

ORO VISTA APARTMENTS

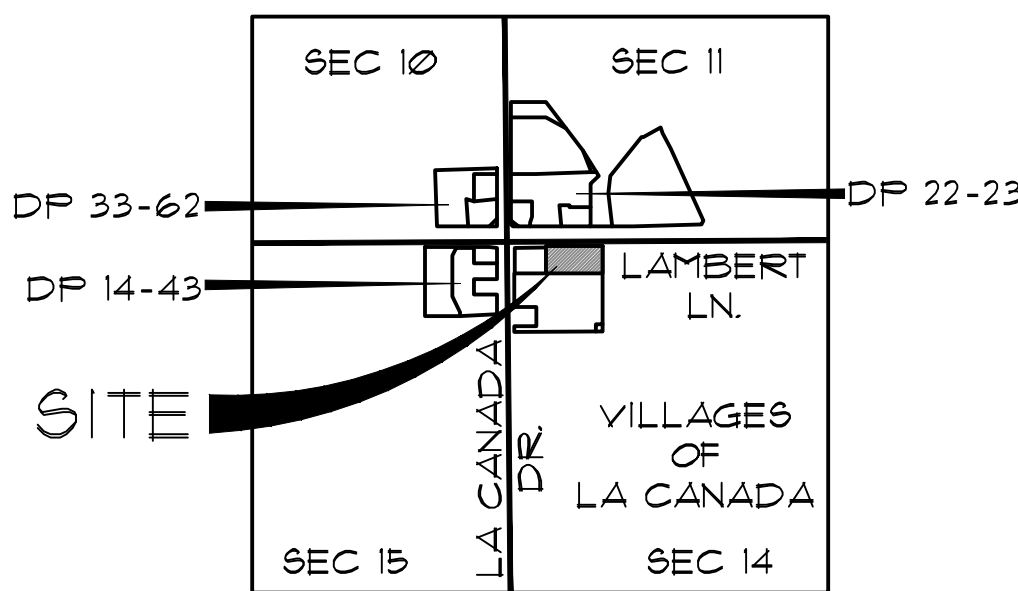
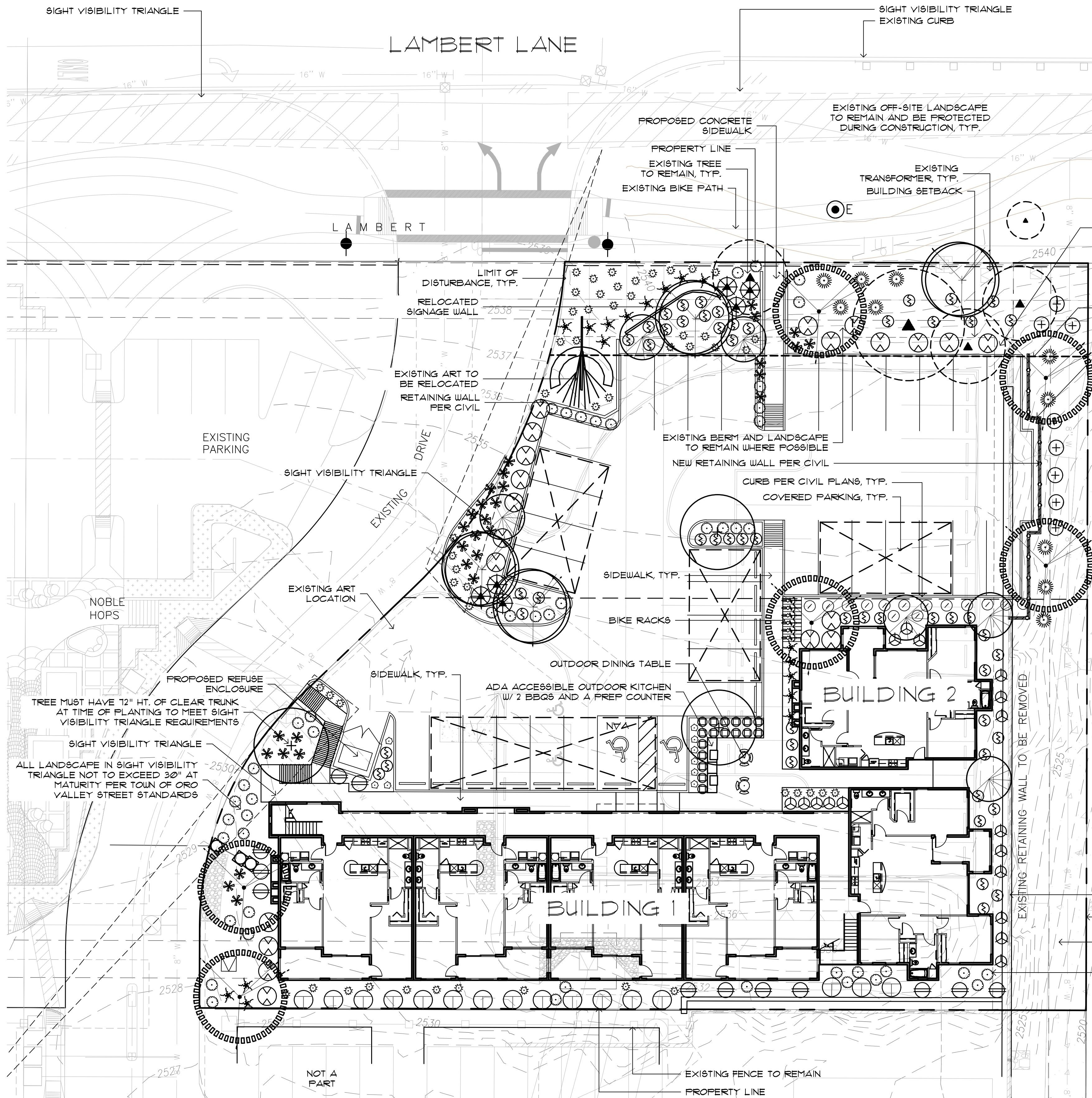
Landscape Plan 2002073

LANDSCAPE PLAN REQUIRED GENERAL NOTES

1. GROSS AREA OF DEVELOPMENT IN ACRES - .28 AC
2. TOTAL ACRES OF GRADED AREA - .11 AC
3. TOTAL ACRES OF UNDISTURBED AREA - .11 AC
4. TOTAL AMOUNT OF OPEN SPACE REQUIRED AND PROVIDED (AS DEFINED IN CHAPTER 31, DEFINITIONS & EL CONQUISTADOR COUNTRY CLUB FUD)
REQUIRED: 4,800 SF
PROVIDED: 8,126 SF
5. THE LANDSCAPE BUFFERYARD (B) FOR THIS PROJECT IS:
NORTH (LAMBERT LANE) = 25' MINIMUM
6. THE REQUIRED SETBACKS FOR THIS PROJECT ARE:
PUBLIC STREET = 30'
ADJACENT PAD #1 = 25'
7. ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT ARE PER THE EL CONQUISTADOR PAD #1-AREA D OV12-02-06, WILL BE A CONDITION OF DEVELOPMENT
8. ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, PER PAD #1 OV12-02-06 EL CONQUISTADOR COUNTRY CLUB, WILL BE A CONDITION OF DEVELOPMENT
9. "LANDSCAPE TO CONFORM TO ORO VALLEY LANDSCAPE CODE"
10. "MITIGATION OF SURVEYED PLANTS IN THE NATIVE PLAN PRESERVATION PLAN WILL BE INCORPORATED IN THE LANDSCAPE DESIGN."
11. "SHRUB LOCATIONS ARE PRELIMINARY"

GENERAL NOTES

1. CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWINGS, ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
2. ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN OR SALVAGED FROM ON SITE. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION.
3. ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
4. ALL PLANT MATERIAL SHALL BE INSTALLED PER TOWN REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER TOWN REQUIREMENTS.
5. ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
6. THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.
7. ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
8. FINAL LOT CONFIGURATION MAY VARY AT THE TIME OF FINAL PLAT APPROVAL.
9. ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.



LOCATION MAP

SCALE: 3"=1 MILE



OWNER / DEVELOPER

ORO VISTA SHOPPING CENTER
THE BEZTAK COMPANIES
31731 NORTHWESTERN HWY, SUITE 250W
FARMINGTON HILLS, MI 48334
ATTN: MARK HIGHLEN
EMAIL: MHIGHLEN@BEZTAK.COM
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PLANT SCHEDULE

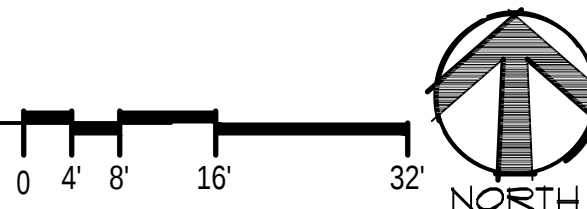
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WATER NEEDS
TREES					
	Acacia willardiana	Palo Blanco	3	36" Box	1-2
	Cercidium floridum	Blue Palo Verde	6	36" Box	2-3
	Cordia parvifolia	Littleleaf Cordia	6	15 Gallon	1-2
	Prosopis velutina	Velvet Mesquite	4	36" Box	2
Existing Tree to Remain					
ACCENTS + VINES					
	Agave victoriae-reginae	Queen Victoria Agave	31	5 Gallon	1-2
	Dasylirion wheeleri	Desert Spoon	10	5 Gallon	1
	Hesperaloe funifera	Giant Hesperaloe	6	5 Gallon	1-2
	Hesperaloe parviflora	Red Yucca	17	5 Gallon	1-2
SHRUBS					
	Calliandra hybrid	Red Fairy Duster	21	5 Gallon	1
	Dodonaea viscosa	Hopsed Bush	12	5 Gallon	1-2
	Haplopappus laricifolius	Turpentine Bush	53	5 Gallon	1
	Justicia spicigera	Mexican Honeysuckle	17	5 Gallon	3
	Myrtus communis Compacta	Compact Myrtle	17	5 Gallon	3
	Senna wislizenii	Shrubby Cassia	8	5 Gallon	2
	Simmondsia chinensis	Jojoba	16	5 Gallon	1-2
GROUND COVERS					
	Abronia villosa	Sand Verbena	51	5 Gallon	1
	Baileya multiradiata	Desert Marigold	48	5 Gallon	1-2
	Lantana montevidensis	Trailing Lantana	9	5 Gallon	3-4
	Rosemarinus officinalis Huntington Carpet	Prostrate Rosemary	14	5 Gallon	2-3
MISCELLANEOUS					
	DECOMPOSED GRANITE - SIZE AND COLOR TO MATCH EXISTING 2" DEPTH IN ALL PLANTING AREAS (TYP)				

- EXISTING RETAINING WALL TO REMAIN
- PROPERTY LINE
- ALL EXISTING PLANT MATERIAL EAST OF EXISTING RETAINING WALL TO REMAIN IN PLACE AND BE PROTECTED DURING CONSTRUCTION
- BUILDING SETBACK
- APPROXIMATE WATERING NEEDS**
- 1 - NO SUPPLEMENTAL IRRIGATION ONCE ESTABLISHED.
 - 2 - ONCE A MONTH DURING THE GROWING SEASON ONCE ESTABLISHED.
 - 3 - TWICE A MONTH DURING THE GROWING SEASON ONCE ESTABLISHED.
 - 4 - ONCE A WEEK DURING THE GROWING SEASON ONCE ESTABLISHED.

BUFFER YARD 'B' TABLE (141 LF OF STREET FRONTAGE)		
	REQUIRED	PROVIDED
TREES (4/100 LF)	6	6
SHRUBS / CATCLUS (7/100 LF)	10	24
ACCENTS / CATCLUS (12/100 LF)	17	19

LANDSCAPE PLAN

SCALE: 1/16"=1'-0"



LANDSCAPE PLAN

ORO VISTA APARTMENTS

ORO VALLEY, ARIZONA

LANDSCAPE PLAN

DESIGNED BY: PV/SH
DRAWN BY: SH
CHECKED BY: PV/MD
DATE: JULY 9, 2021
REVISIONS:

ORO VISTA APARTMENTS
SITE PLAN APPROVAL

CLS-1

1 OF 1



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EXPIRES 06/30/2022