

# Proposed drive-thru use near the southwest corner of Lambert Lane and La Cañada Drive

## Neighborhood Meeting

June 8, 2022

### Ground Rules for Neighborhood Meetings

1. Be respectful of all participants.
2. Celebrate areas of agreement.
3. Work on areas of disagreement respectfully.
4. Listen to each other and do not interrupt.
5. Focus on the issue at hand – and only the issue at hand.
6. Silence our cell phones to minimize interruptions.



**Town of Oro Valley**



Informational Video – posted on [OVprojects.com](https://www.ovprojects.com) May 31, 2022

1<sup>st</sup> neighborhood meeting – June 8, 2022

Formal submittal

Staff review

2<sup>nd</sup> neighborhood meeting – TBD

Planning and Zoning Commission public hearing – TBD

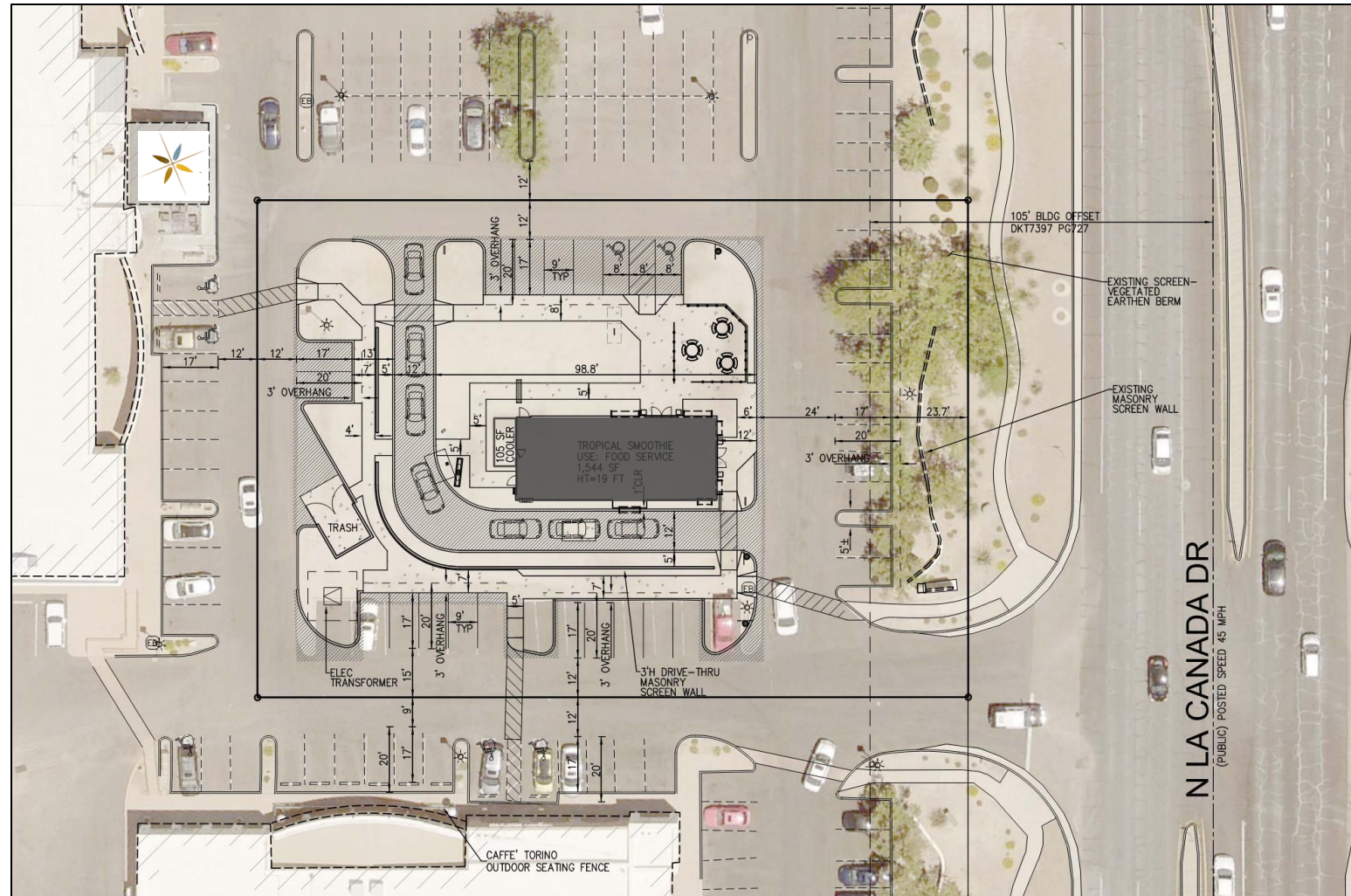
Town Council public hearing – TBD

**Questions?**

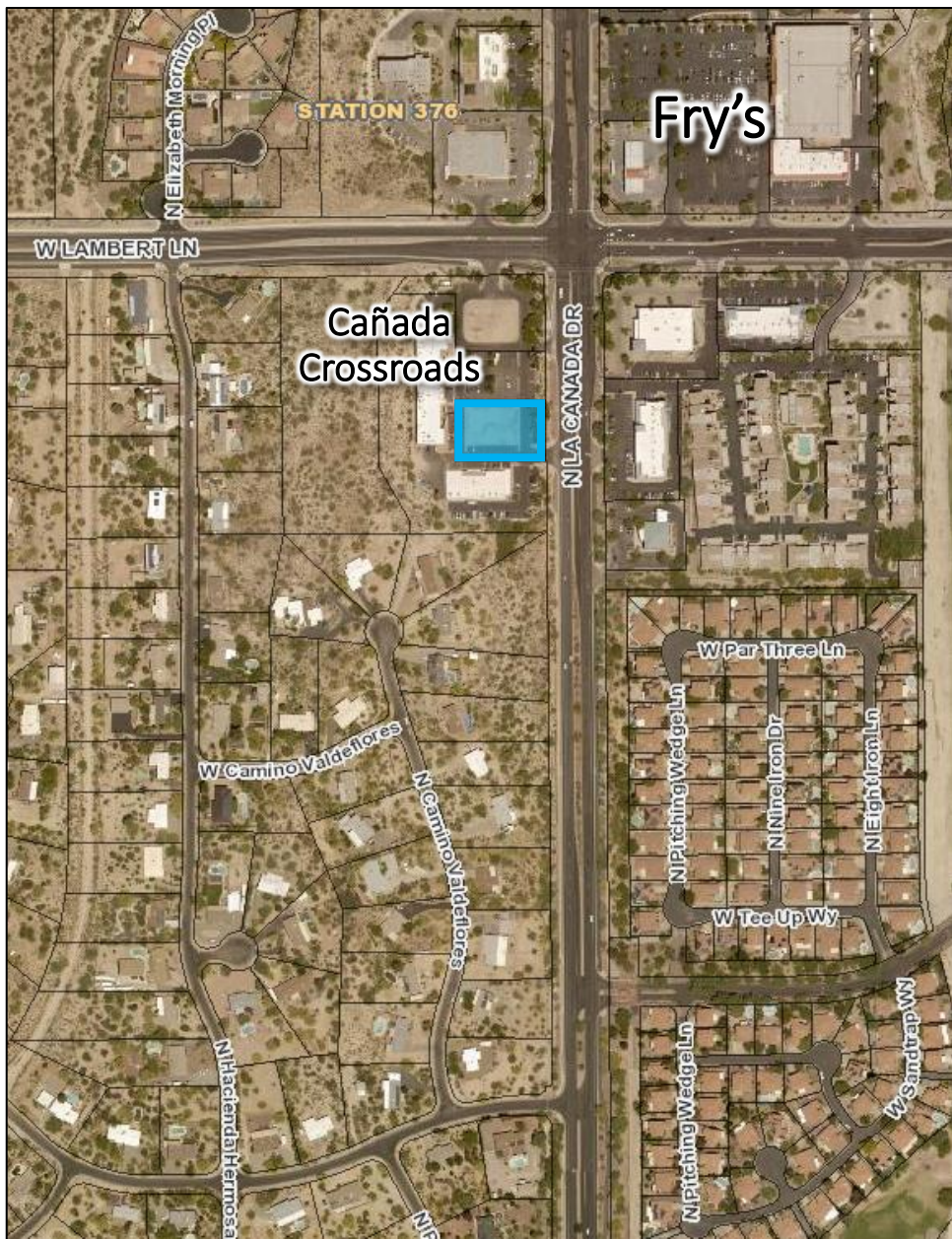
[kpacker@orovalleyaz.gov](mailto:kpacker@orovalleyaz.gov)

**For more information**

[OVprojects.com](https://www.ovprojects.com)



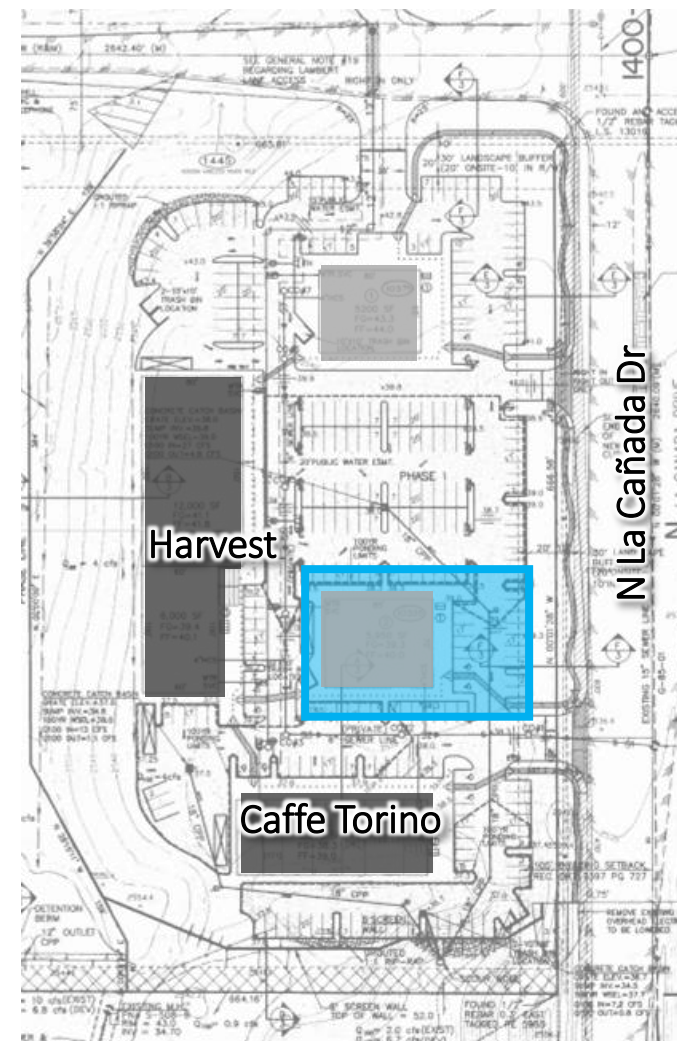






# Zoning and History

- ▶ C-N (Neighborhood Commercial) Zoning
  - ▶ Allows restaurant, office, retail, and other similar uses
- ▶ Center's development plans approved in 1999
  - ▶ Dark grey have been built, light grey have yet to be
  - ▶ Commercial pad already in place
  - ▶ Allowed building height – 25'
- ▶ Focus is on drive-thru



- ▶ Drive-thru requires a Conditional Use Permit (CUP)

- ▶ Traffic / Queueing
- ▶ Noise
- ▶ Compatibility
- ▶ Use-Specific Factors
  - ▶ Drive-thru Screening



# Buffer Distance Reduction Request

- ▶ Drive-thru uses require a 250' buffer from residential uses
- ▶ Applicant requesting to reduce distance
  - ▶ Reduction of required buffer down to existing distance between lot lines





# LA CANADA DR

**PUBLIC OUTREACH FOR—**

- **CONCEPT SITE PLAN**
- **CONDITIONAL USE PERMIT**
- **REDUCTION TO RESIDENTIAL SETBACK**



North



Lambert Ln

La Canada Dr

CANADA CROSSROADS

PROJECT  
SITE

# LOCATION

ADDRESS: 10335 N La Canada Dr

SWC La Canada Dr at Lambert Lane

A portion of the Canada Crossroads Development

## ADJACENT CANADA CROSSROADS BUSINESSES:

- ▶ SUBWAY
- ▶ Les Cheveux Salon
- ▶ Caffè Torino Italian Restaurant
- ▶ Canada Hills Dental
- ▶ Breadsmith
- ▶ Sunline Design Jewelry & Gifts
- ▶ ATI Physical Therapy
- ▶ Harvest
- ▶ Curves for Women
- ▶ Sun Cleaners
- ▶ Book Shoppe Too!
- ▶ Edward Jones
- ▶ Creative Nails
- ▶ Farm Bureau Financial

# Project Site

▶ Looking Southwest at site

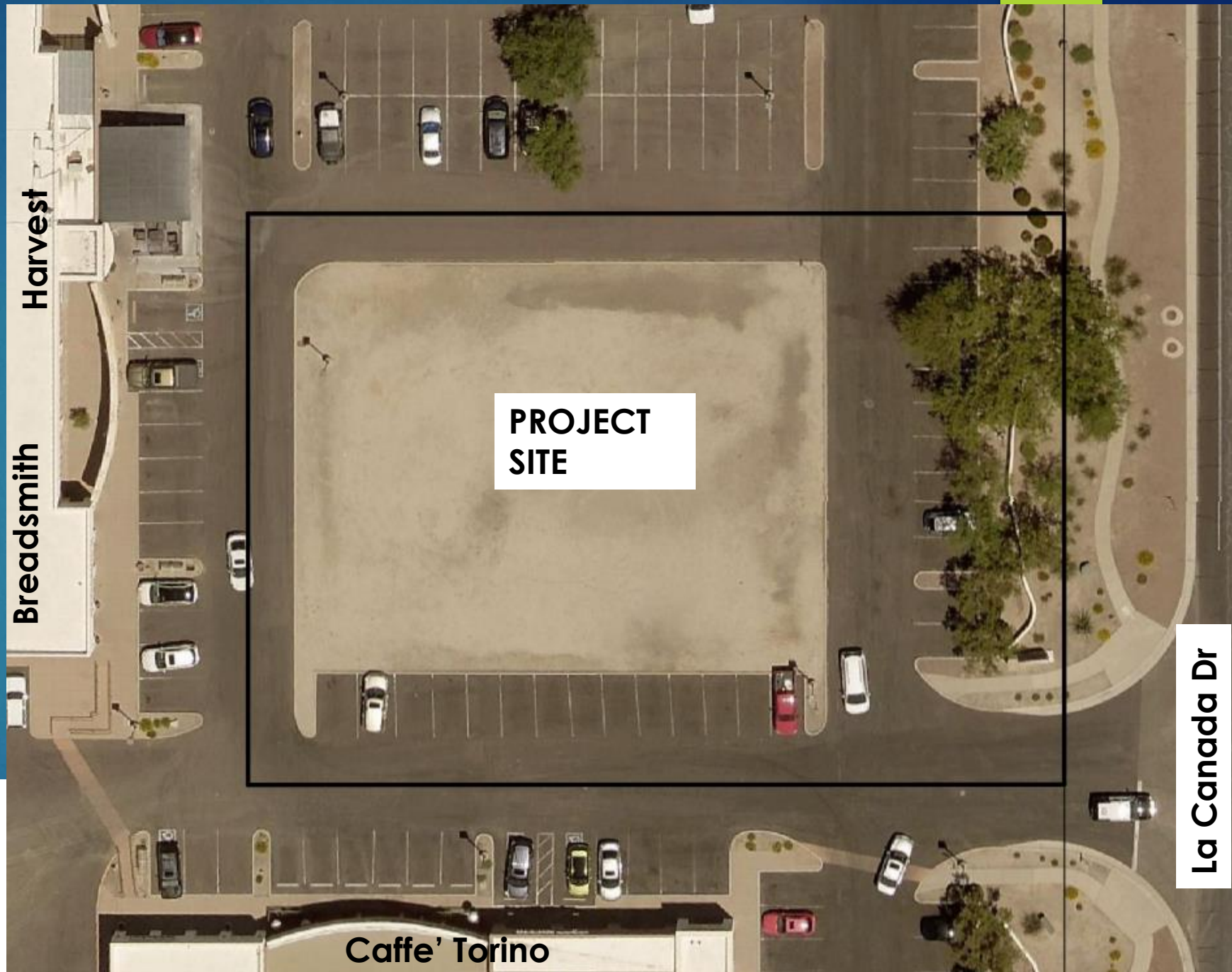




# Site Conditions

- ▶ A 0.76-acre portion of Canada Crossroads Development
- ▶ Vacant, previously graded, building pad with some existing parking

North



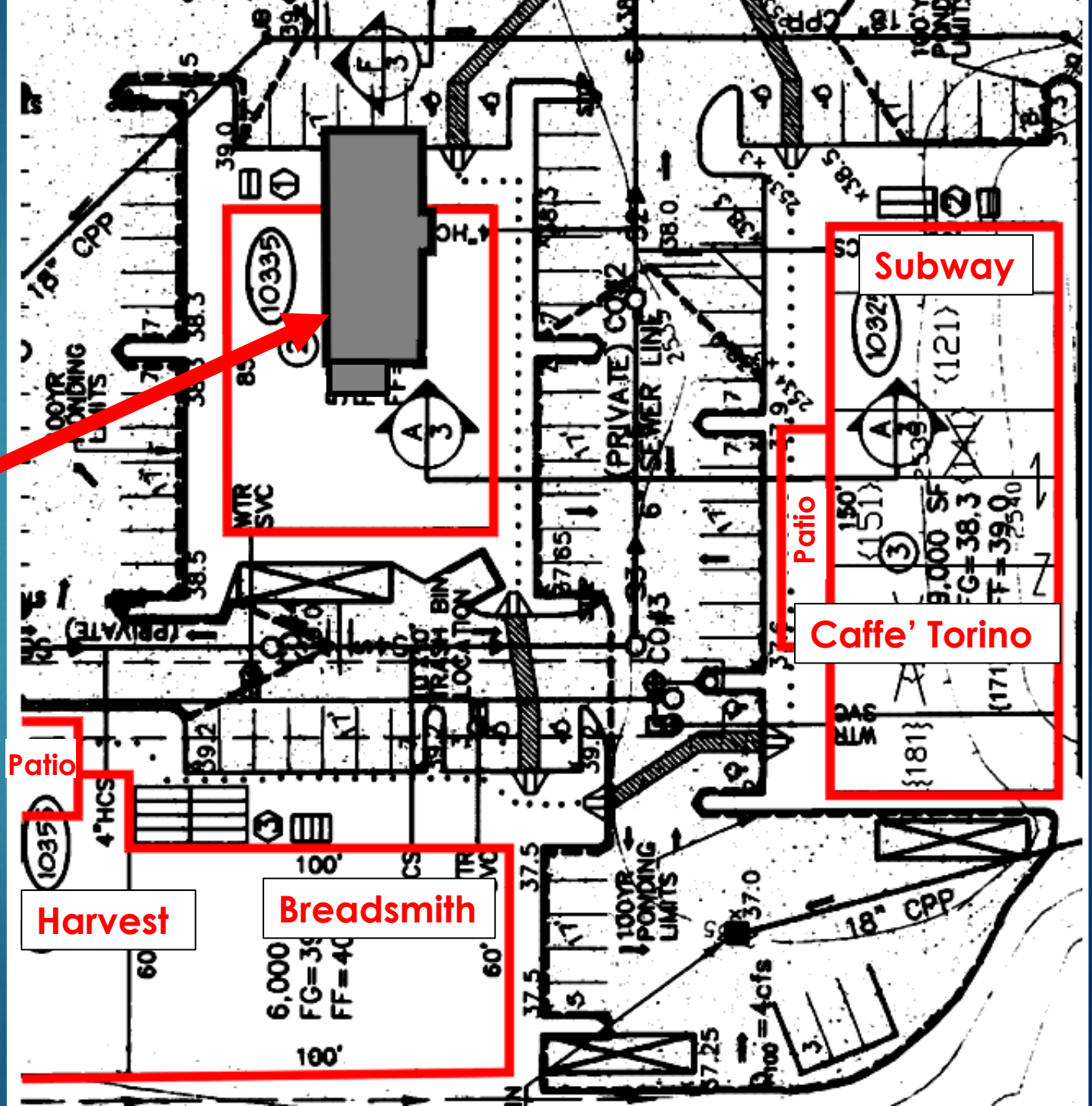




Proposed Tropical Smoothie  
Café = 1,649 SF  
vs. 5,950 SF Approved

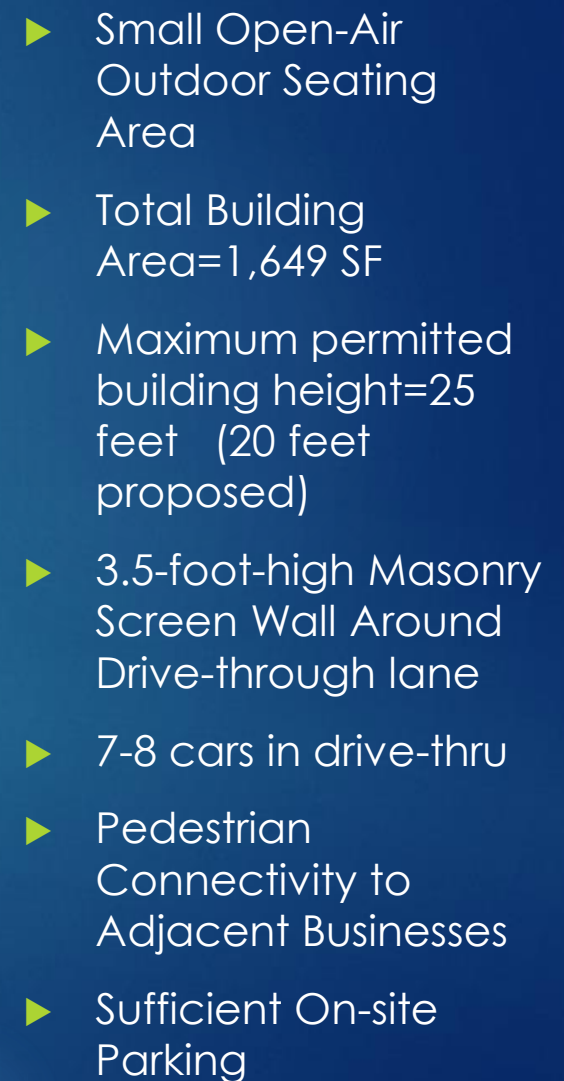
## Proposed Tropical Smoothie building

## North






100



- ▶ Small Open-Air Outdoor Seating Area
- ▶ Total Building Area=1,649 SF
- ▶ Maximum permitted building height=25 feet (20 feet proposed)
- ▶ 3.5-foot-high Masonry Screen Wall Around Drive-through lane
- ▶ 7-8 cars in drive-thru
- ▶ Pedestrian Connectivity to Adjacent Businesses
- ▶ Sufficient On-site Parking



- 
- ▶ **Hours of Operation:** Cafe, Drive-thru & Delivery 6am-10pm
  - ▶ **Noise:** Noise Impact Study underway. Must meet Town restrictions on noise levels.
  - ▶ **Odors:** Approval of an Odor Abatement Plan is required by T.O.V. prior to Building Permit
  - ▶ **Access:** Two existing driveways on La Canada Drive and one on Lambert Lane
  - ▶ **Traffic Generation:**
    - Totals =69 AM/51 PM Peak Hour Trips, 722 ADT
    - Totals Adjusted for Pass-by Trips= 33 AM/21 PM Peak Hour Trips, 360 ADT

# Architectural- Front

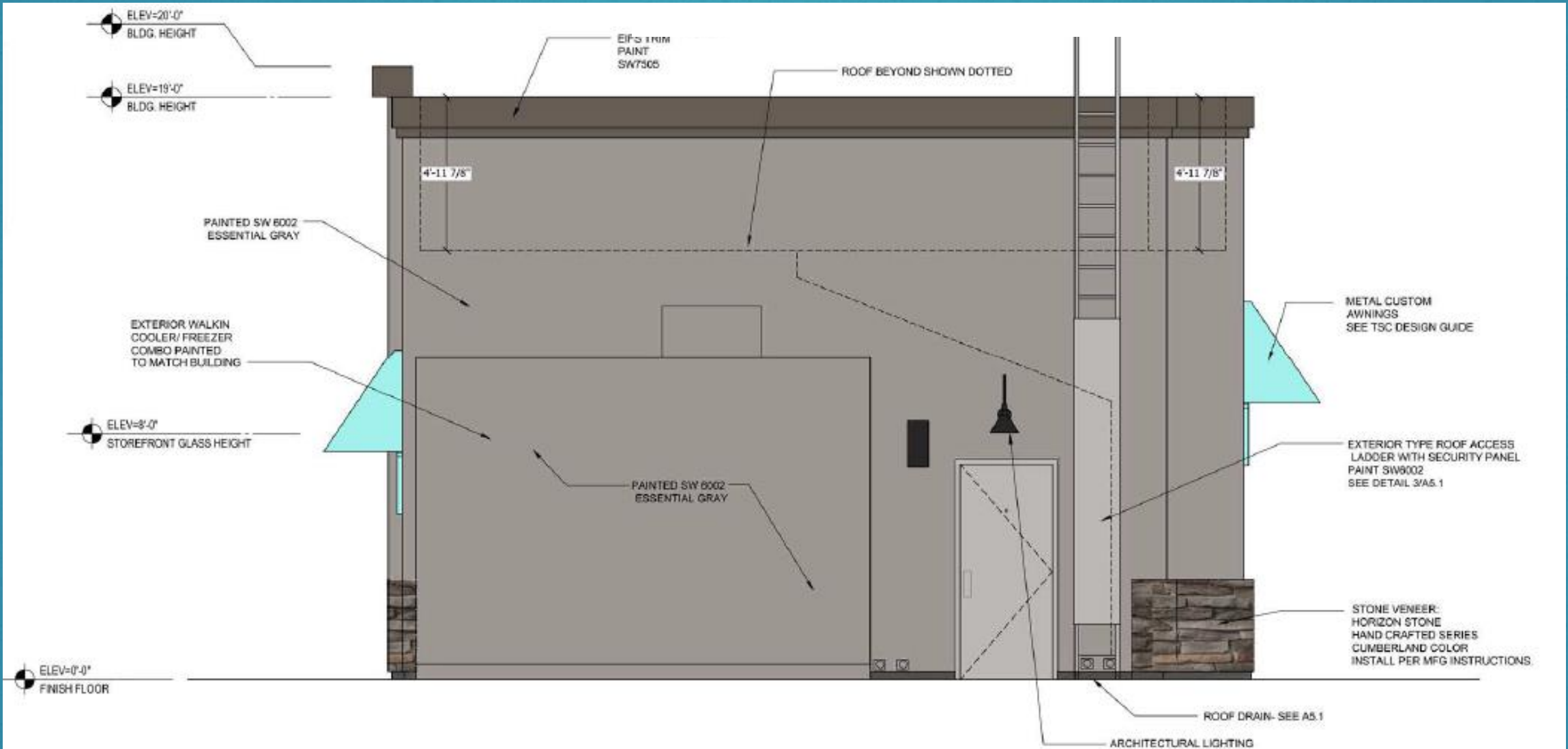




# Architectural-Sides



# Architectural-Rear





# Architecture



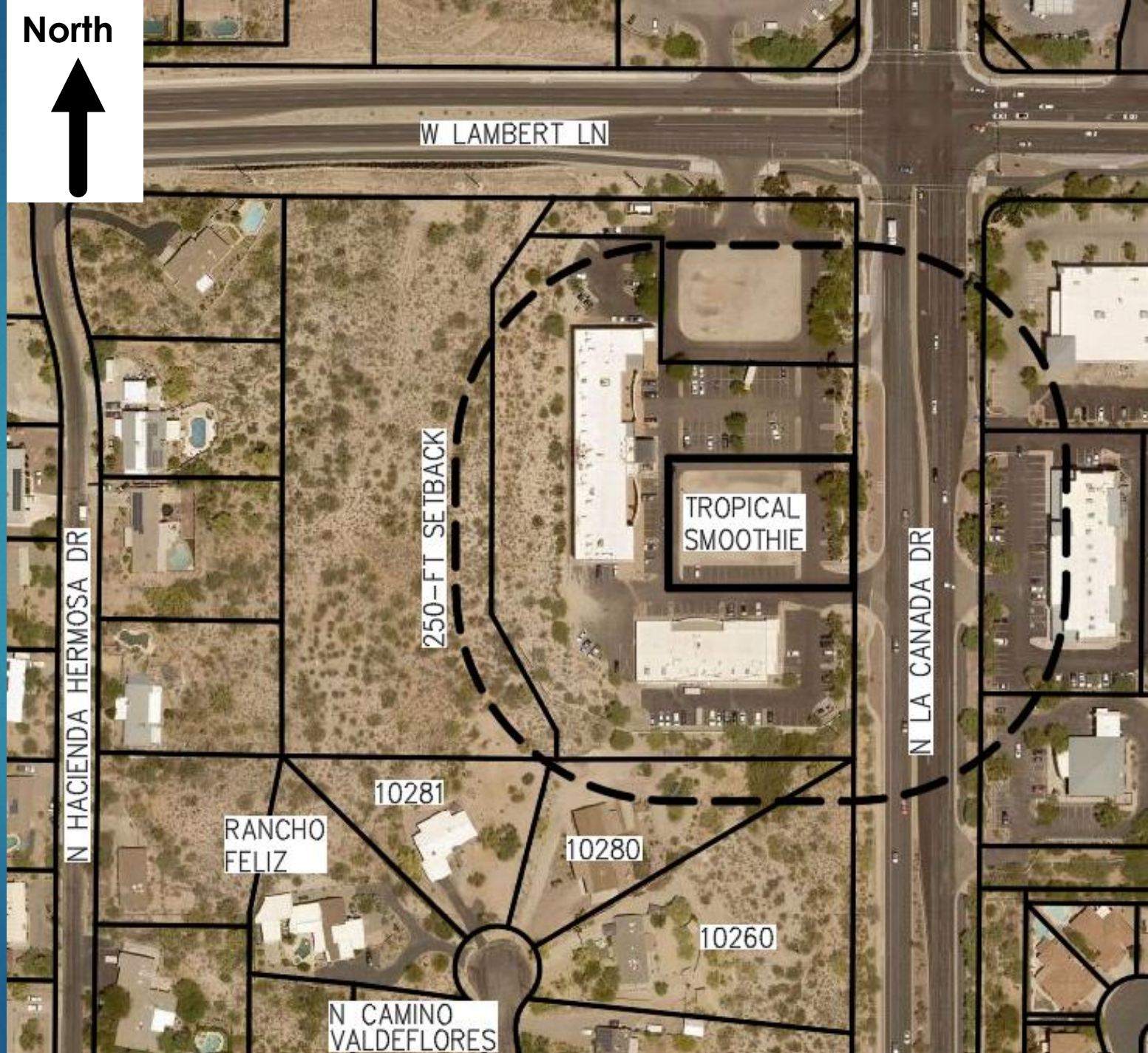
Final colors & materials  
to meet Town of Oro  
Valley requirements

TSC Location:  
Houghton Town Center  
Old Vail Road



# Residential Setback Reduction

- ▶ Reduction Proposed for Convenience Use – Residential Setback (Code 25.1.B.6.a)
- ▶ Standard Setback=250 feet
- ▶ Proposed Setback=195 feet
- ▶ Residential lots within 250 feet:
  - ▶ 10260 N Camino Valdeflores
  - ▶ 10280 N Camino Valdeflores
  - ▶ 10281 N Camino Valdeflores





# Setback Reduction Approval

- ▶ Reductions to the setback are allowed with **Town Council Approval** (Code 25.1.B.6.a.i.d)
- ▶ **Conditions for approval:**
  - ▶ Noise levels shall not exceed the Town Code-restricted maximum levels
  - ▶ Odors are abated, if necessary, per Town Code requirements
  - ▶ Visibility of drive-thru uses and drive-thru lanes are screen in accordance with Town Code Requirements
  - ▶ A major barrier, such as building(s) and topographical features, exists to mitigate impacts on the adjacent residential properties

10260

10280

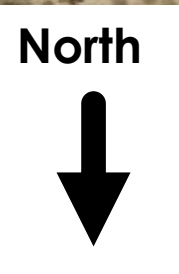
10281

6' SCREEN WALL

La Canada Dr

CAFFE TORINO BLDG

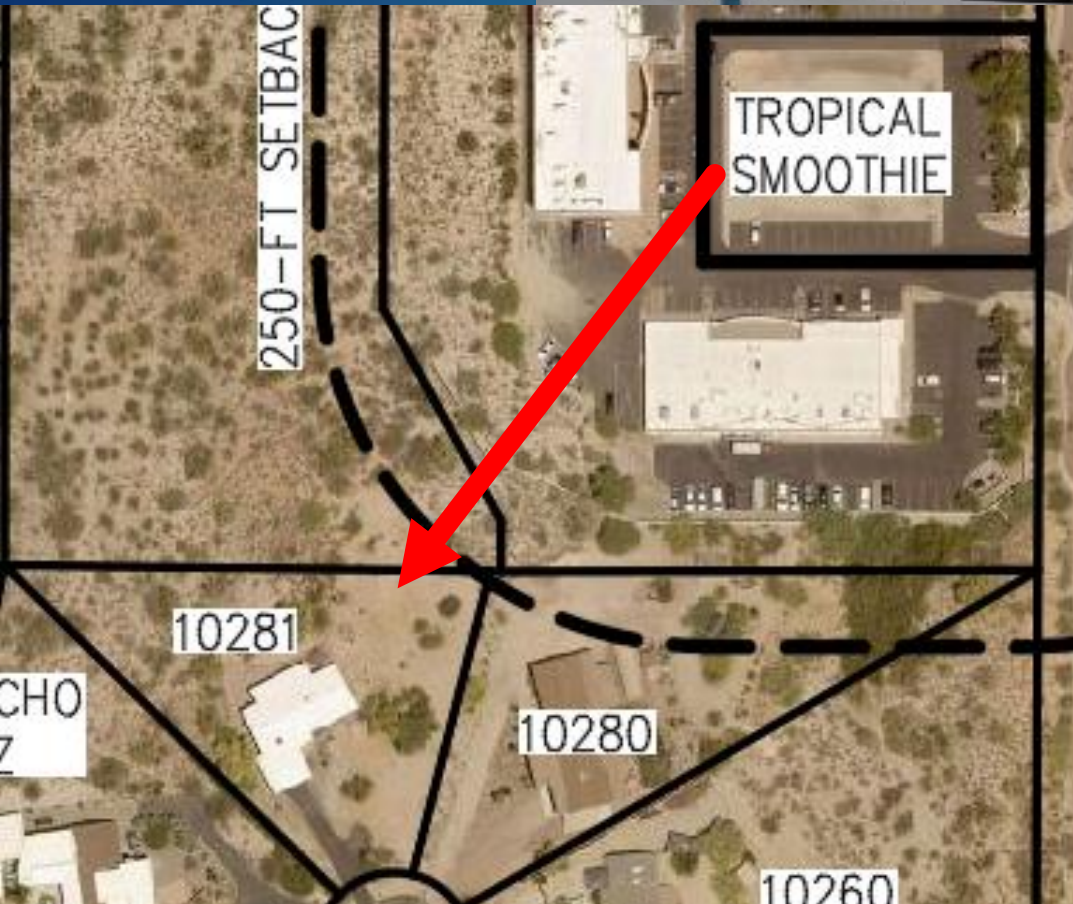
Tropical Smoothie





Existing Building

Topography & Existing  
Canada Crossroads  
6' Screen Wall



View toward 10281 N Cmo Valdeflores





Canada Crossroads 6' Screen Wall



Existing Building with Canada Crossroads 6' screen wall continuing behind the building



View toward 10260 & 10280  
N Cmo Valdeflores



# Lighting

TSC Location:  
Houghton Rd / Old Vail Rd







tropical **CAFE**<sup>®</sup>  
SMOOTHIE

LA CANADA DR









Town of Oro Valley

# Conditional Use Permit Process



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**Questions?**

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## Staff Contact

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Planner I

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[www.OVprojects.com](http://www.OVprojects.com)

“Near the SW corner of Lambert Ln. and La Cañada Dr.,  
Tropical Smoothie - Conditional Use Permit, 2102451”

**Town of Oro Valley**  
[www.orovalleyaz.gov](http://www.orovalleyaz.gov)

