, WILL BE A CONDITION OF DEVELOPMENT
- "LANDSCAPE TO CONFORM TO ORO VALLEY LANDSCAPE CODE"
- "MITIGATION OF SURVEYED PLANTS IN THE NATIVE PLAN PRESERVATION PLAN WILL BE INCORPORATED IN THE LANDSCAPE DESIGN."
- "SHRUB LOCATIONS ARE PRELIMINARY"

### CONCEPTUAL GENERAL NOTES

- CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWINGS ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
- ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN OR SALVAGED FROM ON SITE. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE INSTALLED PER TOWN REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER TOWN REQUIREMENTS.
- ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
- THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.
- ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
- FINAL LOT CONFIGURATION MAY VARY AT THE TIME OF FINAL PLAT APPROVAL.
- ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.



LOCATION MAP  
SCALE: 3"=1 MILE

OWNER / DEVELOPER  
ORO VISTA SHOPPING CENTER  
THE BEZTAK COMPANIES  
31731 NORTHWESTERN HWY, SUITE 250W  
FARMINGTON HILLS, MI 48334  
ATTN: MARK HIGLEN  
EMAIL: MHIGLEN@BEZTAK.COM  
PHONE: (248) 731-6175

### PLANT SCHEDULE

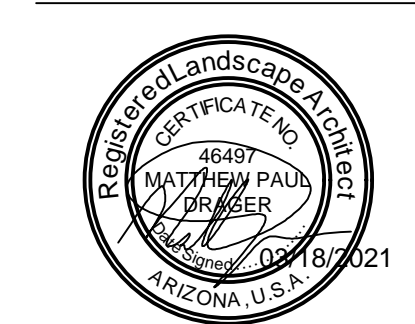
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WATER NEEDS
TREES					
(Symbol)	Acacia willardiana	Palo Blanco	3	36" Box	1-2
(Symbol)	Cercidium floridum	Blue Palo Verde	6	36" Box	2-3
(Symbol)	Cordia parvifolia	Littleleaf Cordia	6	15 Gallon	1-2
(Symbol)	Prosopis velutina	Velvet Mesquite	4	36" Box	2
Existing Tree to Remain					
ACCENTS + VINES					
(Symbol)	Agave victoriae-reginae	Queen Victoria Agave	31	5 Gallon	1-2
(Symbol)	Dasylirion wheeleri	Desert Spoon	10	5 Gallon	1
(Symbol)	Hesperaloe funifera	Giant Hesperaloe	6	5 Gallon	1-2
(Symbol)	Hesperaloe parviflora	Red Yucca	17	5 Gallon	1-2
SHRUBS					
(Symbol)	Calliandra hybrid 'Sierra Star'	Red Fairy Duster	21	5 Gallon	1
(Symbol)	Dodonaea viscosa	Hopsseed Bush	12	5 Gallon	1-2
(Symbol)	Haplopappus laricifolius	Turpentine Bush	53	5 Gallon	1
(Symbol)	Justicia spicigera	Mexican Honeysuckle	17	5 Gallon	3
(Symbol)	Myrtus communis 'Compacta'	Compact Myrtle	17	5 Gallon	3
(Symbol)	Senna wislizenii	Shrubby Cassia	8	5 Gallon	2
(Symbol)	Simmondsia chinensis	Jojoba	16	5 Gallon	1-2
GROUND COVERS					
(Symbol)	Abronia villosa	Sand Verbena	51	5 Gallon	1
(Symbol)	Baileya multiradiata	Desert Marigold	48	5 Gallon	1-2
(Symbol)	Lantana montevidensis	Trailing Lantana	9	5 Gallon	3-4
(Symbol)	Rosemarinus officinalis 'Huntington Carpet'	Prostrate Rosemary	14	5 Gallon	2-3
MISCELLANEOUS					
(Symbol)	DECOMPOSED GRANITE - SIZE AND COLOR TO MATCH EXISTING 2" DEPTH IN ALL PLANTING AREAS (TYP)				

- EXISTING RETAINING WALL TO REMAIN
- PROPERTY LINE
- ALL EXISTING PLANT MATERIAL EAST OF EXISTING RETAINING WALL TO REMAIN IN PLACE AND BE PROTECTED DURING CONSTRUCTION
- BUILDING SETBACK
- APPROXIMATE WATERING NEEDS
- NO SUPPLEMENTAL IRRIGATION ONCE ESTABLISHED.
  - ONCE A MONTH DURING THE GROWING SEASON ONCE ESTABLISHED.
  - TWICE A MONTH DURING THE GROWING SEASON ONCE ESTABLISHED.
  - ONCE A WEEK DURING THE GROWING SEASON ONCE ESTABLISHED.

BUFFER YARD 'B' TABLE (141 LF OF STREET FRONTAGE)		
	REQUIRED	PROVIDED
TREES (4/100 LF)	6	6
SHRUBS / CATCUS (7/100 LF)	10	24
ACCENTS / CATCUS (12/100 LF)	17	19



Collaborative V  
Design Studio Inc.  
7116 East 1st Ave. #103  
Scottsdale, AZ 85251  
office: 480-347-0590  
fax: 480-656-6012  
attn: scott heffernan  
scott@collaborativestudio.com



EXPIRES 06/30/2022

## CONCEPTUAL LANDSCAPE PLAN ORO VISTA APARTMENTS ORO VALLEY, ARIZONA

DESIGNED BY: PV/SH  
DRAWN BY: SH  
CHECKED BY: PV/MD  
DATE: MARCH 22, 2021  
REVISED:

ORO VISTA APARTMENTS