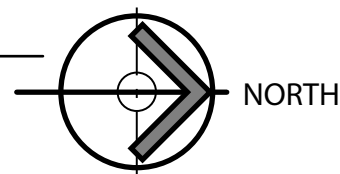


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TENTATIVE DEVELOPMENT PLAN

SCALE: 1:30



NORTH ORACLE ROAD
(ARIZONA STATE HIGHWAY 77)
TOTAL RIGHT OF WAY WIDTH VARIES PER (R2)

225-11-2940
TOWN OF ORO VALLEY

NORTH EGLESTON DRIVE
60' TOTAL RIGHT OF WAY WIDTH PER (R3)
30' EACH SIDE OF THE CENTERLINE

SITE PLAN ZONING NOTES

- ZONING** THE EXISTING ZONING IS RESIDENTIAL R1-144 / PROPOSED ZONING IS TECHNICAL PARK T-P.
- USES** EXISTING USE IS VACANT LAND
PROPOSED USE IS SERVICE "SELF STORAGE FACILITY" W/ OFFICE USE ALLOWED IN T-P ZONING WITH CONDITIONAL USE PERMIT.

RETAIL SALES ARE ALLOWED AS AN ANCILLARY USE DIRECTLY RELATED TO AND CONTAINED WITHIN THE STRUCTURE OF THE PRIMARY USE.

FLOOR AREA LIMITS
A. ANCILLARY USES SHALL BE NO GREATER THAN FIVE THOUSAND (5,000) SQUARE FEET OF GROSS FLOOR AREA PER INDIVIDUAL BUSINESS, EXCEPT THAT EXPANSIONS MAY BE ALLOWED WITH A CONDITIONAL USE PERMIT.
B. THE GROSS FLOOR AREA OF ANCILLARY USES, NOT CONTAINED WITHIN A PRIMARY USE FACILITY, IS LIMITED TO NO MORE THAN TWENTY PERCENT (20%) DEVELOPED GROSS FLOOR AREA.
- SITE AREA** AREA: 3 ACRES MIN TOTAL LOT AREA = 247,861 SF OR 5.69 ACRES
- LEGAL DESCRIPTION / TAX PARCEL** LINDA VISTA CITRUS TRACTS NO 2 PTN LOT 52 LYG W & ADJ TUC-FLORENCE HWY TAX PARCEL 225-11-295A ADDRESS 9255 N. ORACLE RD
- LAND USE CODE SITE CALCULATIONS:**
A. **BLDG AREA** FAR 0.3 OR 247,861 X 0.3 = 74,358 SF ALLOWED
1ST FLOOR = 40,728 SF + 2ND FLOOR = 33,630 SF = 74,358 SF
40,728 SF (BASEMENT) + 74,358 SF (1ST & 2ND FLOORS) = 115,086 SF
B. **VEHICULAR PARKING REQUIREMENTS:** OFFICE USE 3 / 1000 5.4 X 3 = 16 SPACES
STORAGE 1 / 50 UNITS 1000/50 20 SPACES
TOTAL 36 SPACES REQUIRED / 40 PROVIDED
C. **LOADING ZONE REQUIREMENTS:** SERVICE STORAGE USE NOT LISTED
BASED ON SIMILAR FACILITIES IN NEIGHBORING JURISDICTIONS.
1. LOADING ZONES REQUIRED / 1 PROVIDE
PROVIDE 24' X 35' LOADING ZONE TO ASSIST W/ MANUVERING
- BUILDING HEIGHT:** WILL NOT EXCEED 34 FT PER ORACLE ROAD SCENIC CORRIDOR / ACTUAL HT 25 FT
- SETBACKS:** FRONT 150 FT;
REAR SINCE THE ADJ SITE TO THE WEST IS CURRENTLY BEING USED FOR PARKING A ZONING DETERMINATION WAS MADE TO REQUIRE A 50 FT SETBACK ALONG THIS LOT SIDE YARD SETBACK 3:1 SETBACK. BLDG HEIGHT 25 FT X 3 = 75 FT
NOTE: THE DIFFERENCE (IN FEET) BETWEEN THE SETBACK PROVIDED AND THE REQUIRED 3:1 BUILDING SETBACK SHALL BE ACCOMMODATED ON THE ADJACENT PARCEL TO THE NORTH IF REZONED FOR RESIDENTIAL USE.

OWNER / DEVELOPER :

ORO VALLEY SELF STORAGE & BUSINESS CENTER
2910 N. SWAN RD SUITE 204
TUCSON, AZ 85712
ROSS MCCLISTER
HANK AMOS
520-331-5151

ARCHITECT

ROBERT PAGE, ARCHITECT
2201 N. COUNTRY CLUB RD #9
TUCSON, AZ 85716
520-629-9752

PLANNERS

THE PLANNING CENTER
2 E. CONGRESS STE 600
TUCSON, AZ 85701
520-623-4146
BRIAN UNDERWOOD

CIVIL ENGINEER

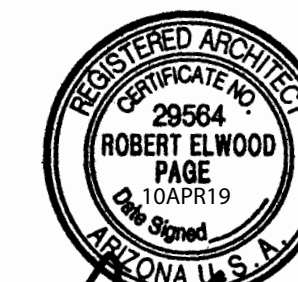
CYPRESS CIVIL DEVELOPMENT
2201 N. COUNTRY CLUB RD #9
TUCSON, AZ 85716
520-991-5213

LANDSCAPE ARCHITECT

ARC STUDIOS
5781 N. PLACITA AMANECER
TUCSON, AZ 85718
520-882-9655

SURVEY

ALTA ARIZONA
2025 W. RUTHRAUFF RD. SUITE 125
TUCSON, AZ 85705
520-398-6651
BRUCE LOOSE



EXPIRES 9/30/2019

REVISIONS

ORO VALLEY SELF STORAGE
& BUSINESS CENTER
9255 N. ORACLE
PARCEL 225-11-295A
ORO VALLEY, AZ

TENTATIVE DEVELOPMENT
PLAN

26 JULY 2018

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ROBERT PAGE, Architect

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