

N:\20004 - Oro Vista Apartments\950 CAD\955 DWG\SP\2004-169-01.dwg Plotted: Jul 22, 2021 - 1:45pm athrus

GENERAL NOTES

1. THE GROSS AREA OF THIS DEVELOPMENT IS 0.88 ACRES (38,424 S.F.).
2. RESIDENTIAL UNITS PER ACRE FOR RESIDENTIAL DEVELOPMENTS
3. TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
4. TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
5. ALL APPLICABLE GENERAL PLAN, REZONING, CONDITIONAL USE PERMIT (CUP), FINAL PLAT OR ANNEXATION CONDITIONS IMPACTING THE PROJECT ARE PER THE EL CONQUISTADOR PAD #1-ARA D OV12-02-06, WILL BE A CONDITION OF DEVELOPMENT.
6. ZONING VARIANCES OR MODIFICATIONS THAT ARE APPLICABLE TO THE PROJECT, PER PAD #1 OV12-02-06, WILL BE A CONDITION OF DEVELOPMENT.
7. ASSURANCES FOR WATER SERVICES, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
8. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
9. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
10. ALL WEATHER ACCESS MUST BE PROVIDED TO THE DEVELOPMENT.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWED BUILDING HEIGHT FOR THIS DEVELOPMENT IS 3 STORIES/38 FEET.
2. THE PROPOSED BUILDING HEIGHT IS 3 STORIES/38 FEET.
3. THE TOTAL AMOUNT OF OPEN SPACE REQUIRED FOR THIS PROJECT IS 5,100 SF.
4. THE TOTAL AMOUNT OF OPEN SPACE PROVIDED WITHIN THIS PROJECT IS 8,218.4 S.F..
5. THE TOTAL AMOUNT OF LANDSCAPED AREA WITHIN THIS PROJECT IS 6,220.1 S.F.
6. THE LANDSCAPE BUFFERYARD (B) FOR THIS PROJECT IS:
NORTH (LAMBERT LANE) = 5' MINIMUM.
7. THE BUILDING SETBACKS FOR THIS PROJECT ARE:
PUBLIC STREET = 20'
ADJACENT PAD #1 = 25'
8. EXISTING ZONING IS PAD #1 EL CONQUISTADOR COUNTRY CLUB-AREA D.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEERING GENERAL NOTES

1. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
2. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
3. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN
2. ORO VALLEY WATER UTILITY SHALL BE THE WATER PROVIDER

GENERAL UTILITY GENERAL NOTES

1. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER.
2. ORO VALLEY WATER UTILITY SHALL BE THE WATER PROVIDER.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME OF 3600 SQUARE FEET OR LESS WHEN REQUIRED FIRE FLOW OF 1000 GPM IS NOT WITHIN 600 FEET OF THE HOME. HOMES OF 3601+ SQUARE FEET SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THE REQUIRED FIRE FLOW PRESCRIBED BY IFC TABLE B105.1 IS NOT AVAILABLE WITHIN 600 FEET OF THE HOME. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

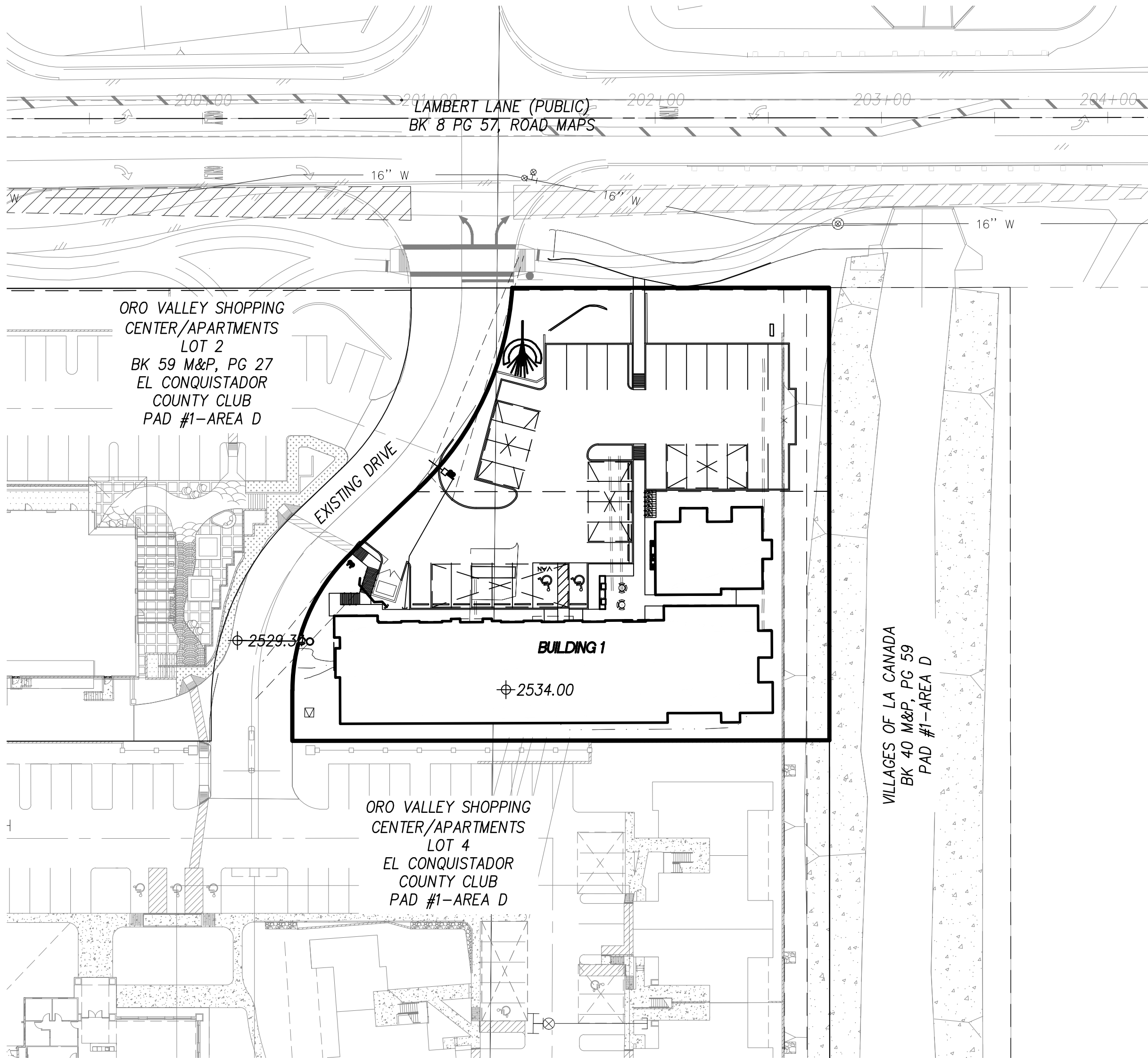
DRAINAGE GENERAL NOTES

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FORM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
4. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
5. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

PERMITTING DIVISION – BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
 - 2011 NATIONAL ELECTRICAL CODE
 - 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES
 - GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
 - 2012 TOWN OF ORO VALLEY POOL CODE
 - PAG STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
 - 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
 - 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
 - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
 - ORO VALLEY TOWN CODE, CURRENT REVISED

FINAL SITE PLAN ORO VISTA APARTMENTS PHASE 2 OVXXXX-XX

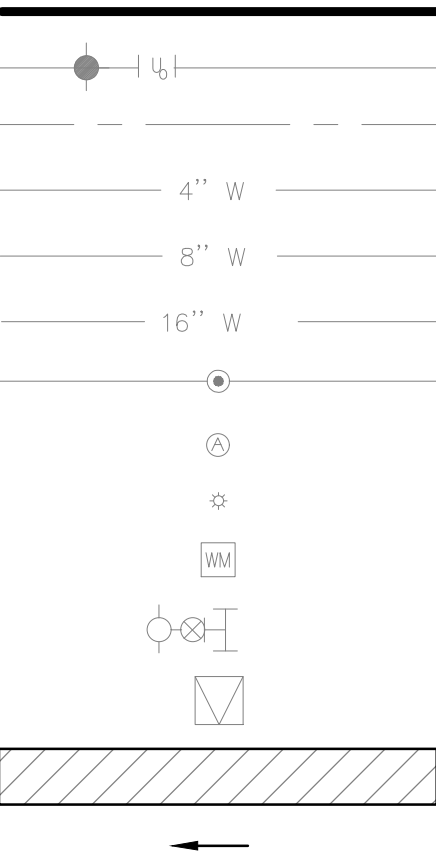


SITE PLAN

BASIS OF BEARINGS

THE NORTH LINE OF THE NW QUARTER OF SECTION 14, T-12-S, R-13-E, ACCORDING TO EL CONQUISTADOR COUNTRY CLUB, BLOCKS 1 THRU 3, AS RECORDED IN BOOK 33 M&P, PAGE 82. BEARING BEING: N 89°56'20" E

LEGEND



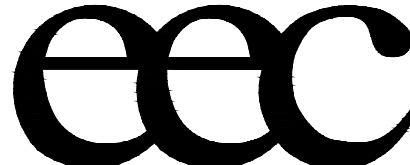
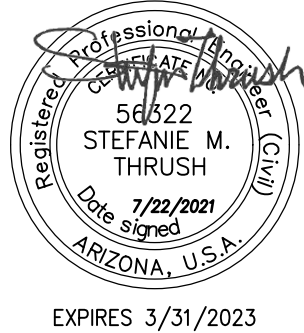
EXISTING OVERHEAD UTILITY W/ UTILITY POLE
EXISTING OVERHEAD UTILITY W/ UTILITY POLE
CENTERLINE
EXISTING 4" WATERLINE AND VALVE
EXISTING 8" WATERLINE AND VALVE
EXISTING 16" WATERLINE AND VALVE
EXISTING SANITARY SEWER AND MANHOLE
EXISTING AIR RELEASE VALVE
EXISTING LIGHT POLE
EXISTING WATER METER
EXISTING FIRE HYDRANT
EXISTING ELECTRIC
PROPOSED OPEN SPACE
INDICATES DIRECTION OF FLOW

OWNER/DEVELOPER

ORO VISTA SHOPPING CENTER
THE BEZTAK COMPANIES
31731 NORTHWESTERN HWY, SUITE 250W
FARMINGTON HILLS, MI 48334
ATTN: MARK HIGHLLEN
EMAIL: mhighlen@beztak.com
PHONE: (248) 737-6175

SHEET INDEX

SHEET 1 COVER SHEET AND NOTES
SHEET 2 PLAN SHEET
SHEET 3 DETAILS
SHEET 4 HORIZONTAL CONTROL PLAN



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APPROVED

TOWN CLERK

DATE

PLANNING AND ZONING ADMINISTRATOR

DATE

TOWN ENGINEER

DATE

ORO VALLEY WATER UTILITY DIRECTOR

DATE

ENGINEER

ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
555 E. RIVER ROAD, SUITE 301
TUCSON, AZ 85704
ATTN: STEFANIE THRUSH, P.E.
EMAIL: sthrush@eecorp.com
PHONE: (520) 321-4625
FAX: (520) 321-0333

OVXXXX-XX

FINAL SITE PLAN
FOR

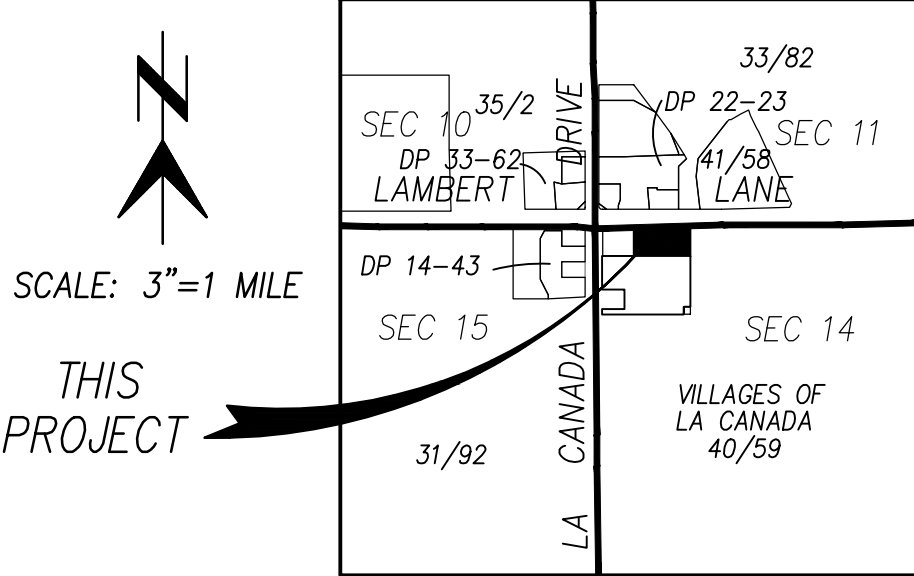
ORO VISTA APARTMENTS PHASE 2

A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL = 1 FOOT
JULY 2021
EEC JOB NO 20004

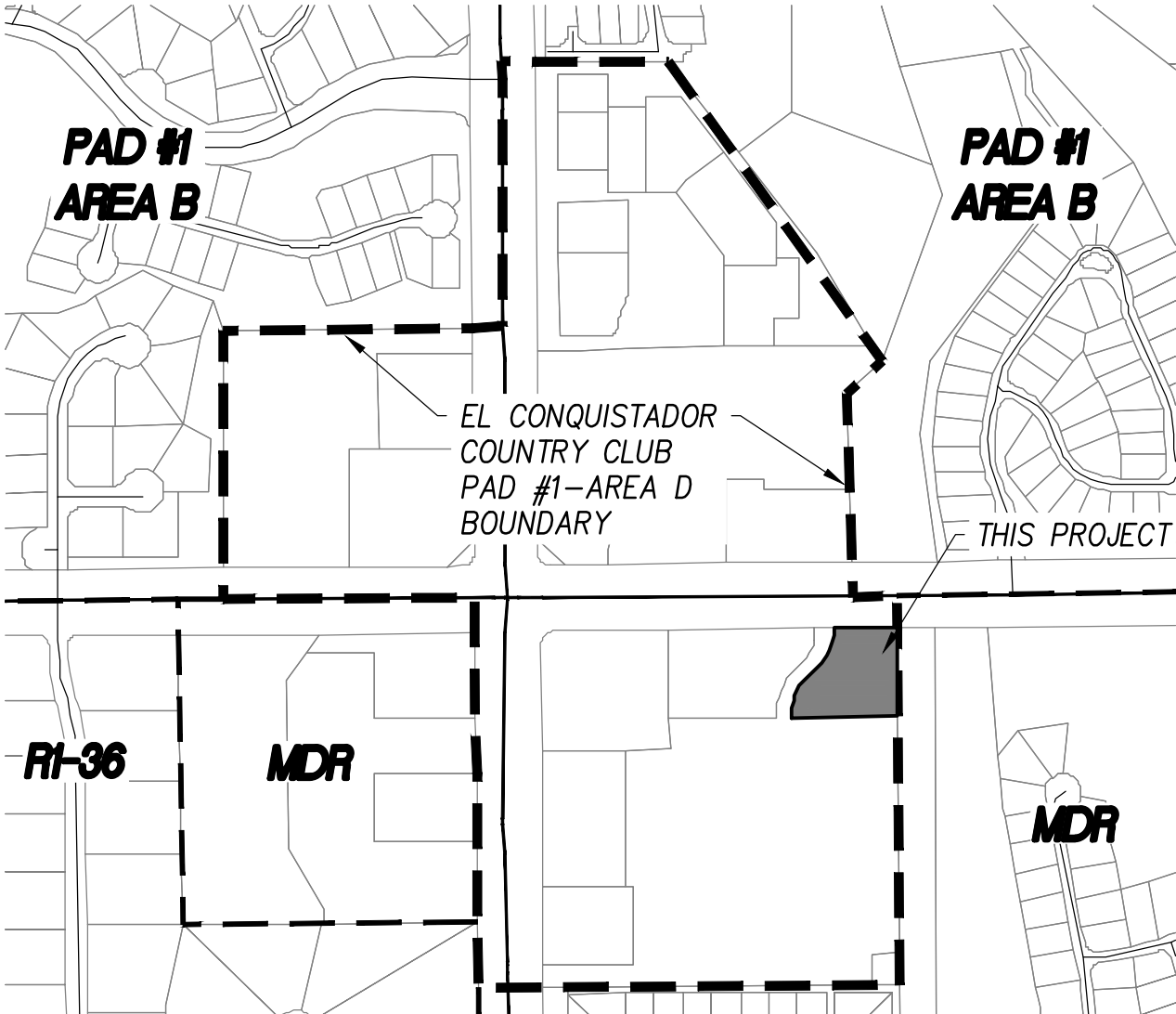
REF CASE: OV12-02-06
SCALE: 1"=40'
SHEET 1 OF 4

FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2

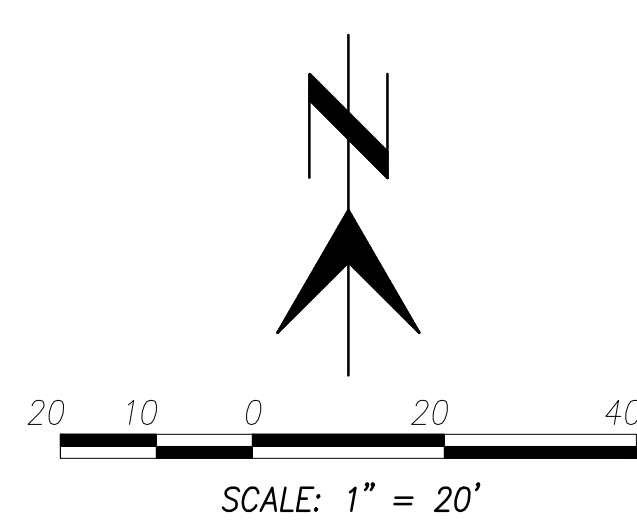
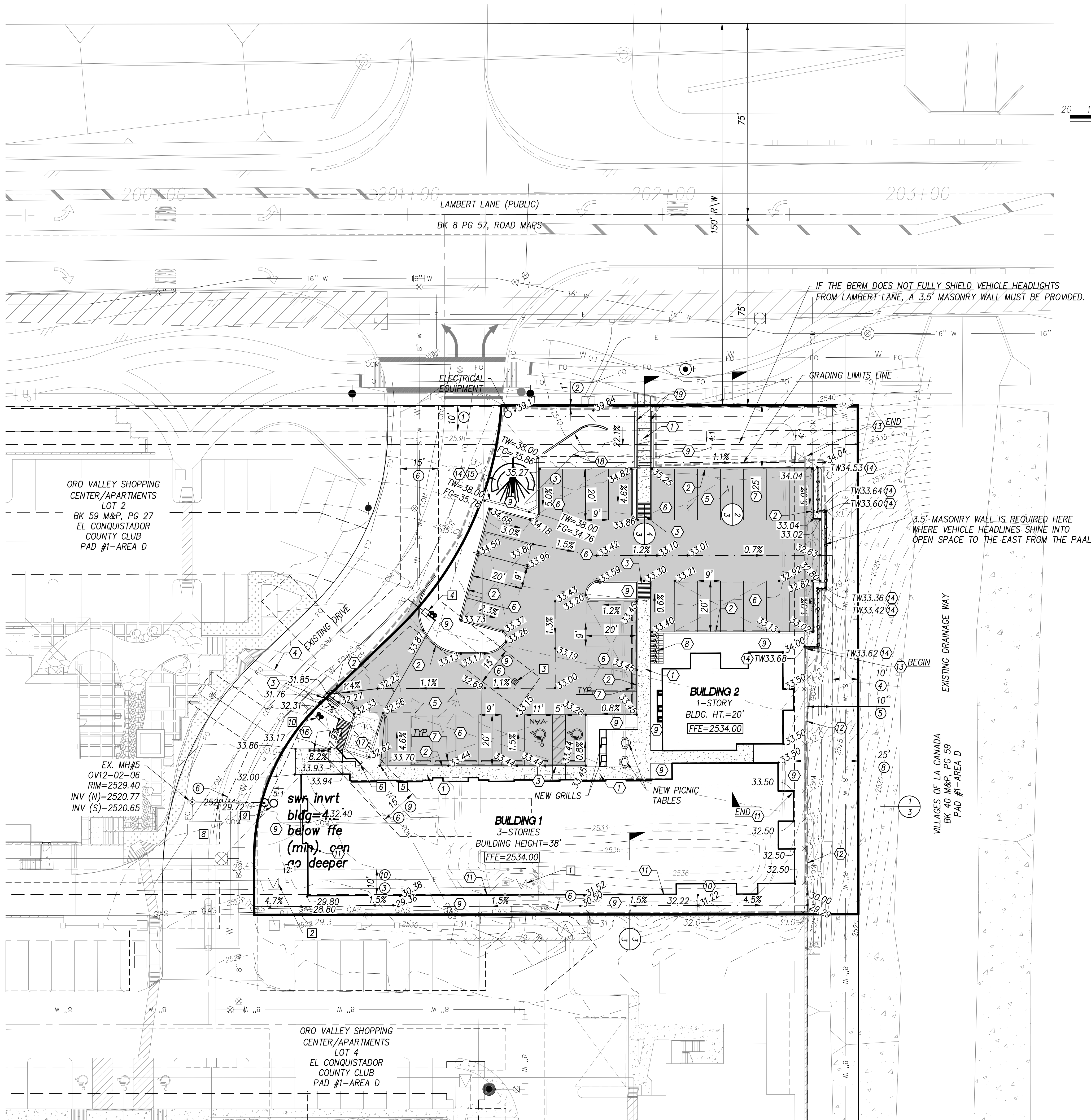


LOCATION MAP

PORTION OF SECTION 14,
T.12 S., R.13 E.
G. & S.R.M., PIMA COUNTY, ARIZONA



PAD MAP



SITE KEYNOTES

- 10' PUBLIC TELEPHONE EASEMENT DKT. 7044, PG. 819.
- 1' PUBLIC NO ACCESS EASEMENT BK 59, PG 27.
- PUBLIC UTILITY EASEMENT DKT. 12650, PG. 2014.
- 10' PUBLIC FOOTHILLS WATER EASEMENT DKT. 7926, PG. 1733.
- 10' PUBLIC TEP EASEMENT DKT. 7719, PG. 1644.
- PUBLIC INGRESS/EGRESS & UTILITY EASEMENT DKT. 13307, PG. 3455.
- 25' BUFFERYARD
- 25' BUILDING SETBACK.
- VACATE WATER EASEMENT AND REMOVE WATER LINE.
- VACATE ELECTRIC EASEMENT.

GRADING KEYNOTES

- CONCRETE SIDEWALK PER PAG SD 200
- CONCRETE CURB W/6" REVEAL, TYPE 2, PER PAG SD 209
- CURB ACCESS RAMP WITH TRUNCATED DOMES PER PAG SD 207.
- EXISTING CROSSWALK.
- PROPOSED PAVEMENT.
- PROPOSED PARKING.
- PROPOSED CONCRETE WHEEL STOPS.
- BICYCLE SPACES.
- LANDSCAPE AREA (TYP.)
- NEW HARDSCAPE PER ARCHITECTURAL PLAN.
- PROPOSED STEM WALL, HEIGHT PER PLAN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING RETAINING WALL TO BE REMOVED AND REPLACED WITH RELOCATED NEW RETAINING WALL.
- PROPOSED RETAINING WALL, HEIGHT PER PLAN, WITH HANDRAIL ON TOP OF WALL PER PAG SD 105.
- EXISTING PUBLIC ART/MONUMENT TO BE RELOCATED IN LOCATION SHOWN.
- PROPOSED RAMP AND HANDRAIL, SEE ARCHITECT PLANS FOR DETAILS.
- PROPOSED REFUSE ENCLOSURE.
- EXISTING SIGN TO BE RELOCATED. LENGTH REDUCED TO FIT.
- CONTINUOUS HANDRAIL, BOTH SIDES.

UTILITY KEYNOTES

- EXISTING TRANSFORMER TO BE RELOCATED
- RELOCATED ELECTRIC TRANSFORMER.
- EXISTING WATER METER TO BE RELOCATED. SHORTEN EXISTING SERVICE TO RELOCATED METER LOCATION. INSTALL BACKFLOW PREVENTER.
- RELOCATED DOMESTIC WATER METER WITH NEW BACKFLOW PREVENTER.
- PROPOSED PRIVATE WATER SERVICE LINE, STUB 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- REMOVE EXISTING FIRE LINE BACK TO 5' FROM BUILDING AND REROUTE AROUND NEW TRASH ENCLOSURE. INSTALL BACKFLOW PREVENTER. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- CONNECT NEW HCS TO EXISTING MH#5 PER PC RWRD SD 402. NEW INV=2521.00.
- PROPOSED PRIVATE 28.44 LF HCS @ 2.00% SLOPE
- PROPOSED DOUBLE CLEANOUT 5' FROM BUILDING, HCS INV=2521.57, SEE PLUMBING PLANS FOR CONTINUATION.
- FIRE LINE BACKFLOW PREVENTER



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OVXXXX-XX FINAL SITE PLAN FOR ORO VISTA APARTMENTS PHASE 2

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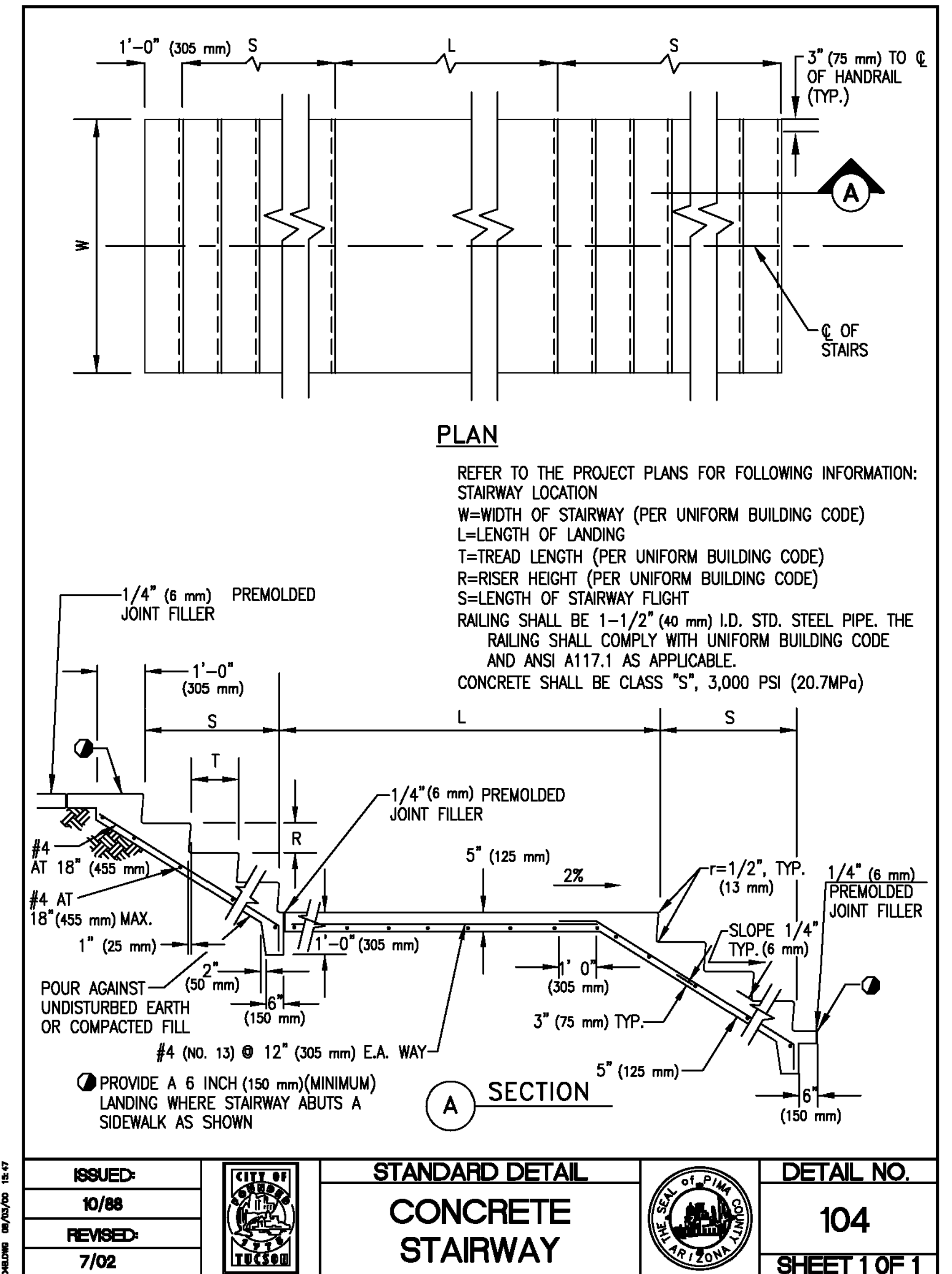
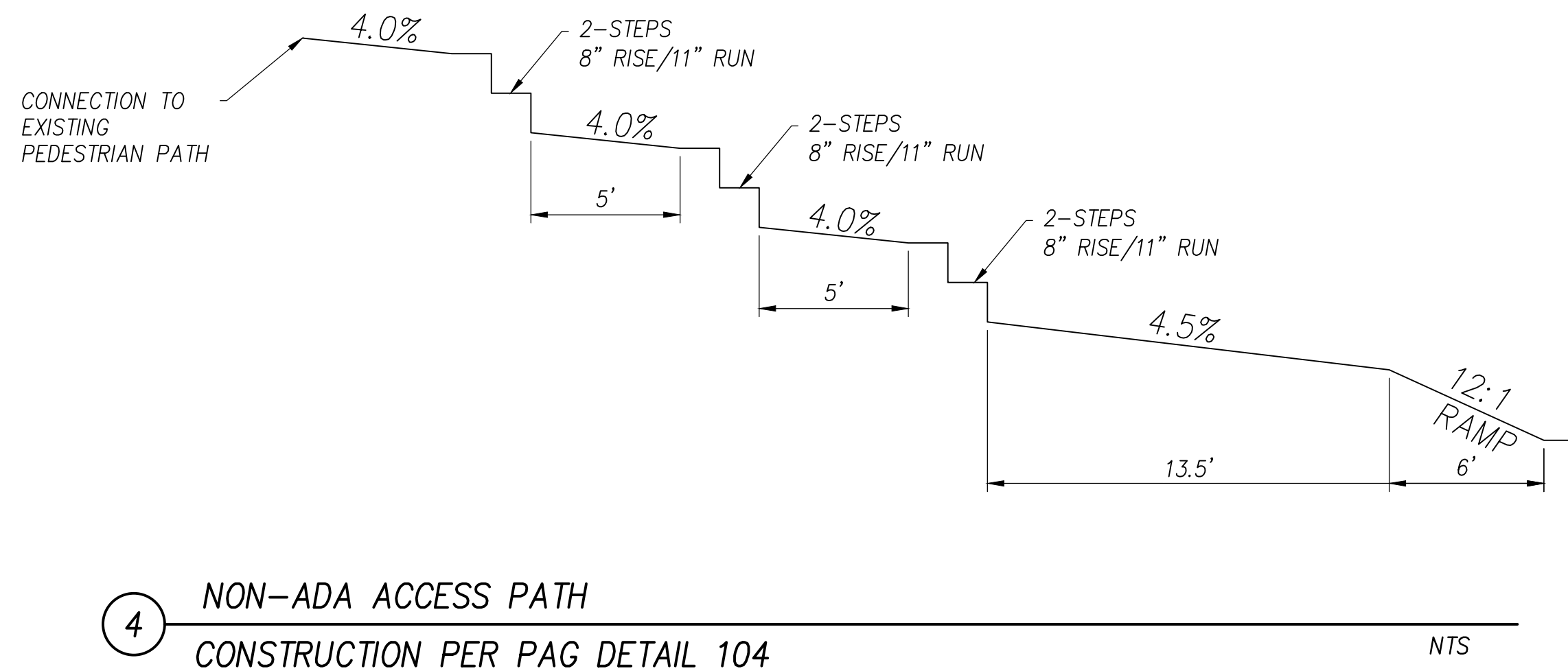
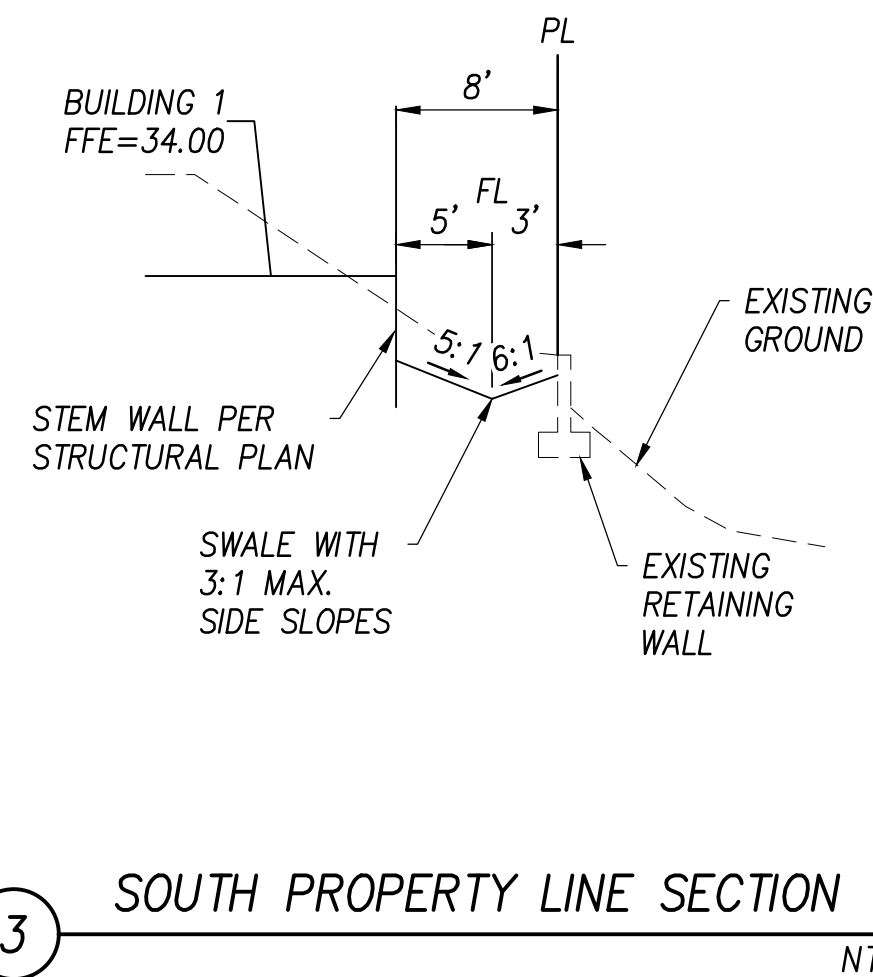
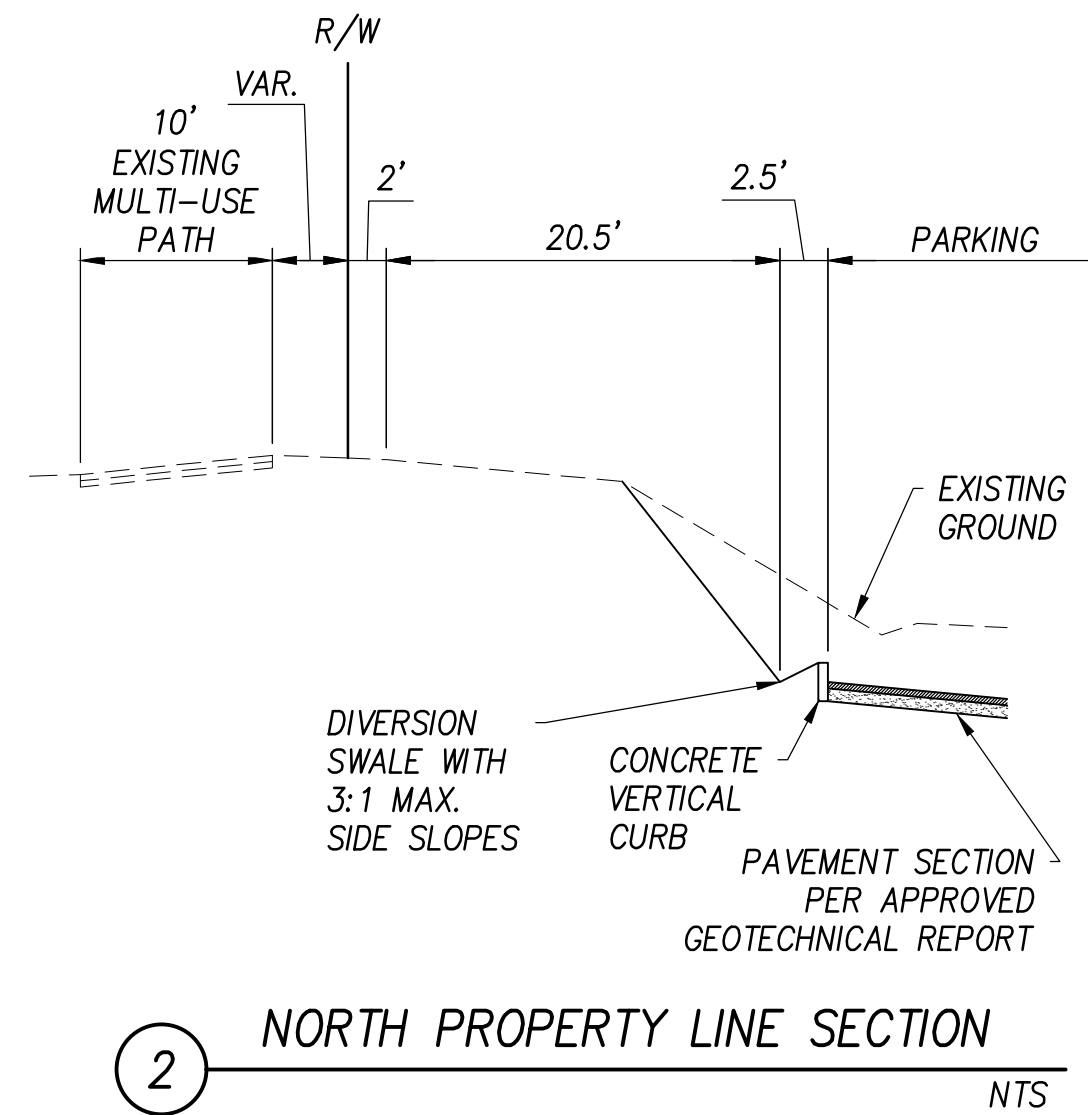
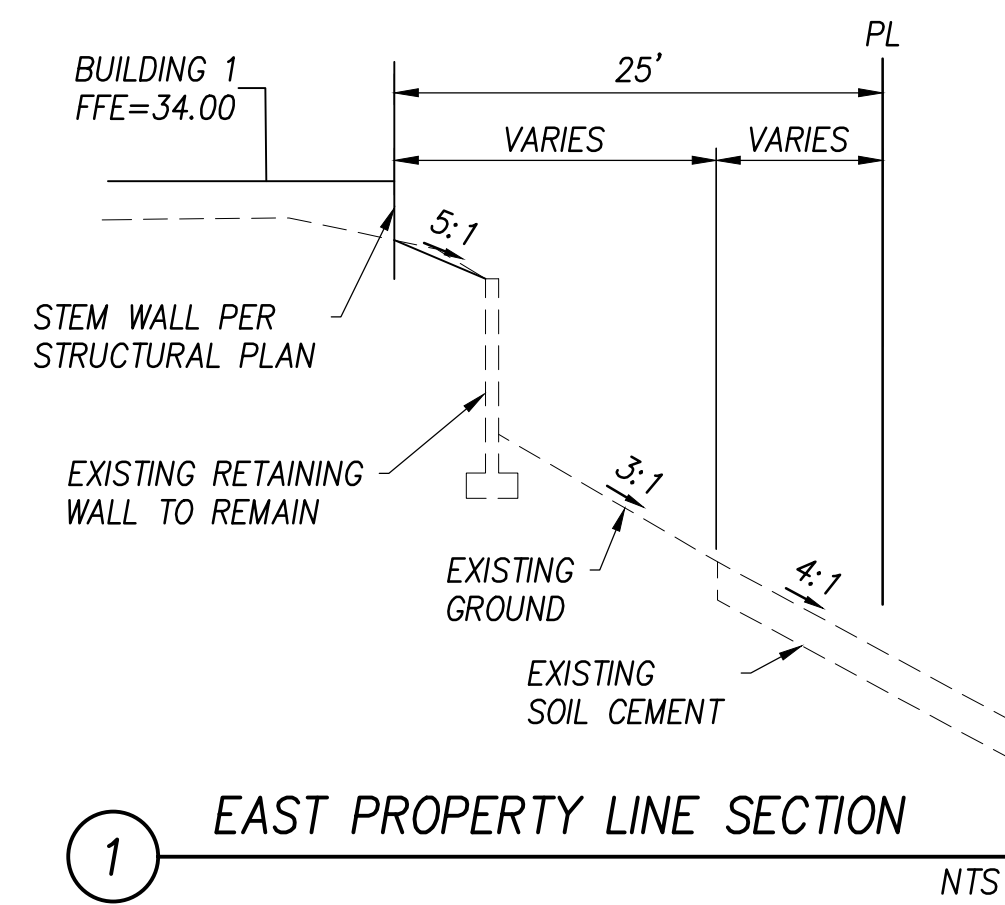
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REF CASE: OV12-02-06
SCALE: 1"= 20'
SHEET 2 OF 4

FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2

| NO. | DATE | REVISION | BY | CH | APPR |
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| | | | | | |

N:\20004 - Oro Vista Apartments\950 CAD\955 DWG\FS\20004-159-03.dwg Plotter: Jul 22, 2021 - 1:52pm struth



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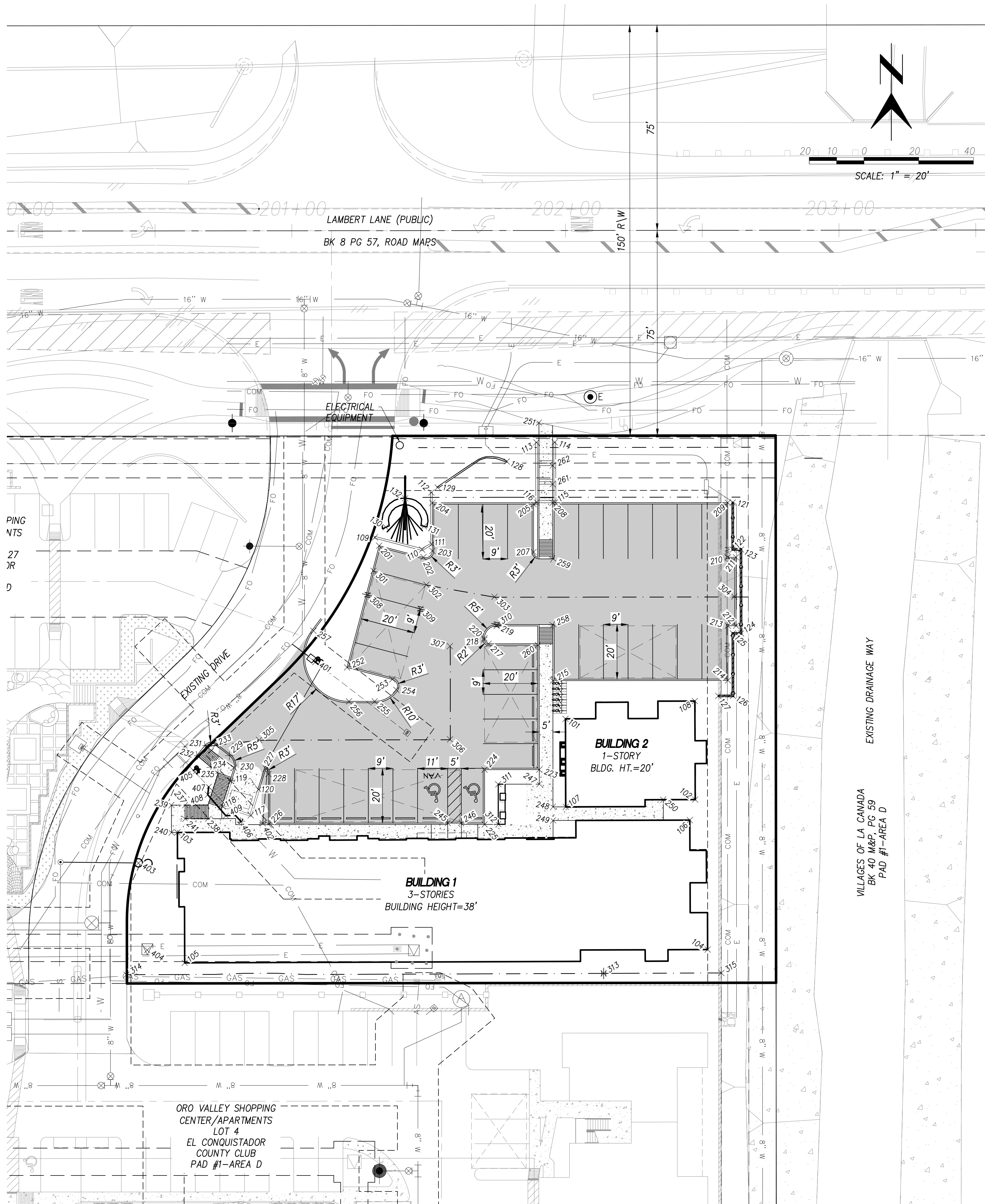
OVXXXX-XX
FINAL SITE PLAN
FOR
ORO VISTA APARTMENTS PHASE 2

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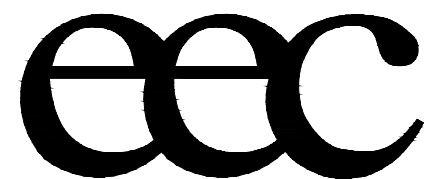
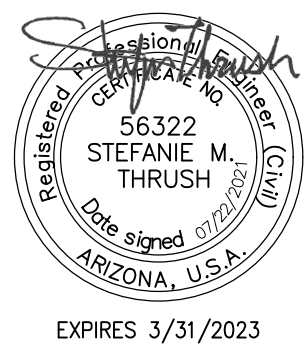
REF CASE: OV12-02-06
SCALE: AS NOTED
SHEET 3 OF 4

FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2



| Point Table | | | |
|-------------|----------|---------|--------------------|
| Point # | Northing | Easting | Description |
| 101 | 8638.96 | 5003.57 | BLDG CORNER |
| 102 | 8609.47 | 5051.01 | BLDG CORNER |
| 103 | 8597.43 | 4861.72 | BLDG CORNER |
| 104 | 8554.65 | 5055.55 | BLDG CORNER |
| 105 | 8549.77 | 4864.40 | BLDG CORNER |
| 106 | 8601.96 | 5049.04 | BLDG CORNER |
| 107 | 8606.79 | 5003.69 | BLDG CORNER |
| 108 | 8645.47 | 5050.88 | BLDG CORNER |
| 109 | 8705.29 | 4933.91 | RETAINING WALL |
| 110 | 8700.81 | 4951.15 | RETAINING WALL |
| 111 | 8702.86 | 4954.64 | RETAINING WALL |
| 112 | 8721.67 | 4954.55 | RETAINING WALL |
| 113 | 8739.99 | 4992.96 | RETAINING WALL |
| 114 | 8740.02 | 4999.63 | RETAINING WALL |
| 115 | 8718.09 | 4999.73 | RETAINING WALL |
| 116 | 8718.06 | 4993.06 | RETAINING WALL |
| 117 | 8603.73 | 4888.52 | REFUSE WALL |
| 118 | 8606.92 | 4878.35 | REFUSE WALL |
| 119 | 8616.31 | 4881.29 | REFUSE WALL |
| 120 | 8613.11 | 4891.47 | REFUSE WALL |
| 121 | 8718.01 | 5064.73 | RETAINING WALL |
| 122 | 8700.84 | 5064.75 | RETAINING WALL |
| 123 | 8700.85 | 5067.75 | RETAINING WALL |
| 124 | 8670.18 | 5067.78 | RETAINING WALL |
| 125 | 8670.17 | 5064.78 | RETAINING WALL |
| 126 | 8647.34 | 5064.80 | RETAINING WALL |
| 127 | 8647.33 | 5059.43 | RETAINING WALL |
| 128 | 8732.99 | 4982.13 | SIGN WALL |
| 129 | 8723.50 | 4956.86 | SIGN WALL |
| 130 | 8708.99 | 4937.89 | SCULPTURE BASE |
| 131 | 8709.32 | 4951.85 | SCULPTURE BASE |
| 132 | 8719.56 | 4944.98 | SCULPTURE BASE |
| 201 | 8702.23 | 4935.47 | BACK OF CURB |
| 202 | 8698.06 | 4951.65 | BACK OF CURB |
| 203 | 8700.34 | 4954.92 | BACK OF CURB |
| 204 | 8717.87 | 4954.90 | BACK OF CURB |
| 205 | 8717.41 | 4991.90 | BACK OF CURB |
| 207 | 8699.91 | 4991.92 | BACK OF CURB |
| 208 | 8717.92 | 4998.90 | BACK OF CURB/STEPS |
| 209 | 8717.99 | 5062.90 | BACK OF CURB |
| 210 | 8697.99 | 5062.92 | BACK OF CURB |
| 211 | 8697.99 | 5065.92 | BACK OF CURB |
| 212 | 8672.99 | 5065.95 | BACK OF CURB |
| 213 | 8672.99 | 5062.95 | BACK OF CURB |
| 214 | 8652.99 | 5062.97 | BACK OF CURB |
| 215 | 8652.92 | 4998.97 | BACK OF CURB |
| 217 | 8666.40 | 4975.46 | BACK OF CURB |
| 218 | 8667.89 | 4973.95 | BACK OF CURB |
| 219 | 8672.90 | 4978.45 | BACK OF CURB |
| 220 | 8668.39 | 4973.95 | BACK OF CURB |
| 223 | 8620.42 | 4994.01 | BACK OF CURB |
| 224 | 8620.39 | 4974.01 | BACK OF CURB |
| 225 | 8600.39 | 4974.03 | BACK OF CURB |
| 226 | 8600.31 | 4895.03 | BACK OF CURB |
| 227 | 8620.77 | 4894.05 | BACK OF CURB |

| Point Table | | | |
|-------------|----------|---------|-----------------|
| Point # | Northing | Easting | Description |
| 228 | 8618.81 | 4895.01 | BACK OF CURB |
| 229 | 8625.53 | 4880.74 | BACK OF CURB |
| 230 | 8621.10 | 4882.42 | BACK OF CURB |
| 231 | 8629.25 | 4871.80 | RAMP |
| 232 | 8625.55 | 4868.83 | RAMP |
| 233 | 8629.40 | 4875.70 | BACK OF CURB |
| 234 | 8621.34 | 4873.92 | RAMP |
| 235 | 8619.13 | 4876.59 | RAMP |
| 237 | 8607.44 | 4864.51 | RAMP |
| 238 | 8602.47 | 4873.03 | RAMP |
| 239 | 8607.42 | 4859.51 | SIDEWALK |
| 240 | 8597.42 | 4859.55 | SIDEWALK |
| 241 | 8602.44 | 4864.53 | SIDEWALK |
| 245 | 8600.88 | 4960.53 | RAMP |
| 246 | 8600.89 | 4965.53 | RAMP |
| 247 | 8615.10 | 4994.03 | SIDEWALK |
| 248 | 8606.78 | 4999.02 | SIDEWALK |
| 249 | 8601.82 | 4999.03 | SIDEWALK |
| 250 | 8609.42 | 5039.35 | SIDEWALK |
| 251 | 8747.17 | 4993.87 | SIDEWALK |
| 252 | 8657.75 | 4923.73 | BACK OF CURB |
| 253 | 8653.38 | 4940.28 | BACK OF CURB |
| 254 | 8649.57 | 4941.72 | BACK OF CURB |
| 255 | 8645.35 | 4933.83 | BACK OF CURB |
| 256 | 8645.34 | 4924.44 | BACK OF CURB |
| 257 | 8671.15 | 4911.44 | BACK OF CURB |
| 258 | 8673.42 | 4998.95 | RAMP |
| 259 | 8697.42 | 4998.92 | RAMP |
| 260 | 8665.92 | 4993.46 | BACK OF CURB |
| 261 | 8724.71 | 4998.89 | STEPS |
| 262 | 8731.50 | 4998.89 | STEPS |
| 301 | 8693.05 | 4933.40 | FLOW LINE |
| 302 | 8687.94 | 4952.74 | FLOW LINE |
| 303 | 8683.54 | 4977.63 | FLOW LINE |
| 304 | 8683.63 | 5065.31 | FLOW LINE |
| 305 | 8631.27 | 4891.60 | FLOW LINE |
| 306 | 8631.45 | 4961.37 | FLOW LINE |
| 307 | 8665.52 | 4961.33 | FLOW LINE |
| 308 | 8684.21 | 4931.23 | RIDGE LINE |
| 309 | 8679.11 | 4950.57 | RIDGE LINE |
| 310 | 8673.40 | 4978.45 | RIDGE LINE |
| 311 | 8615.08 | 4979.01 | SIDEWALK |
| 312 | 8600.41 | 4979.03 | SIDEWALK |
| 313 | 8545.93 | 5017.54 | HIGH POINT |
| 314 | 8545.45 | 4843.11 | FLOW LINE |
| 315 | 8546.09 | 5060.54 | FLOW LINE |
| 401 | 8659.72 | 4912.14 | WATER BFP |
| 402 | 8600.78 | 4892.93 | WATER SERVICE |
| 403 | 8586.25 | 4847.49 | SEWER CLEANOUTS |
| 404 | 8554.46 | 4850.69 | TRANSFORMER |
| 405 | 8619.47 | 4868.13 | FIRE BFP |
| 406 | 8601.42 | 4884.98 | FIRE STUB |
| 407 | 8614.11 | 4873.16 | FIRE LINE |
| 408 | 8611.23 | 4872.83 | FIRE LINE |
| 409 | 8603.57 | 4879.43 | FIRE LINE |



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OVXXXX-XX
FINAL SITE PLAN
FOR
ORO VISTA APARTMENTS PHASE 2

A PORTION OF LA CANADA/LAMBERT RETAIL CENTER,
SECTION 14, T 12 S, R 13 E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL = 1 FOOT
JULY 2021
EEC JOB NO 20004

REF CASE: OV12-02-06
SCALE: 1"= 20'
SHEET 4 OF 4

FINAL SITE PLAN: ORO VISTA APARTMENTS PHASE 2

| NO. | DATE | REVISION | BY | CH | APPR |
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