FINAL SITE PLAN & PRIVATE IMPROVEMENT PLAN TROPICAL SMOOTHIE - LA CANADA DR 2302254

GENERAL NOTES

1. BASIS OF BEARINGS IS: "THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 12 SOUTH, RANGE 13 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PIMA COUNTY, ARIZONA BEARING S00°01'14"E (ASSUMED BEARING)" ACCORDING TO A.L.T.A./N.S.P.S. AND TOPOGRAPHICAL SURVEYS PREPARED BY HARVEY LAND SURVEYING, INC. SEALED AND DATED FEBRUARY 25, 2022 BY COLIN D. HARVEY, RLS 42017 (HARVEY JN 2022-32)
2. BASIS OF ELEVATIONS IS: "A PIMA COUNTY OPUS CONTROL POINT #12S13E_J15, SAID POINT BEING IN SECTION 10, TOWNSHIP 12 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PIMA COUNTY, ARIZONA. A #4 REBAR W/ TAG "RLS 13190" LOCATED APPROX. 64 FT NORTH OF LAMBERT LANE AND 91 FEET WEST OF LAMBERT PARK LANE. ELEVATION = 2604.32' (NAVD 88 DATUM)" PER AFOREMENTIONED SURVEY
3. BASIS OF ELEVATION, BASIS OF BEARINGS, BOUNDARIES, EASEMENTS, TOPOGRAPHIC DATA AND CULTURE SHOWN ARE FROM THE AFOREMENTIONED SURVEY PREPARED BY HARVEY LAND SURVEYING INC.
4. THIS PROJECT IS WITHIN THE CANADA CROSSROADS DEVELOPMENT. REFER TO DEVELOPMENT PLAN OV12-98-12.
5. GROSS AREA OF DEVELOPMENT IS 33,103.50 SF OR 0.76 ACRES, MORE OR LESS.
6. GROSS FLOOR AREA (GFA) IS 1,698 SF.
7. MAX FLOOR AREA RATIO (FAR) IS 0.25 PER OVZCR TABLE 23-2B. FAR PROPOSED IS 1,698/33,103.50 = 0.05
8. TOTAL MILES OF NEW PUBLIC STREETS IS 0.
9. TOTAL MILES OF NEW PRIVATE STREETS IS 0.
10. OV10-97-9 IS APPLICABLE TO THE PROJECT AND DOCUMENTS APPROVAL OF A BOARD OF ADJUSTMENT INCREASE IN MAXIMUM BUILDING HEIGHT FROM 18' TO 25'.
11. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS
12. SOLID WASTE REFUSE WILL BE STORED IN SHARED EXISTING DUMPSTER ENCLOSURES AT THE SOUTHEAST CORNER OF CANADA CROSSROADS CENTER.

PLANNING GENERAL NOTES

1. THE USE IS CONVENIENCE USE: DRIVE-THRU RESTAURANT. CONDITIONAL USE PERMIT 2202252 HAS BEEN ISSUED WITH APPROVAL CONDITIONS FOR THIS PROJECT. THE CONDITIONS ARE:
   - 1.1. AN AUTOMATIC GAIN CONTROL MUST BE INSTALLED AS PART OF THE MENU BOARD SPEAKER TO PREVENT ANY INADVERTENT INCREASE IN NOISE DECIBELS THAT EXCEED ZONING CODE STANDARDS.
   - 1.2. NOISE THRESHOLDS MAY NOT EXCEED THE LEVELS ESTABLISHED IN THE NOISE IMPACT STUDY.
   - 1.3. HOURS OF OPERATION FOR THE DRIVE-THRU LIMITED TO 6AM TO 10PM.
   - 1.4. NO SIGNAGE COPY ON THE WEST SIDE OF THE SUBJECT PAD MAY BE VISIBLE FROM ON-SITE PROPERTIES TO THE WEST.
   - 1.5. NO DRIVE-THRU SIGNAGE COPY MAY BE VISIBLE TO ON-SITE PROPERTIES TO THE SOUTH. THE MENU-BOARD SHALL BE ORIENTED AND SCREENED BY SCREEN WALL AND LANDSCAPING AS DEPICTED ON SITE PLAN DATED JULY 2023.
   - 1.6. A SMALL TREE SPECIES WITH LOW MATURE CANOPY WILL BE SELECTED FOR ALL TREES NORTH OF THE BUILDING TO PROTECT MOUNTAIN VIEWS AS SEEN FROM THE RESTAURANT PATIO TO THE NORTHWEST OF THIS PROJECT.
   - 1.7. THE USE IS LIMITED TO DRIVE THRU BUSINESSES THAT REQUIRE NO MORE VEHICLE STACKING CAPACITY THEN REPRESENTED IN THE APPLICATION. IF THE STACKING CAPACITY IS SIGNIFICANTLY EXCEEDED BY ANY BUSINESS, THE CUP IS SUBJECT TO RECONSIDERATION BY PLANNING & ZONING COMMISSION AND TOWN COUNCIL.
   - 1.8. THERE WILL BE NO PEDESTRIAN OR EMPLOYEE WALING ROUTES OR CROSSWALKS WITHIN THE DRIVE-THRU LANE EXCEPT AT THE VEHICLE ENTRY AND EXIT POINTS.
   - 1.9. THE SOUTHERN AND WESTERN AREAS IN-BETWEEN THE PARKING CURB AND THE SCREEN WALL TOP WILL BE VEGETATED AT MAXIMUM CAPACITY AS DETERMINED BY THE PLANNING & ZONING ADMINISTRATOR, IN ORDER TO CREATE A COLORFUL GARDEN PRESENCE AS VIEWED FROM THE ADJACENT RESTAURANT OUTDOOR DINING AREAS.
   - 1.10. WHILE PRESERVING FUNCTIONALITY AS DETERMINED BY THE PLANNING & ZONING ADMINISTRATOR AND TOWN ENGINEER, THE ORDER KIOSK MUST BE MOVED CLOSER TO THE PICK-UP WINDOW TO ENLARGE ORDER KIOSK APPROACH QUEUING CAPACITY.
2. A REDUCTION TO THE REQUIRED 250-FEET SEPARATION BETWEEN CONVENIENCE USES AND RESIDENTIALLY-USED PROPERTIES HAS BEEN GRANTED FOR THIS PROJECT. (CUP 2202252)
3. THE MAXIMUM BUILDING HEIGHT IS 25' PER BOARD OF ADJUSTMENT INCREASE DOCUMENTED IN OV10-97-9. THE PROPOSED BUILDING HEIGHT IS 20'.
4. NO OVERLAY ZONES ARE APPLICABLE.
5. THIS PROJECT IS NOT INCLUDED IN THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA).
6. THIS PROJECT IS NOT SUBJECT TO THE REQUIREMENTS FOR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
7. MINIMUM OPEN SPACE REQUIREMENT IS 25% OF LOT AREA=8,276 SF PER OVZCR TABLE 23-2B. TOTAL PROVIDED IS 8,279 SF.
8. NO LANDSCAPE BUFFER YARDS ALONG INTERIOR BORDERS ARE REQUIRED PER OVZCR TABLE 27.7. A MINIMUM 30' BUFFER YARD 'B' IS REQUIRED ALONG THE STREET FRONTAGE PER OVZCR TABLE 27-9. A STREET BUFFER YARD WITH 20' ONSITE AND 10' IN THE PUBLIC RIGHT-OF-WAY EXISTS PER APPROVED DEVELOPMENT PLAN BK19, PG30.
9. NO SCREENING ALONG INTERIOR BORDERS IS REQUIRED PER OVZCR TABLE 27-12.
10. SETBACKS REQUIRED:
    FRONT: 20' (76.7' PROVIDED). ALSO 105' FROM SECTION LINE PER DOCKET 7397 AT PAGE 727 (EQUATES TO 30' FROM FRONT PROPERTY LINE)
    PERIMETER SIDE & REAR SETBACKS FOR CANADA CROSSROADS DO NOT IMPACT THE SUBJECT PARCEL.
11. EXISTING ZONING IS C-N
12. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS
13. ALL PUBLIC ART REQUIREMENTS FOR CANADA CROSSROADS HAVE BEEN MET.
14. IN THE EVENT OF ABANDONMENT OF THE SITE AFTER GRADING/DITRUBANCE OF NATURAL AREAS, DISTURBED AREAS SHALL BE RE-VEGETATED WITH A NON-IRRIGATED HYDRO SEED MIX FROM OVZCR ADDENDUM D: APPROVED REVEGETATION SEED MIX.

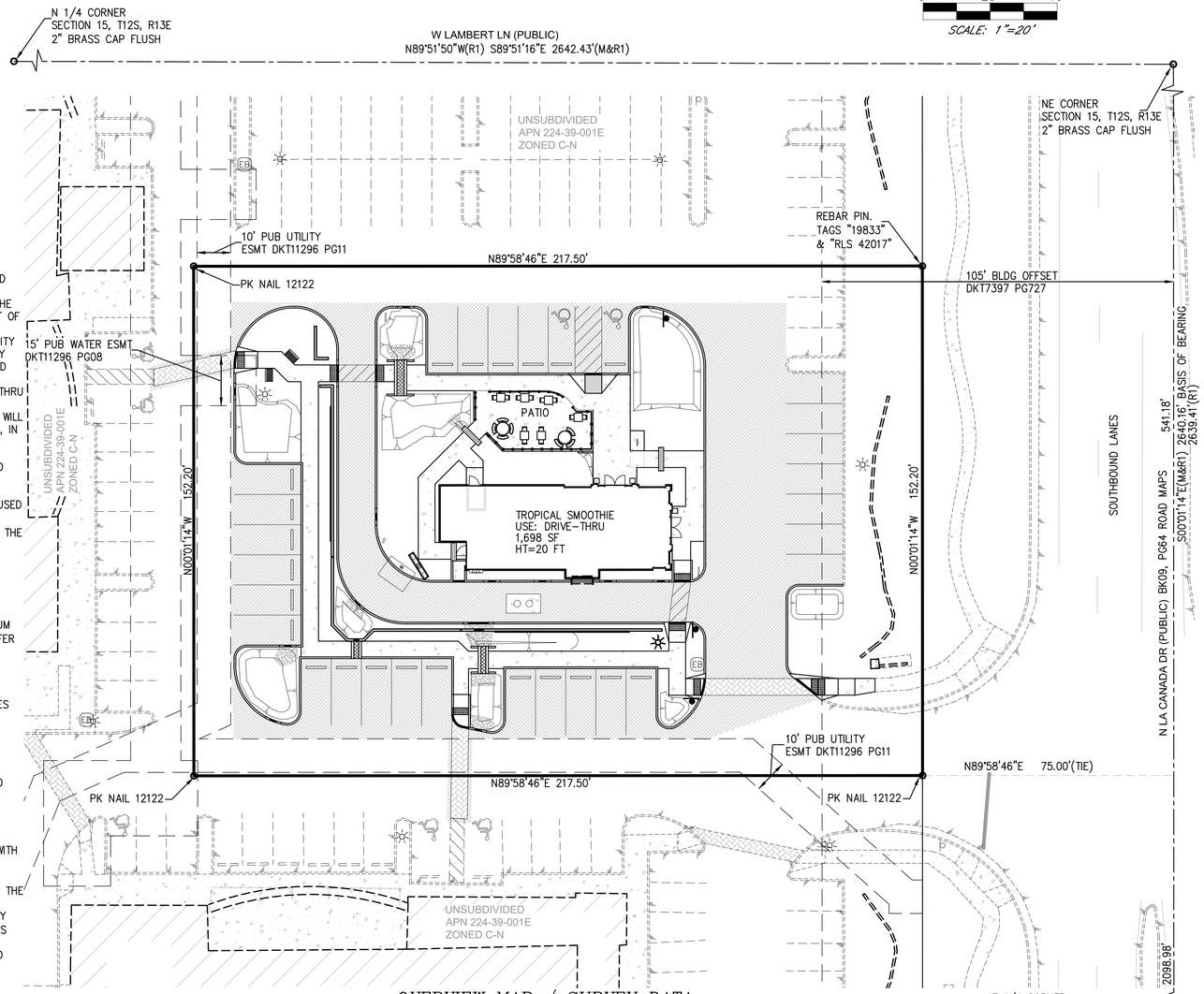
ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30 (EXCLUDING DRIVE-THRU). DESIGN SPEED IS 5 MPH
2. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC
4. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY-TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
5. FINAL SITE PLAN AND IMPROVEMENT PLANS MUST BE APPROVED FOR COMMERCIAL LOTS OR PADS PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL

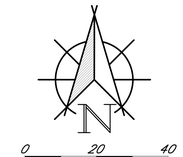
DRAINAGE GENERAL NOTES

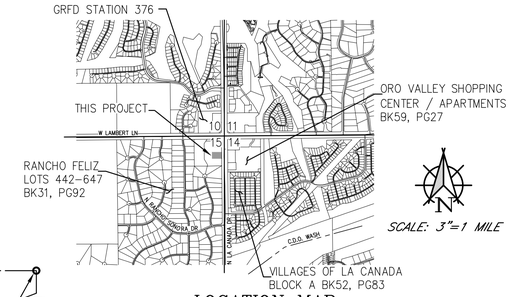
1. THIS PROJECT DOES NOT PROPOSE ANY SUBSTANTIAL CHANGE TO THE DRAINAGE SCHEME OR STORMWATER DETENTION REQUIREMENTS APPROVED FOR THE CANADA CROSSROADS DEVELOPMENT PLAN OV12-98-12. THE PROJECT PROPOSES 73% IMPERVIOUS AREAS COMPARED TO 88% IMPERVIOUS AREAS ON THE APPROVED DEVELOPMENT PLAN OV12-098-12.
2. ALL DRAINAGEWAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED. NO PARCEL IS AFFECTED.
3. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
4. DRAINAGEWAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGEWAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS' ASSOCIATION.
5. DRAINAGEWAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. THE PARKING LOT IS USED AS A DETENTION BASIN AS PREVIOUSLY APPROVED UNDER CASE OV12-98-12

(NOTES CONTINUED ON SHEET 2)



OVERVIEW MAP / SURVEY DATA





LOCATION MAP

LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E,
G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

LEGEND

- SUBJECT PARCEL BOUNDARY
- ADJACENT PROPERTY/ROW LINE
- EASEMENT LINE
- CENTERLINE
- EXISTING CURB AND EDGE OF ASPHALT PAVEMENT
- 2540 — EXISTING 5' CONTOUR LINE
- EXISTING 1' CONTOUR LINE
- 8"W — EXISTING WATERLINE, VALVE, REDUCER & METER
- UGE — EXISTING UNDERGROUND ELECTRIC
- G — EXISTING GAS LINE
- 8"S — EXISTING SEWER, FLOW DIRECTION & MANHOLE
- 4"FS — PROPOSED FIRE SERVICE LINE, REDUCER, HORIZONTAL BEND
- 4"BCS — PROPOSED BUILDING CONNECTION SEWER & CLEANOUT
- PAVEMENT SAWCUT LINE
- VERT. CURB & DRAINAGE CURB OPENING
- EXIST LIGHT POLE
- SURVEY MONUMENT OR PIN AS NOTED
- 40.00 GB — FINAL GRADE (ADD 2500') W/ ABBREVIATED DESCRIPTION
- 40.00± — APPROXIMATE EXIST GRADE / MATCH-IN GRADE
- T, G, GB, HP, LP, INV, FFE — TOP OF CURB/SDWK, GUTTER, GRADE-BREAK, HIGH POINT, LOW POINT, INVERT, FINISHED FLOOR ELEVATION
- FLOW DIRECTION ARROW
- Q_{100}=___ — 100-YR ONSITE RUNOFF RATE
- ASPHALT PAVING
- CONCRETE/SIDEWALK
- BRICK-PATTERN STAMPED CONC. CROSSWALK
- PROPOSED FENCE
- APPROX 100-YR DETENTION BASIN PONDING LIMIT

CIVIL ENGINEER

DYNAMIC CIVIL DESIGNS LLC
ATTN: JAMES MCMURTRIE
4690 N MELPOMENE WAY
TUCSON, AZ 85749
PH (520) 461-8016
EMAIL JAMES.MCM@LIVE.COM

ARCHITECT

NEPTUNE DESIGN GROUP
ATTN: CHRIS NEAL
6501 E GREENWAY PKWY #103-707
SCOTTSDALE, AZ 85254
PH (480) 297-5577
EMAIL cneal@neptunedg.com

OWNER/DEVELOPER

ONETEN REI GUADALUPE LLC
ATTN: NICO FRICCHIONE
140 RIO SALADO PKWY STE 1104
TEMPE, AZ 85281
PH (570) 947-7372
EMAIL nico@onetenrei.com

LANDSCAPE ARCHITECT

NOVAK ENVIRONMENTAL
ATTN: KAREN CESARE
4574 N 1ST AVE STE 100
TUCSON, AZ 85718
PH (520) 206-0591
FX (520) 882-3006
EMAIL karen@novakenvironmental.com

SITE ADDRESS

10335 N LA CANADA DR
ORO VALLEY, AZ 85737

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

EARTHWORK

1. EARTHWORK ESTIMATES ARE RAW AND UNADJUSTED FOR SHRINK & ROCK AND ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFFS.
2. DISTURBANCE AREA=23,443 SF
3. RAW CUT VOL=293 CY
4. RAW FILL VOL=25 CY

SHEET INDEX

1 -LEGEND, OVERVIEW MAP/ SURVEY DATA, NOTES
2-4 -NOTES CONTINUED, GRADING NOTES, DETAILS
5 -SITE DEMO PLAN
6 -SITE PLAN
7 -UTILITIES PLAN
8 -PRIVATE WATER PLAN
9 -DRAINAGE PLAN
10 -PAVING & GRADING PLAN
11 -GRADING DETAILS

APPROVALS:

Bayer Vella — Digitally signed by Bayer Vella DN: C=US, E=bvella@orovalleyaz.gov, O=Town of Oro Valley, OU=Planning Division, CN=Bayer Vella Date: 2023.11.28 13:32:40-07'00'

PLANNING & ZONING ADMINISTRATOR — DATE 2023.11.27 15:07:45-07'00'

TOWN ENGINEER — DATE

Peter Abraham — "Totally signed by Peter Abraham DN: C=US, E=pabraham@orovalleyaz.gov, O=Town of Oro Valley, OU=CIVIL ENGINEERING, CN=Peter Abraham Date: 2023.11.28 14:52:01-07'00'"

ORO VALLEY WATER UTILITY DIRECTOR — DATE

REGISTERED PROFESSIONAL ENGINEER (CIVIL) CERTIFICATE NO. 52626 JAMES R. McMURTRIE ARIZONA U.S.A. DATE SIGNED 11/28/23

Dynamic Civil Designs LLC
4690 N MELPOMENE WAY TUCSON ARIZONA 85749
PH: (520) 461-8016 EMAIL: james.mcm@live.com

LOT	PROPOSED USE	SQUARE FOOTAGE	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		LOADING ZONE RATIO	TOTAL LOADING ZONES		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
PAD 2	CONVENIENCE USE: DRIVE-THRU	1,698 SF RESTAURANT	9/1000	15	32(26 EXIST)	2	2	NONE REQ'd	0	0	0	0	2	2
OV12-98-12 REFERENCE INFO		5,950 SF RETAIL	5.5/1000 (CALCULATED)	33					1	1				
TOTALS				15	32	2	2		0	0	0	0	2	2

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

FINAL SITE PLAN &
PRIVATE IMPROVEMENT PLAN
TROPICAL SMOOTHIE-LA CANADA DR
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO: 2302254
JOB NO. D21017 — SCALE HORIZ: 1"=20'
DATE: NOVEMBER, 2023 — CONTOUR INTERVAL=N/A

(CONTINUED FROM SHEET 1)

ORO VALLEY WATER UTILITY GENERAL NOTES

1. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
4. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER
5. ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM
6. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY (OVWU) FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
7. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
8. ALL WATER CONSTRUCTION SHALL CONFORM TO "ORO VALLEY WATER UTILITY STANDARD SPECIFICATIONS FOR POTABLE WATER CONSTRUCTION", LATEST EDITION, AND THE "TUCSON WATER STANDARD SPECIFICATIONS AND DETAILS" LATEST EDITION. BOTH SHALL BE AVAILABLE ONSITE AT ALL TIMES DURING CONSTRUCTION.
9. THE CONTRACTOR IS REQUIRED TO CONTACT "BLUE STAKE" (1-800-782-5348) 48 HOURS PRIOR TO ANY EXCAVATION TO DETERMINE ACCURATE UTILITY LOCATIONS.
10. ALL #2 AND #3 METER BOX LIDS SHALL HAVE A 2 INCH DIAMETER HOLE IN THEM, 4 INCHES FROM THE EDGE OPPOSITE THE LID LIFTING HOLE AND CENTERED SIDE TO SIDE. A PLASTIC PLUG TO FILL THIS HOLE SHALL BE SUPPLIED AS WELL. THIS SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SUPPLY.
11. SUPPLEMENT THE TUCSON WATER STANDARD SPECIFICATIONS 0209.0310 (BEDDING MATERIAL) AS FOLLOWS: TWO WEEKS PRIOR TO BEDDING MATERIAL DELIVERY TO THE PROJECT SITE THE ORO VALLEY WATER UTILITY INSPECTOR SHALL RECEIVE A 5-GALLON BUCKET SAMPLE, AND A COPY OF THE SIEVE ANALYSIS PERFORMED BY THE CERTIFYING TESTING FACILITY. IN ADDITION TO PASSING THE SIEVE ANALYSIS AND PLASTICITY REQUIREMENTS OF THE SPECIFICATION THE FOLLOWING QUALITATIVE CHARACTERISTICS SHALL BE MET. THE MATERIAL SHALL BE OF A GRAYISH/WHITISH HOMOGENEOUS COLOR. WHEN MOISTENED AND BALLED IN THE PALM OF THE HAND THE MATERIAL SHALL HAVE NO COHESIVE PROPERTIES AND LEAVE LITTLE TO NO FINES RESIDUE IN THE PALM OF THE HAND WHEN RELEASED AS DETERMINED BY THE ORO VALLEY WATER UTILITY INSPECTOR. FAILURE TO MEET EITHER THE SIEVE ANALYSIS OR THE QUALITATIVE CHARACTERISTICS AS SPECIFIED SHALL BE GROUNDS FOR REJECTION OF THE BEDDING MATERIAL.
12. CONTRACTOR PERFORMING THE WORK MUST HAVE THE APPROPRIATE LICENSE TO WORK ON PUBLIC WATER INFRASTRUCTURE.
13. CONTRACTOR MUST CALL ORO VALLEY WATER AT 229-5017, 48 HOURS MINIMUM TO SCHEDULE A PRE-CONSTRUCTION MEETING.
14. ALL COMMERCIAL SERVICES WILL REQUIRE BACKFLOW PREVENTION TO BE INSTALLED BY THE DEVELOPER AND ACCEPTED BY THE UTILITY PRIOR TO ANY WATER SERVICE BEING PROVIDED. CONTACT ADAM PENCE FOR FURTHER INFORMATION AT 229-5042.
15. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES.
16. THIS WATER SYSTEM IS DESIGNED TO ACCOMMODATE 1,500 GPM FIRE FLOW FOR 2 HOURS.
17. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES. THIS INCLUDES A NPDES PERMIT OR WAIVER FOR FLUSHING OF HIGHLY CHLORINATED WATER. SAID WATER WILL COMPLY WITH PERMITTING CRITERIA.
18. AVAILABILITY OF CONSTRUCTION WATER (INCLUDING WATER FOR FLUSHING) MAY BE LIMITED AND MUST BE COORDINATED WITH OVWU STAFF.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1,000 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. NEW COMMERCIAL BUILDING SHALL BE EQUIPPED WITH AUTOMATICE FIRE SPRINKLER SYSTEM.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS
5. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.
6. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM

BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
   - INTERNATIONAL CODES WITH LOCAL AMENDMENTS
   - NATIONAL ELECTRICAL CODE
   - ADA STANDARDS FOR ACCESSIBLE DESIGN
   - GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
   - TOWN OF ORO VALLEY POOL CODE
   - PAG STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
   - TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
   - TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
   - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
   - ORO VALLEY TOWN CODE, CURRENT REVISED

GRADING NOTES (TOWN OF ORO VALLEY STANDARD NOTES)

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE W/ PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS (PAG SSPI), EDITION OF 2015, EXCEPT AS MODIFIED HEREBY.
2. ALL CONSTRUCTION AND TESTING METHODS SHALL BE IN CONFORMANCE WITH PAG SSPI, EDITION OF 2015 EXCEPT AS MODIFIED HEREBY.
3. ALL WORK SHALL BE IN CONFORMANCE TO GRADING STANDARDS, CHAPTER 27: SECTION 27.9 OF THE ORO VALLEY ZONING CODE REVISED JULY 2007.
4. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PAG SSPI, SECTION 203-5.
5. ALL CONCRETE SHALL COMFORM TO PAG SSPI SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
6. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION
7. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
8. CONTRACTOR SHALL CALL BLUE STAKE (ARIZONA 811) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. CONTRACTORS SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
10. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
11. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY THE TOWN OF ORO VALLEY PRIOR TO SUCH REVISIONS/CHANGES BEING MADE IN THE FIELD.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, CART PATHS AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR. ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
13. ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE OR IMPLY ACCEPTANCE OF ANY OF THE FOLLOWING:
    - A. WALL(S), RETAINING OR OTHER TYPE(S).
    - B. ANY REINFORCED CONCRETE STRUCTURE(S)
    - C. ANY EMBANKMENT(S) WHOSE PRIMARY PURPOSE IS TO FUNCTION AS A RETENTION/DETENTION STRUCTURE

      THE ITEMS LISTED ABOVE ARE APPROVED FOR LOCATION ONLY. SEPARATE PLAN CHECKS AND PERMITS ARE REQUIRED, ALL IN ACCORDANCE WITH THE APPLICABLE CODES OF THE TOWN OF ORO VALLEY.
14. THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE SURVEYOR OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE AS LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS, AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE SURVEYOR OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED THE GRADING CONSTRUCTION PRICE.
16. BUILDING SITES SHALL BE CONSTRUCTED WITHIN 0.10 FOOT OF FINISH BUILDING PAD ELEVATIONS AS STAKED BY THE SURVEYOR. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN +0.10 FEET OF FINISH SUBGRADE AS STAKED BY THE SURVEYOR.
17. A REPORT OF GEOTECHNICAL ENGINEERING EVALUATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING (DATED FEB. 9, 2022, PROJECT NO. 22-004) FOR THIS PROJECT. EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT AND ANY AMENDMENTS THERETO.
18. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL CONSTRUCTION OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL, TRENCH EXCAVATION AND BACKFILL, MATERIAL TESTING, TOGETHER WITH PLACEMENT OF FILL. SAID ENGINEER SHALL CERTIFY IN WRITING THAT ALL SOILS OPERATIONS AND MATERIALS USED FOR THIS DEVELOPMENT WERE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SET FORTH IN THE GEOTECHNICAL INVESTIGATION OF RECORD AND ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATIONS. CERTIFICATION, IN WRITING, ARE TO BE RECEIVED BY THE TOWN OF ORO VALLEY PRIOR TO THE REQUEST FOR FINAL INSPECTION AND RELEASE OF ASSURANCES.
19. GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO APPROVED PROJECT LIMITS AS SHOWN ON THESE PLANS.
20. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING THE CONSTRUCTION LAYOUT TO VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
21. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC. FROM ALL NECESSARY OWNER, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEIGHBORING) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCROACHING OR AFFECTING – DIRECTLY OR INDIRECTLY– ON THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.

ADDITIONAL GRADING GENERAL NOTES

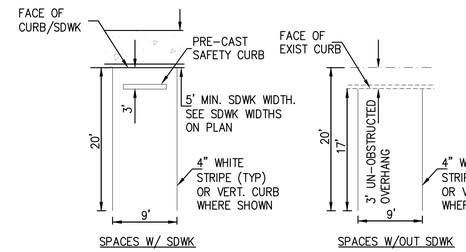
1. THE CONTRACTOR AND HIS SUBCONTRACTORS ARE TO VERIFY QUANTITIES AND BASE THEIR BID SOLELY ON THEIR OWN ESTIMATE.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO (2) FULL WORKING DAYS PRIOR TO CONSTRUCTION. THE PLAN LOCATION OF UTILITIES SHOWN ARE APPROXIMATE, BASED ON AVAILABLE RECORDS AND SURVEY. NEITHER THE OWNER NOR THE ENGINEER CAN GUARANTEE THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND/OR ELEVATION OF EXISTING UTILITIES WHICH PERTAIN TO AND AFFECT CONSTRUCTION OF THIS PROJECT.
3. CUT OR FILL SLOPES 3:1 OR LESS STEEP MUST BE RE-VEGETATED IN ACCORDANCE WITH THE LANDSCAPE PLAN.
4. THE ENGINEER SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES, OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY THE ENGINEER.
5. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, ARCHITECT, AND ENGINEER HARMLESS FROM LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, OR ENGINEER.
6. GRADING SHALL NOT COMMENCE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY THE TOWN OF ORO VALLEY.
7. THE PORTION OF THE SITE TO BE GRADED SHALL BE CLEARLY MARKED PRIOR TO GRADING, CLEARING OR GRUBBING. CONSTRUCTION EQUIPMENT SHALL ONLY BE PERMITTED WITHIN MARKED AREA.
8. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% MAX DENSITY. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY COMPACTION TESTING RECORDS AND/OR CERTIFICATIONS REQUIRED BY THE TOWN OF ORO VALLEY. REFER TO GRADING PERMIT CONDITIONS.
9. ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF EIGHT (8) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.
10. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS, INCLUDING BUT NOT LIMITED TO CLEARING, GRUBBING, SUBGRADE PREPARATIONS, STRUCTURAL, AND TRENCH EXCAVATION AND BACKFILL TOGETHER WITH THE PLACEMENT AND COMPACTION OF FILL.
11. ALL CUT AND FILL SLOPES ARE TO BE REVEGETATED & ALL SLOPES TO BE A MAXIMUM OF 3:1, UNLESS OTHERWISE NOTED.
12. ALL WATER VALVE BOXES, STORM DRAIN, SEWER AND OTHER UTILITY MANHOLES WITHIN THE AREAS OF GRADING OR PAVING SHALL BE BROUGHT FLUSH TO FINISH GRADE.
13. WHEN MATCHING EXISTING PAVEMENT OR CURB AND GUTTER THE CONTRACTOR MUST VERIFY EXISTING ELEVATIONS TO ENSURE PROPER DRAINAGE AND GRADES. ANY DISCREPANCIES WITH THE PLANS SHALL BE IMMEDIATELY FORWARDED TO THE ENGINEER.
14. THE CONTRACTOR SHALL PROVIDE FOR DUST CONTROL AT ALL TIMES DURING SITE GRADING.
15. ANY ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFF WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACK FILLED UNTIL THE TOWN OF ORO VALLEY INSPECTOR INSPECTS THE WORK AND APPROVES IT.
16. WALLS AND FENCES REQUIRE SEPARATE PERMITS AND, IF STRUCTURAL DESIGN IS REQUIRED, SHALL BE STRUCTURALLY DESIGN BY OTHERS. DEPICTIONS OF WALLS AND FENCES ON THIS PLAN ARE FOR REFERENCE ONLY.

PAVING NOTES

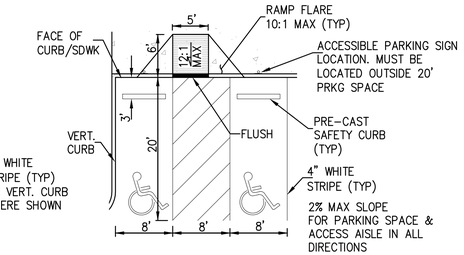
1. THE PAVEMENT SECTIONS SHALL BE AS NOTED ON THE PLAN.
2. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI SECTION 406, MIX# 2
3. AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI SECTION 303.
4. SLAB THICKNESS, REINFORCEMENT, AND SPACING OF CONTRACTION AND EXPANSION JOINTS FOR CONCRETE PATIOS OR OTHER LARGE (NON-SIDEWALK) CONCRETE AREAS SHALL BE DESIGNED BY OTHERS.
5. ALL EXCAVATION/PAVING IS TO PROVIDE FOR DRAINAGE AS INDICATED BY FLOW ARROWS.

ACCESSIBLE PATH REQUIREMENTS

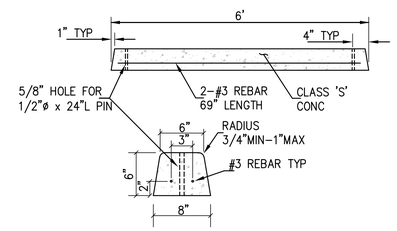
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL NEW ACCESSIBLE PATHS MEET THE DIMENSIONAL AND SLOPE REQUIREMENTS FOR SIDEWALKS, SIDEWALK RAMPS, CURB ACCESS RAMPS, LANDINGS, CROSSWALKS, HANDRAILS, DETECTABLE WARNINGS, HANDICAP PARKING SPACES AND ACCESS AISLES. REFER TO ICC/ANSI A117.1.
   - MAXIMUM LONGITUDINAL SLOPE (NON-RAMP)=5%
   - MAXIMUM CROSS SLOPE=2%
   - MAXIMUM RAMP SLOPE=12:1 (8.33%)
   - MAXIMUM RAMP RISE BEFORE HANDRAIL IS REQUIRED=6"
   - MINIMUM LANDING LENGTH=5', MINIMUM WIDTH MUST MATCH APPROACH SIDEWALK/RAMP WIDTH
   - REFER TO ICC/ANSI A117.1 FOR MORE DETAILED REQUIREMENTS.



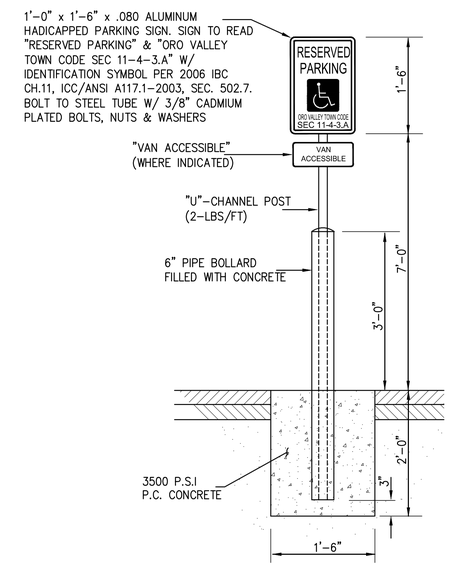
TYPICAL PARKING SPACES



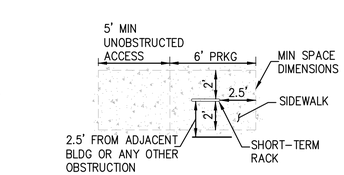
VAN-ACCESSIBLE PARKING



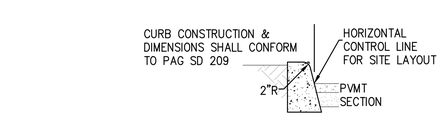
PRE-CAST SAFETY CURB



ACCESSIBLE PARKING SIGN

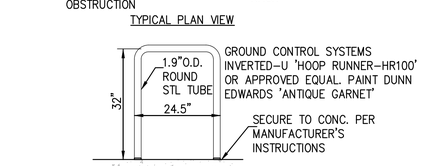


SIDEWALKS ABUTTING CURB



SURVEY CONTROL-
TYPE 2 VERT. CURB

TYPICAL PLAN VIEW



ELEVATION

CLASS II BIKE PARKING

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

Registered Professional Engineer (Civil) CERTIFICATE NO. 52626 JAMES R. McMURTRIE DATE SIGNED 11/29/23 ARIZONA U.S.A.

Dynamic Civil Designs LLC
4690 N MELPOMENE WAY TUCSON ARIZONA 85749
PH: (520) 461-8016 EMAIL: james.mcm@live.com

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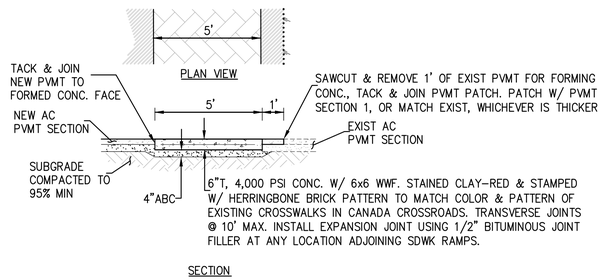
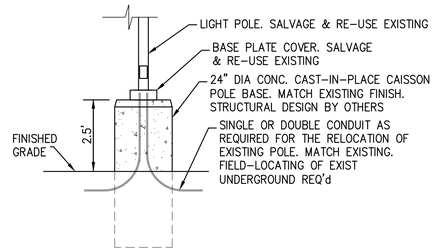
FINAL SITE PLAN &
PRIVATE IMPROVEMENT PLAN
TROPICAL SMOOTHIE-LA CANADA DR
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

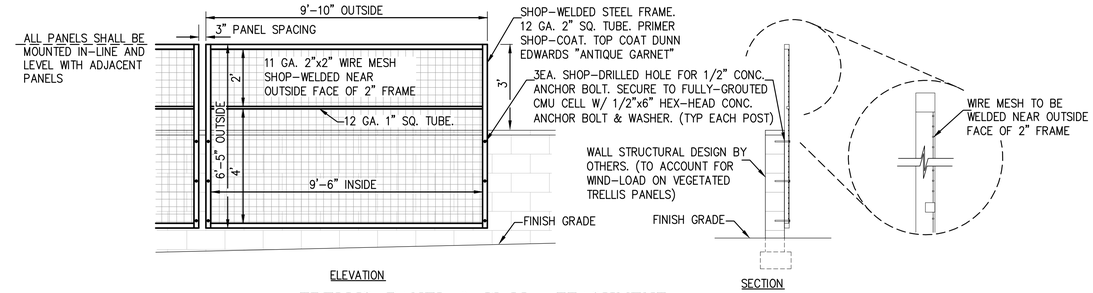
CASE NO: 2302254
JOB NO. D21017
DATE: NOVEMBER, 2023
SCALE HORIZ: N/A
CONTOUR INTERVAL=N/A



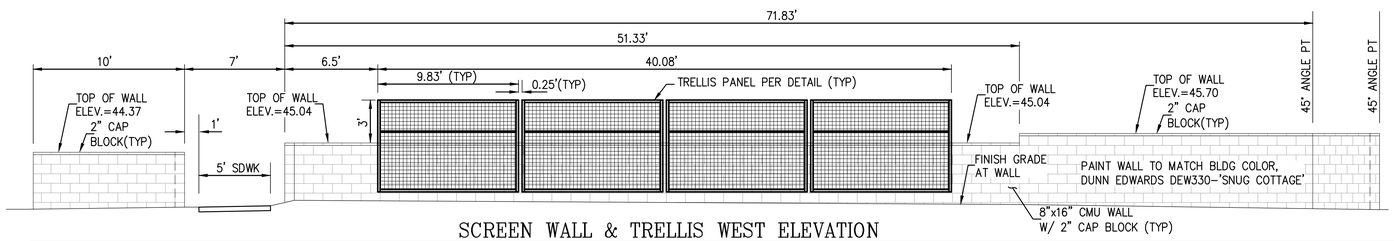
ENHANCED PAVING CROSSWALK



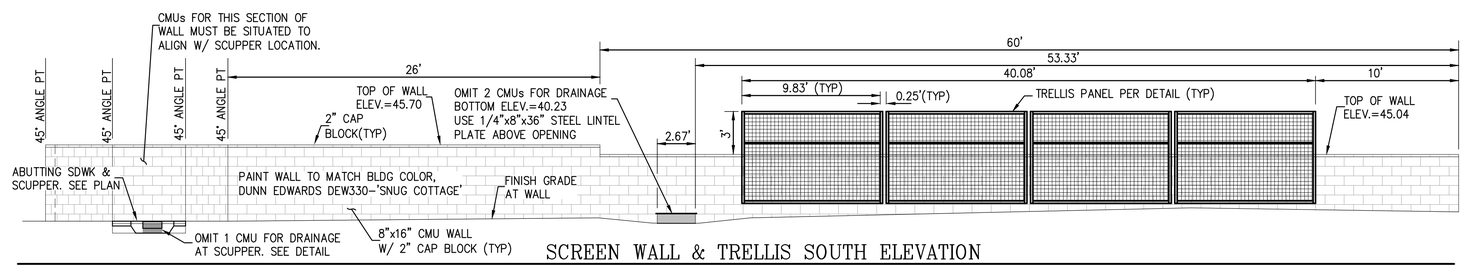
LIGHT POLE BASE



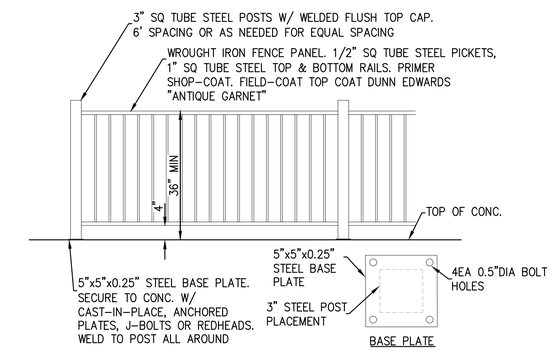
TRELLIS PANEL & WALL ATTACHMENT



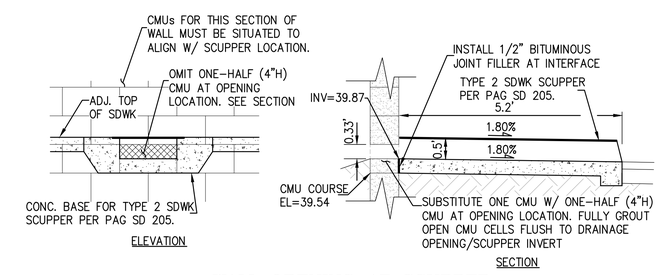
SCREEN WALL & TRELLIS WEST ELEVATION



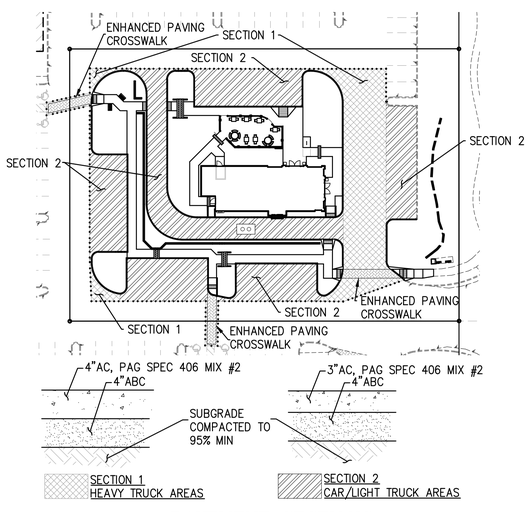
SCREEN WALL & TRELLIS SOUTH ELEVATION



OUTDOOR SEATING PATIO FENCE



WALL OPENING AT SCUPPER



PAVEMENT SECTIONS

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

REGISTERED PROFESSIONAL ENGINEER (CIVIL) CERTIFICATE NO. 52626 JAMES R. McMURTRIE DATE SIGNED 11-09-23 ARIZONA U.S.A.

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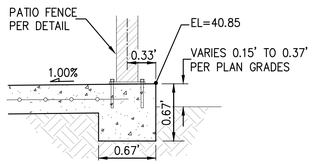
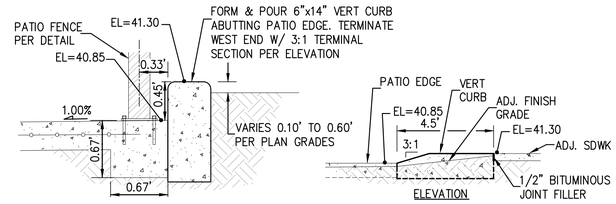
NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

FINAL SITE PLAN &
PRIVATE IMPROVEMENT PLAN
TROPICAL SMOOTHIE-LA CANADA DR
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

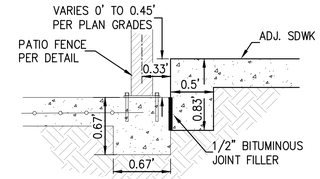
CASE NO: 2302254		
JOB NO. D21017	SCALE HORIZ: N/A	SHEET 3 OF 11
DATE: NOVEMBER, 2023	CONTOUR INTERVAL=N/A	



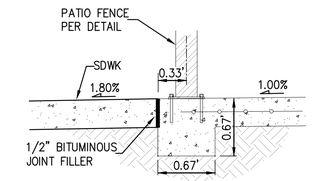
A/4 SOUTH PATIO EDGE TURN-DOWN



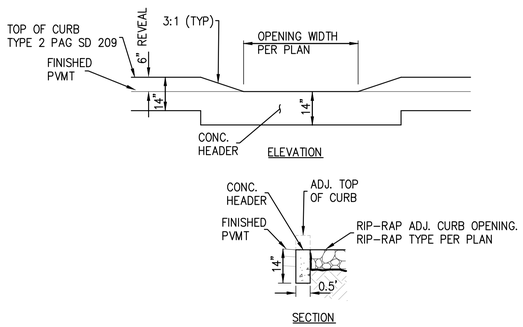
B/4 VERT CURB AT SOUTH PATIO EDGE



C/4 SDWK TURN-DOWN AT EAST PATIO EDGE

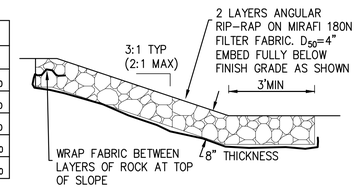


D/4 NORTH PATIO EDGE TURN-DOWN

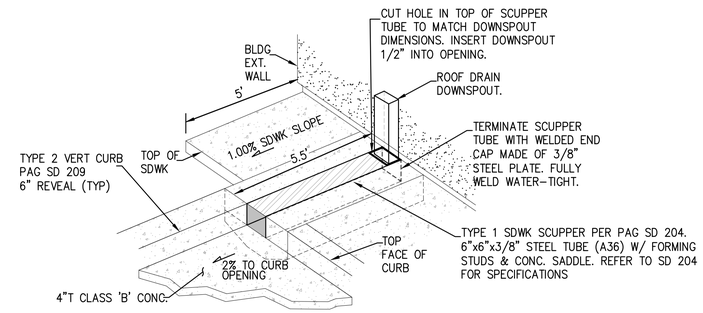


CURB OPENINGS

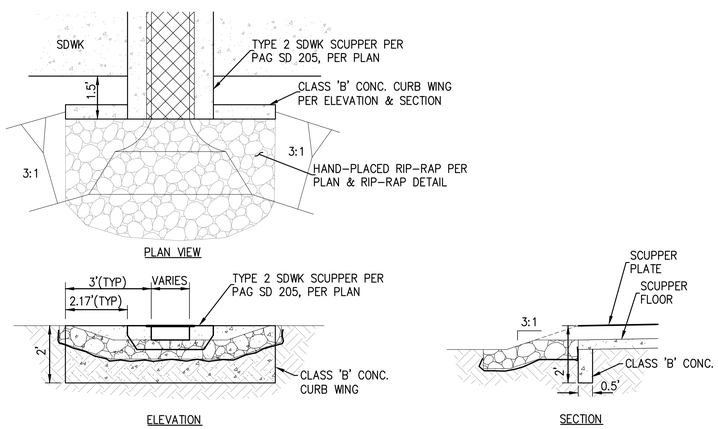
RIP-RAP GRADATION	
% PASSING	SIZE
100-90	2.00 x D_{50}
85-70	1.50 X D_{50}
50-30	1.00 X D_{50}
15-5	0.67 X D_{50}
5-0	0.33 X D_{50}



HAND-PLACED RIP-RAP



SIDEWALK SCUPPER TO ROOF DRAIN CONNECTION



SCUPPER INLET & OUTLET CURB WINGS

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

REGISTERED Professional Engineer (Civil)
CERTIFICATE NO.
52626
JAMES R.
McMURTRIE
DATE SIGNED 11/08/23
ARIZONA U.S.A.

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LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM,
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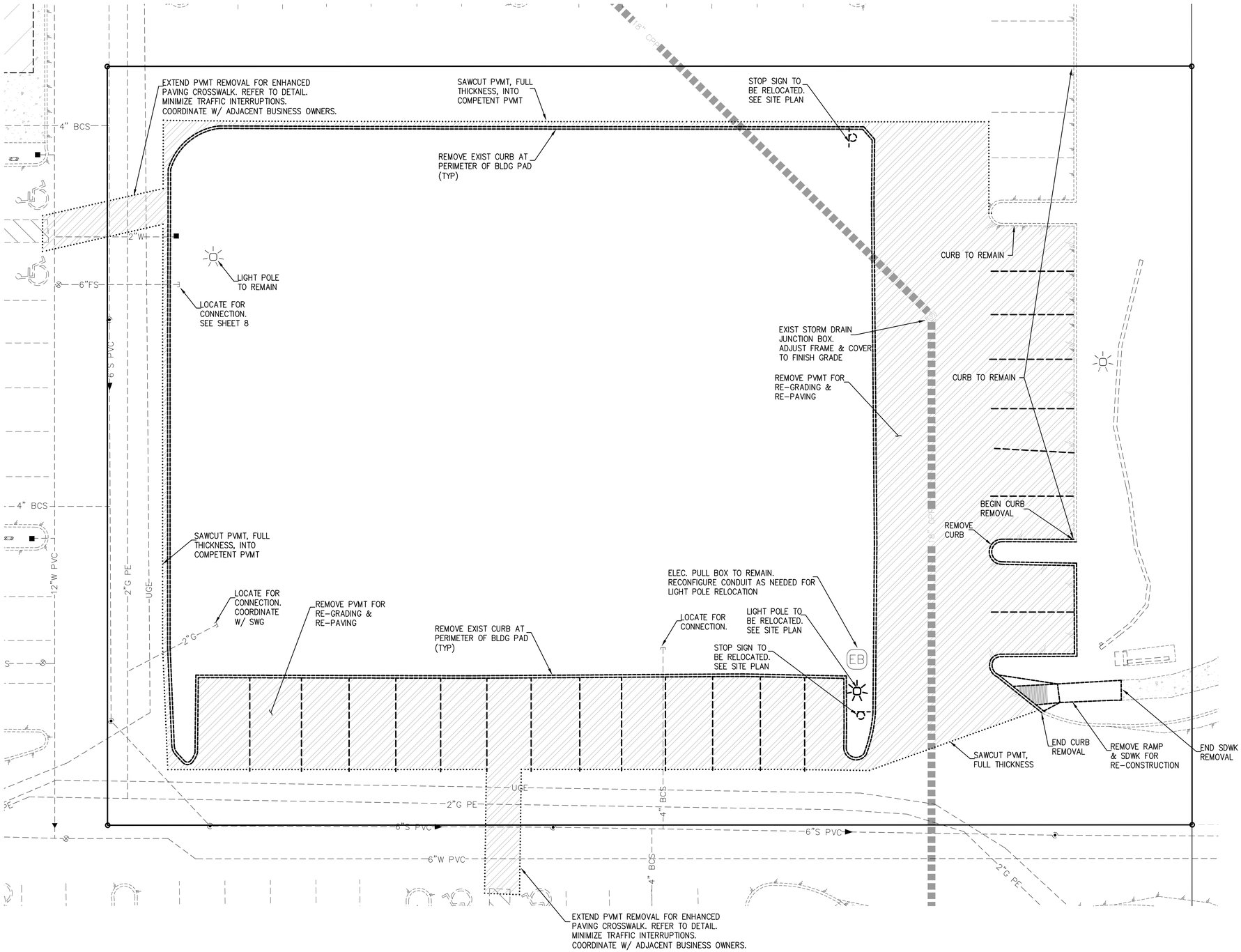
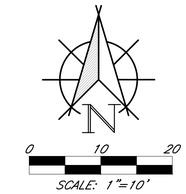
NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

CASE NO: 2302254
JOB NO. D21017
DATE: NOVEMBER, 2023
SCALE HORIZ: N/A
CONTOUR INTERVAL=N/A





SITE DEMO PLAN

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NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

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OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

Registered Professional Engineer (Civil)
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JAMES R.
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DATE SIGNED 11/03/23
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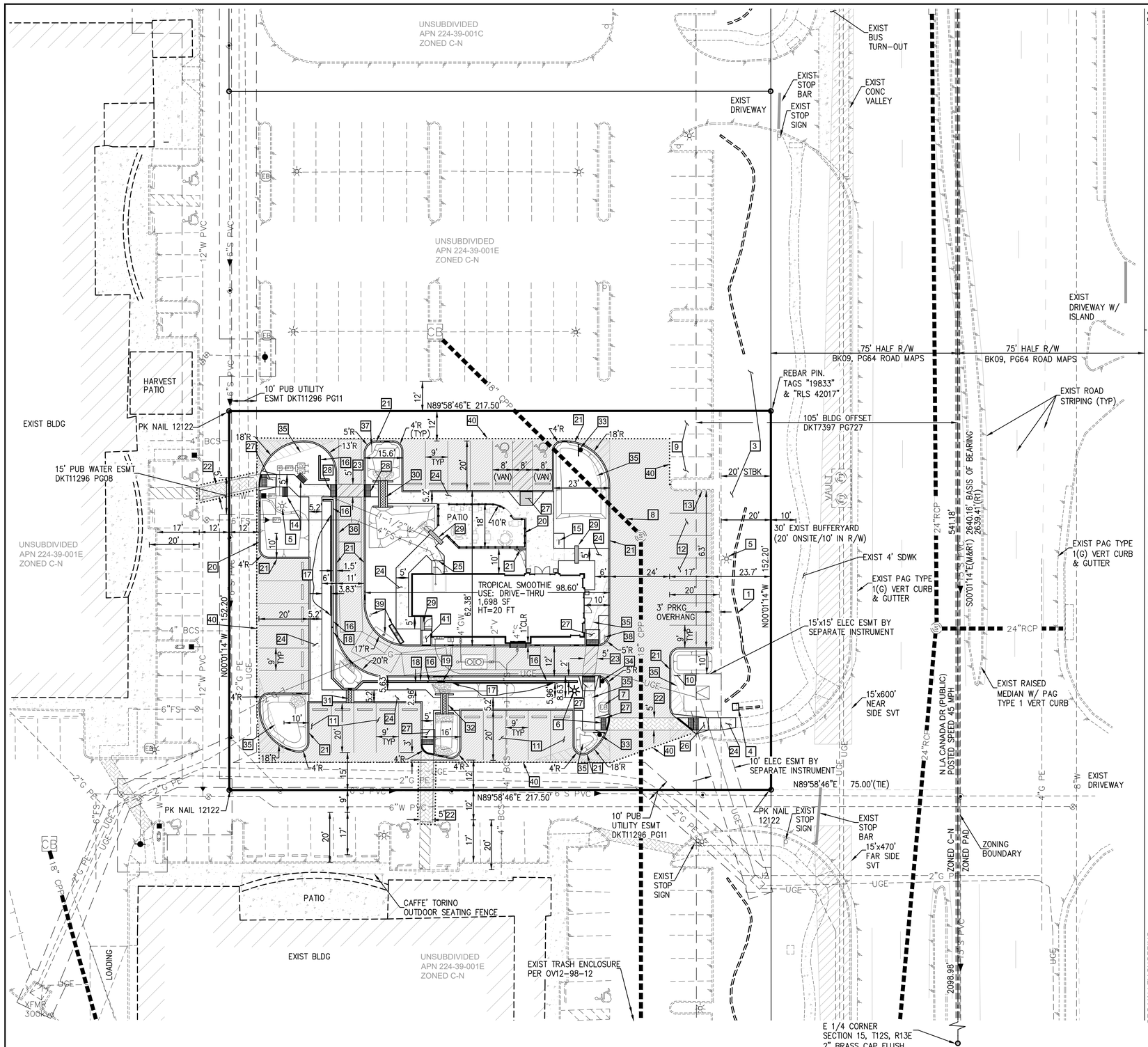
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE NO: 2302254

JOB NO. D21017 | SCALE HORIZ: 1"=10'
DATE: NOVEMBER, 2023 | CONTOUR INTERVAL=N/A

SHEET 5 OF 11



SITE PLAN

ALL DIMENSIONS ARE TO CURB CONTROL LINE OR TO FACE OF WALL

SITE PLAN KEYNOTES

1. EXIST SCREEN WALL TO REMAIN
2. **NOT USED**
3. EXIST BERM & VEGETATIVE SCREEN TO REMAIN
4. EXIST CANADA CROSSROADS MONUMENT SIGN (MASONRY COLUMN W/ ATTACHED LIGHTED BOX) TO REMAIN
5. EXIST LIGHT POLE TO REMAIN
6. EXIST LIGHT POLE. RELOCATE ±17.5' NORTHWEST TO LOCATION SHOWN. SEE POLE BASE DETAIL
7. EXIST ELEC. PULL BOX TO REMAIN
8. EXIST 18" STORM DRAIN TO REMAIN
9. EXIST PARKING TO REMAIN
10. 2 EXIST PARKING SPACES TO BE REMOVED IN THIS AREA
11. RECONFIGURE 14 EXIST PARKING SPACES TO 10 SPACES W/ ISLANDS AS SHOWN
12. RE-GRADE, REPLACE PAVING & RE-STRIPE 7 EXIST PARKING SPACES
13. EXIST LANDSCAPE ISLAND TO REMAIN
14. COMMON AREA SEATING BENCH. COORDINATE BENCH TYPE W/ OWNER
15. CLASS II BIKE RACK LOCATION, 1 RACK (2 BIKES). REFER TO DETAIL ON SHEET 2
16. 3.5' HIGH CMU SCREEN WALL. SEE DETAILS ON SHEET 3
17. VEGETATED TRELLIS. SEE DETAILS ON SHEET 3 & REFER TO LANDSCAPE PLAN.
18. 4.5' HIGH CMU SCREEN WALL AROUND CURVED PORTION OF DRIVE-THRU. SEE DETAILS ON SHEET 3
19. OMIT 2 CMUs (8"H X 2.67'W) FOR DRAINAGE OPENING AT BOTTOM OF WALL. CONSTRUCT OPENING W/ STEEL LINTEL PLATE. SEE SCREEN WALL DETAILS ON SHEET 3 FOR ELEVATION
20. 3' HIGH WROUGHT IRON FENCE AROUND OUTDOOR SEATING PATIO TO MATCH FENCE AT HARVEST RESTAURANT. SEE OUTDOOR SEATING PATIO FENCE DETAIL.
21. VERT CURB PER PAG SD 209. AT EXIST BLDG PAD PERIMETER, ALL EXIST CURB (EXTRUDED) SHALL BE REMOVED & REPLACED W/ VERT CURB
22. ENHANCED PAVING CROSSWALK PER DETAIL, SHEET 3
23. STRIPED CROSSWALK. 4" WHITE STRIPES
24. SDWK PER PAG SD 200. WHERE SDWK ABUTS ADJACENT VERT. CURB, REFER TO DETAIL ON SHEET 2
25. 6" STEP-UP ONTO LANDING
26. RECONSTRUCT DAMAGED SDWK RAMP. REFER TO DETAIL ON SHEET 11
27. SDWK RAMP. REFER TO DETAILS ON SHEET 11
28. 2' TRUNCATED DOME DETECTABLE WARNING STRIP PER ICC/ANSI A117.1 EXTENDING FULL WIDTH OF SDWK
29. TYPE 1 SDWK SCUPPER PER PAG SD 204. EXTEND 1' BEYOND EDGE OF SIDEWALK. WHERE SHOWN ABUTTING EXTERIOR WALL, CONNECT DIRECTLY TO ROOF DRAIN DOWNSPOUT PER DETAIL
30. TYPE 2 SDWK SCUPPER PER PAG SD 205. 10.70LF, OPEN WIDTH 'A'=2'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
31. TYPE 2 SDWK SCUPPER PER PAG SD 205. 5.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. OMIT ONE-HALF OF 1 CMU HEIGHT AT BOTTOM OF WALL AT SCUPPER LOCATION PER DETAIL ON SHEET 3
32. TYPE 2 SDWK SCUPPER PER PAG SD 205. 8.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
33. RELOCATE & REPLACE EXIST STOP SIGN (R1-1) 24"x24"
34. NEW STOP SIGN (R1-1) 24"X24"
35. 10'x30' PAAL-TO-PAAL SVT
36. 9'X18' DRIVE-THRU STAKING SPACE. TYPICAL OF 8 SPACES
37. LIGHTED DRIVE-THRU ENTRY SIGN BY OTHERS. ALL SIGNS BY SEPARATE PERMIT
38. LIGHTED DRIVE-THRU EXIT-ONLY SIGN BY OTHERS. ALL SIGNS BY SEPARATE PERMIT
39. DRIVE-THRU SPEAKER, MENU & RELATED EQUIPMENT BY OTHERS. AN AUTOMATIC GAIN CONTROL DEVICE MUST BE INSTALLED.
40. SAWCUT, TACK & JOIN TO EXIST ASPHALT PVMT
41. CONC. DRAINAGE CHANNEL. (NOT A PEDESTRIAN WAY). REFER TO SHEETS 10 & 11.

N

0 20 40

SCALE: 1"=20'

ORO VALLEY SHOPPING CENTER / APARTMENTS
LOT 1 BK59, PG27 M&P
ZONED PAD

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

Registered Professional Engineer (Civil) CERTIFICATE NO. 52626 JAMES R. McMURTRIE ARIZONA U.S.A.

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FINAL SITE PLAN & PRIVATE IMPROVEMENT PLAN TROPICAL SMOOTHIE-LA CANADA DR

LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

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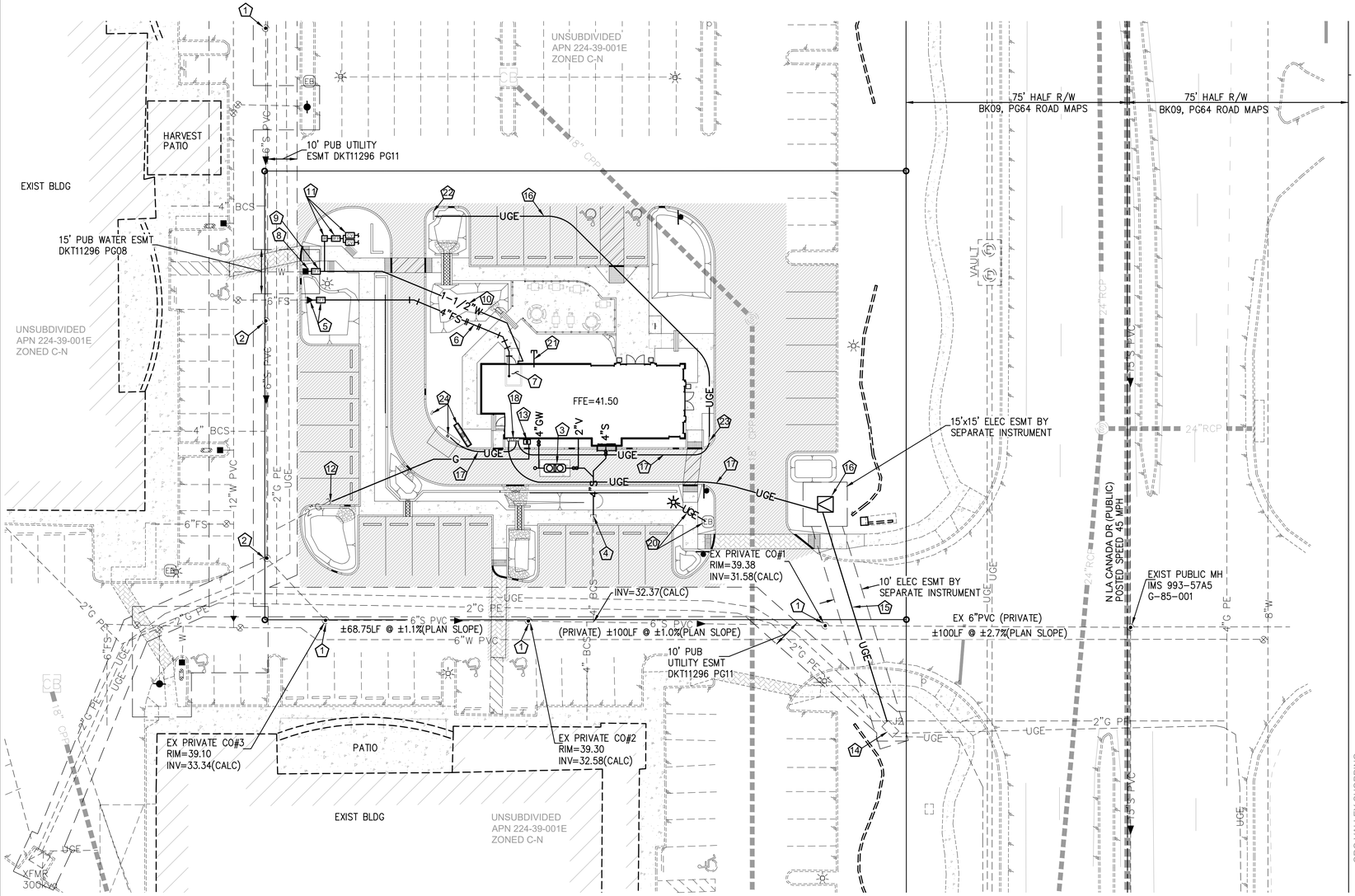
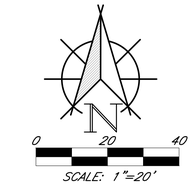
ARIZONA811
Call 811 or click Arizona811.com

NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

CASE NO: 2302254		
JOB NO. D21017	SCALE HORIZ: 1"=20'	SHEET 6 OF 11
DATE: NOVEMBER, 2023	CONTOUR INTERVAL=N/A	





UTILITIES PLAN KEYNOTES

1. EXIST PRIVATE SEWER CLEANOUT (VISIBLE) – 6" PVC SEWER
2. EXIST PRIVATE SEWER CLEANOUT (NOT VISIBLE) – 6" PVC SEWER
3. GREASE INTERCEPTOR BY OTHERS. REFER TO PLUMBING PLAN. CONC. SLAB OVER G.I. 8"T. 4,000 PSI CONC. W/ #4 REBAR WIRE–TIED @ 12" O.C. BOTH DIRECTIONS. SLAB MUST EXTEND 18" BEYOND THE PERIMETER OF THE G.I. PER MANUFACTURER. SEE MANUFACTURER'S INSTRUCTIONS REQUIRING BACKFILL AROUND INTERCEPTOR W/ 3/4" CRUSHED AGGREGATE.
4. LOCATE & CONNECT TO EXIST 4" PRIVATE BUILDING SEWER STUB–OUT. EXACT LOCATION UNKNOWN. DRAWING BASED ONLY ON DEVELOPMENT PLAN OV12–98–12 (BK19, PG30). UTILIZE TESTING WYE AT POINT OF CONNECTION. IN ADDITION TO TOWN OF ORO VALLEY INSPECTIONS, CONTRACTOR SHALL SCHEDULE BUILDING SEWER INSPECTION WITH ENGINEER PRIOR TO BACKFILL & SHALL SCHEDULE OBSERVATION OF HYDROSTATIC TEST, PER IPC SECTION 312, WITH ENGINEER.
5. EXIST 6" FIRE SERVICE STUB–OUT. LOCATE & CONNECT W/ 6"x4" REDUCER & INSTALL 4" DOUBLE CHECK DETECTOR BACKFLOW PREVENTER PER PLAN ON SHEET 8. COORDINATE W/ OVWU. OVWU TO CONDUCT INSPECTIONS AND TESTING OBSERVATION.
6. ROUTE 4" DIP PRIVATE FIRE SERVICE LINE FROM BACKFLOW PREVENTER TO BUILDING, PER PLAN ON SHEET 8. IN ADDITION TO TOWN INSPECTIONS, COORDINATE PRE–BACKFILL INSPECTION WITH ENGINEER.
7. FIRE RISER ROOM W/ EXTERIOR DOOR. GOLDER RANCH FIRE TO CONDUCT INSPECTIONS.
8. EXIST 2" WATER SERVICE W/ EXIST METER BOX. COORDINATE INSTALLATION OF 1" METER & PRIVATE SHUT–OFF VALVE W/ OVWU PER PLAN ON SHEET 8.
9. INSTALL 1" RPZ BACKFLOW PREVENTER PER PLAN ON SHEET 8.
10. ROUTE 1–1/2" PRIVATE WATER TO BLDG PER PLAN ON SHEET 8. IN ADDITION TO TOWN INSPECTIONS, COORDINATE PRE–BACKFILL INSPECTION WITH ENGINEER.
11. INSTALL PRIVATE 5/8" IRRIGATION SUB–METER, BACKFLOW PREVENTER, & IRRIGATION CONTROL VALVES PER PLAN ON SHEET 8. SEE IRRIGATION PLAN FOR CONTINUATION.
12. LOCATE GAS STUB–OUT FOR CONNECTION. COORDINATE W/ SWG. ROUTE GAS TO BLDG PER PLUMBING CODE REQMTs
13. GAS METER LOCATION. REFER TO PLUMBING PLAN
14. EXIST TEP 'J2'. COORDINATE CONNECTION OF NEW PRIMARY W/ TEP
15. NEW UNDERGROUND ELEC PRIMARY. COORDINATE W/ TEP
16. COORDINATE INSTALL OF NEW TRANSFORMER W/ TEP
17. ROUTE ELEC SERVICE TO BLDG. COORDINATE W/ TEP
18. ELEC SERVICE ENTRANCE LOCATION. SEE ELECTRICAL PLAN
19. UNDERGROUND ELEC TO SIGNAGE. SEE ELECTRICAL PLAN
20. ELEC. PULL BOX TO REMAIN. RECONFIGURE CONDUIT AS NEEDED FOR LIGHT POLE RELOCATION
21. COORDINATE W/ APPROPRIATE UTILITIES FOR COMMUNICATIONS SERVICES. SEE ELECTRICAL PLAN FOR CONDUIT STUB LOCATION FROM BLDG
22. LIGHTED DRIVE–THRU ENTRY SIGN BY OTHERS. ALL SIGNS BY SEPARATE PERMIT
23. LIGHTED DRIVE–THRU EXIT–ONLY SIGN BY OTHERS. ALL SIGNS BY SEPARATE PERMIT
24. DRIVE–THRU SPEAKER, MENU & RELATED EQUIPMENT BY OTHERS. REFER TO ELECTRICAL PLAN. AN AUTOMATIC GAIN CONTROL DEVICE MUST BE INSTALLED.

EXIST SEWER DEPTHS ARE ONLY CALCULATED VALUES, BASED ON DATA FROM RECORD PLANS & CONVERSION TO NAVD88 DATUM. ALL EXIST DEPTHS MUST BE FIELD–VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

CAUTION: EXISTING PRIVATE UTILITIES
IN ADDITION TO CALLING AZ811, CONTRACTOR MUST COORDINATE WITH A PRIVATE UTILITY LOCATING SERVICE PRIOR TO EXCAVATING. NOT ALL EXISTING FACILITIES ARE SHOWN ON THIS PLAN

UTILITIES PLAN

REF. NO: OV12–98–12
OV10–97–9
OV9–96–7
CUP 2202252
CSP 2202232

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
CERTIFICATE NO. 52626
JAMES R. McMURTRIE
EXPIRES 12/31/24
ARIZONA U.S.A.

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PRIVATE IMPROVEMENT PLAN
TROPICAL SMOOTHIE-LA CANADA DR
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM,
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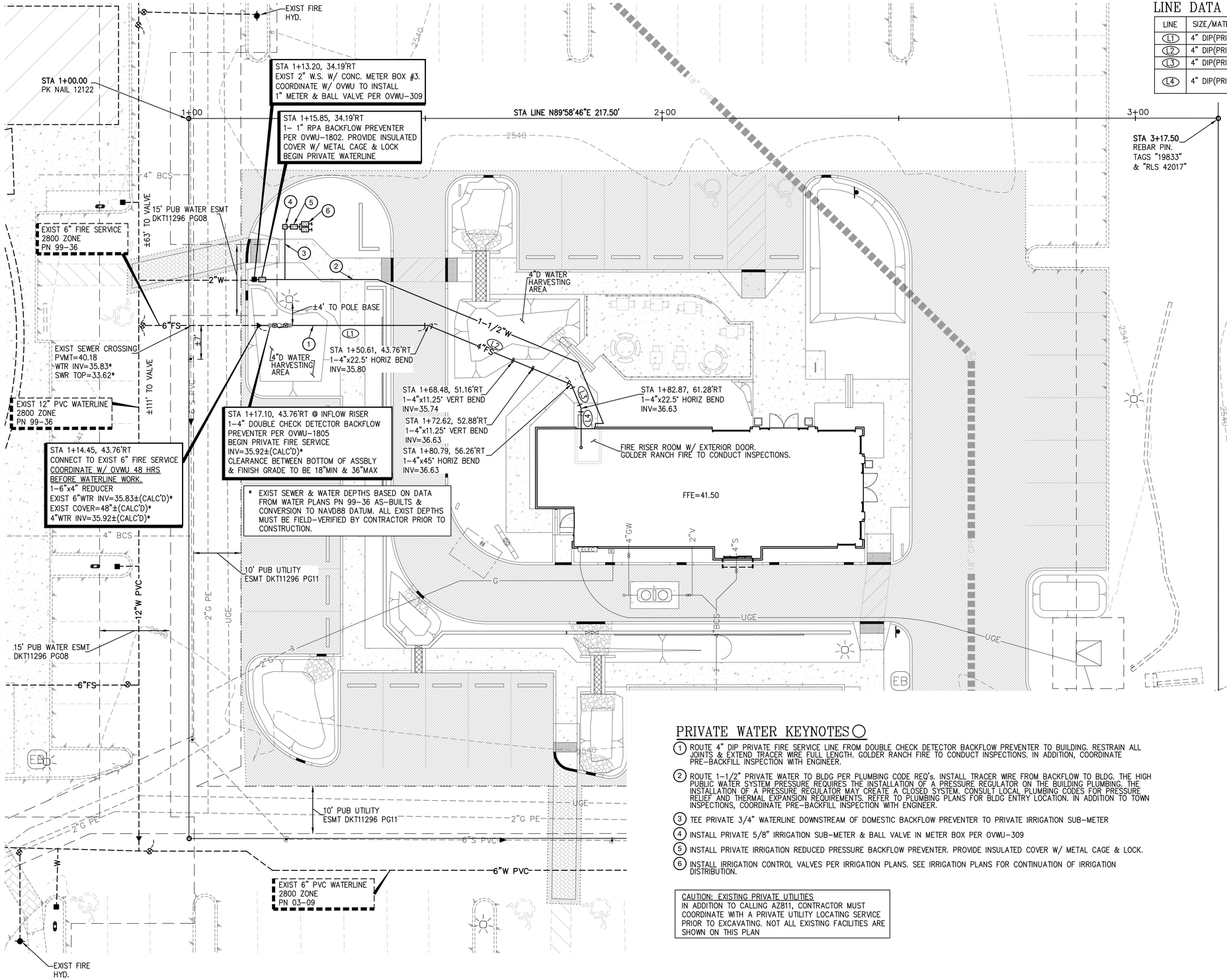
CASE NO: 2302254		
JOB NO. D21017	SCALE HORIZ: 1"=20'	SHEET 7 OF 11
DATE: NOVEMBER, 2023	CONTOUR INTERVAL=N/A	



PRIVATE WATER PLAN

LINE DATA (PRIVATE FIRE SERVICE)

LINE	SIZE/MATERIAL	LENGTH	BEARING
L1	4" DIP(PRIVATE)	36.16'	N89°58'46"E
L2	4" DIP(PRIVATE)	32.67'	S67°31'14"E
L3	4" DIP(PRIVATE)	5.43'	S22°31'14"W
L4	4" DIP(PRIVATE)	4' TO FACE OF BLDG	S00°01'14"E

N

0 10 20

SCALE: 1"=10'

ORO VALLEY WATER UTILITY GENERAL NOTES

1. ALL WATER CONSTRUCTION SHALL CONFORM TO "ORO VALLEY WATER UTILITY STANDARD SPECIFICATIONS FOR POTABLE WATER CONSTRUCTION", LATEST EDITION, AND THE "TUCSON WATER STANDARD SPECIFICATIONS AND DETAILS" LATEST EDITION. BOTH SHALL BE AVAILABLE ONSITE AT ALL TIMES DURING CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO CONTACT "BLUE STAKE" (1-800-782-5348) 48 HOURS PRIOR TO ANY EXCAVATION TO DETERMINE ACCURATE UTILITY LOCATIONS.
3. ALL #2 AND #3 METER BOX LIDS SHALL HAVE A 2 INCH DIAMETER HOLE IN THEM, 4 INCHES FROM THE EDGE OPPOSITE THE LID LIFTING HOLE AND CENTERED SIDE TO SIDE. A PLASTIC PLUG TO FILL THIS HOLE SHALL BE SUPPLIED AS WELL. THIS SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SUPPLY.
4. SUPPLEMENT THE TUCSON WATER STANDARD SPECIFICATIONS 0209.0310 (BEDDING MATERIAL) AS FOLLOWS: TWO WEEKS PRIOR TO BEDDING MATERIAL DELIVERY TO THE PROJECT SITE THE ORO VALLEY WATER UTILITY INSPECTOR SHALL RECEIVE A 5-GALLON BUCKET SAMPLE, AND A COPY OF THE SIEVE ANALYSIS PERFORMED BY THE CERTIFYING TESTING FACILITY. IN ADDITION TO PASSING THE SIEVE ANALYSIS AND PLASTICITY REQUIREMENTS OF THE SPECIFICATION THE FOLLOWING QUALITATIVE CHARACTERISTICS SHALL BE MET. THE MATERIAL SHALL BE OF A GRAYISH/WHITISH HOMOGENEOUS COLOR. WHEN MOISTENED AND BALLED IN THE PALM OF THE HAND THE MATERIAL SHALL HAVE NO COHESIVE PROPERTIES AND LEAVE LITTLE TO NO FINES RESIDUE IN THE PALM OF THE HAND WHEN RELEASED AS DETERMINED BY THE ORO VALLEY WATER UTILITY INSPECTOR. FAILURE TO MEET EITHER THE SIEVE ANALYSIS OR THE QUALITATIVE CHARACTERISTICS AS SPECIFIED SHALL BE GROUNDS FOR REJECTION OF THE BEDDING MATERIAL.
5. CONTRACTOR PERFORMING THE WORK MUST HAVE THE APPROPRIATE LICENSE TO WORK ON PUBLIC WATER INFRASTRUCTURE.
6. CONTRACTOR MUST CALL ORO VALLEY WATER AT 229-5017, 48 HOURS MINIMUM TO SCHEDULE A PRE-CONSTRUCTION MEETING.
7. ALL COMMERCIAL SERVICES WILL REQUIRE BACKFLOW PREVENTION TO BE INSTALLED BY THE DEVELOPER AND ACCEPTED BY THE UTILITY PRIOR TO ANY WATER SERVICE BEING PROVIDED. CONTACT ADAM PENCE FOR FURTHER INFORMATION AT 229-5042.
8. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES.
9. THIS WATER SYSTEM IS DESIGNED TO ACCOMMODATE 1,500 GPM FIRE FLOW FOR 2 HOURS.
10. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES. THIS INCLUDES A NPDES PERMIT OR WAIVER FOR FLUSHING OF HIGHLY CHLORINATED WATER. SAID WATER WILL COMPLY WITH PERMITTING CRITERIA.
11. AVAILABILITY OF CONSTRUCTION WATER (INCLUDING WATER FOR FLUSHING) MAY BE LIMITED AND MUST BE COORDINATED WITH OVWU STAFF.

ENGINEER'S GENERAL NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PIPE, FITTINGS, APPURTENANCES OR ANY OTHER MATERIALS TO BE IN CONTACT WITH POTABLE WATER IN ACCORDANCE WITH THE LEAD-FREE REQUIREMENTS DEFINED BY THE "REDUCTION OF LEAD IN DRINKING WATER ACT OF 2011" AMENDING SECTION 1417 OF THE SAFE DRINKING WATER ACT.
2. NEW WATER MAINS ON-SITE SHALL BE INSTALLED WITH 44" MINIMUM COVER UNLESS OTHERWISE INDICATED ON THESE PLANS.
3. ALL FITTINGS SHALL BE MECHANICALLY RESTRAINED.
4. THIS PROJECT MAY RECEIVE HIGHER THAN NORMAL PRESSURE AND MAY REQUIRE INDIVIDUAL PRESSURE REGULATORS AS PART OF THE PRIVATE PLUMBING. THE INSTALLATION OF A PRESSURE REGULATOR MAY CREATE A CLOSED SYSTEM. CONSULT LOCAL PLUMBING CODES FOR PRESSURE RELIEF AND THERMAL EXPANSION REQUIREMENTS
5. THE RESPONSIBLE PARTY FOR FIRE SERVICE BILLING IS THE OWNER/DEVELOPER AS CALLED OUT ON THE PLAN.
6. EXISTING UTILITY LOCATIONS SHOWN ARE BASED UPON THE BEST INFORMATION AVAILABLE. UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES WITH THE APPROPRIATE ORGANIZATIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO EXISTING UTILITIES.

PRIVATE WATER KEYNOTES

1. ROUTE 4" DIP PRIVATE FIRE SERVICE LINE FROM DOUBLE CHECK DETECTOR BACKFLOW PREVENTER TO BUILDING. RESTRAIN ALL JOINTS & EXTEND TRACER WIRE FULL LENGTH. GOLDER RANCH FIRE TO CONDUCT INSPECTIONS. IN ADDITION, COORDINATE PRE-BACKFILL INSPECTION WITH ENGINEER.
2. ROUTE 1-1/2" PRIVATE WATER TO BLDG PER PLUMBING CODE REQ's. INSTALL TRACER WIRE FROM BACKFLOW TO BLDG. THE HIGH PUBLIC WATER SYSTEM PRESSURE REQUIRES THE INSTALLATION OF A PRESSURE REGULATOR ON THE BUILDING PLUMBING. THE INSTALLATION OF A PRESSURE REGULATOR MAY CREATE A CLOSED SYSTEM. CONSULT LOCAL PLUMBING CODES FOR PRESSURE RELIEF AND THERMAL EXPANSION REQUIREMENTS. REFER TO PLUMBING PLANS FOR BLDG ENTRY LOCATION. IN ADDITION TO TOWN INSPECTIONS, COORDINATE PRE-BACKFILL INSPECTION WITH ENGINEER.
3. TEE PRIVATE 3/4" WATERLINE DOWNSTREAM OF DOMESTIC BACKFLOW PREVENTER TO PRIVATE IRRIGATION SUB-METER
4. INSTALL PRIVATE 5/8" IRRIGATION SUB-METER & BALL VALVE IN METER BOX PER OVWU-309
5. INSTALL PRIVATE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER. PROVIDE INSULATED COVER W/ METAL CAGE & LOCK.
6. INSTALL IRRIGATION CONTROL VALVES PER IRRIGATION PLANS. SEE IRRIGATION PLANS FOR CONTINUATION OF IRRIGATION DISTRIBUTION.

CAUTION: EXISTING PRIVATE UTILITIES
IN ADDITION TO CALLING AZB11, CONTRACTOR MUST COORDINATE WITH A PRIVATE UTILITY LOCATING SERVICE PRIOR TO EXCAVATING. NOT ALL EXISTING FACILITIES ARE SHOWN ON THIS PLAN

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Registered Professional Engineer (Civil)
CERTIFICATE NO. 52626
JAMES R. McMURTRIE
DATE SIGNED 11/03/23
ARIZONA U.S.A.

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

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FINAL SITE PLAN &
PRIVATE IMPROVEMENT PLAN
TROPICAL SMOOTHIE-LA CANADA DR
LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

CASE NO: 2302254
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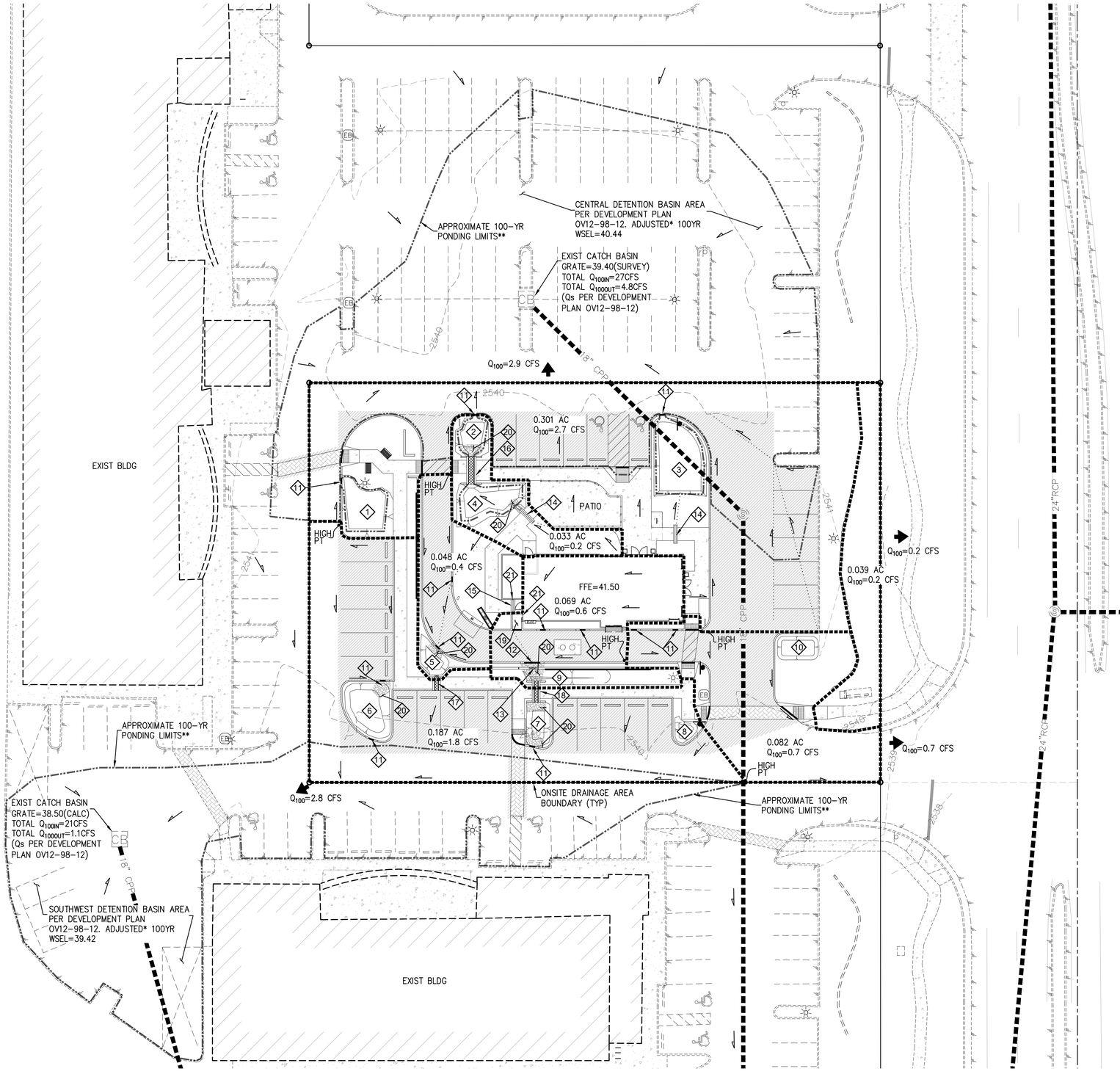
SCALE HORIZ: 1"=10'
CONTOUR INTERVAL=1'
SHEET 8 OF 11



DRAINAGE PLAN

DRAINAGE KEYNOTES ◇

1. HARVESTING DEPRESSION. 4"DEPTH, VOL=96CF
2. HARVESTING DEPRESSION. 4"DEPTH, VOL=35CF
3. HARVESTING DEPRESSION. 4"DEPTH, VOL=138CF
4. HARVESTING DEPRESSION. 4"DEPTH, VOL=60CF
5. HARVESTING DEPRESSION. 4"DEPTH, VOL=15CF
6. HARVESTING DEPRESSION. 4"DEPTH, VOL=52CF
7. HARVESTING DEPRESSION. 4"DEPTH, VOL=24CF
8. HARVESTING DEPRESSION. 4"DEPTH, VOL=12CF
9. HARVESTING DEPRESSION. 4"DEPTH, VOL=40CF
10. HARVESTING DEPRESSION. 4"DEPTH, VOL=30CF
11. 2' CURB OPENING
12. 6' CURB OPENING
13. OMIT 2 CMUs (8"H x 2.67'W) FOR DRAINAGE OPENING AT BOTTOM OF WALL
14. TYPE 1 SDWK SCUPPER PER PAG SD 204. EXTEND 1' BEYOND EDGE OF SIDEWALK.
15. TYPE 1 SDWK SCUPPER PER PAG SD 204. CONNECT DIRECTLY TO ROOF DRAIN DOWNSPOUT PER DETAIL. EXTEND TO FACE OF VERT CURB PER DETAIL.
16. TYPE 2 SDWK SCUPPER PER PAG SD 205. 10.70LF, OPEN WIDTH 'A'=2'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
17. TYPE 2 SDWK SCUPPER PER PAG SD 205. 5.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. OMIT ONE-HALF OF 1 CMU HEIGHT AT BOTTOM OF WALL AT SCUPPER LOCATION PER DETAIL ON SHEET 3
18. TYPE 2 SDWK SCUPPER PER PAG SD 205. 8.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
19. 4"T CLASS 'B' CONC. @ 2% SLOPE FROM ROOF DRAIN TO CURB OPENING. INSTALL VERT CURB AROUND PERIMETER PER PLAN
20. HAND-PLACED RIP-RAP ON FILTER FABRIC, PER DETAIL. D_{50}=4"
21. ROOF DRAIN LOCATION. REFER TO ARCHITECTURAL PLANS

* WSELs BASED ON CANADA CROSSROADS DEVELOPMENT PLAN OV12-98-12 & ASSOCIATED DRAINAGE REPORT, WHICH BOTH UTILIZED AN ELEVATION DATUM WITH ELEVATIONS ±1.5' LOWER THAN NAVD 88. WSEL IN PONDING AREAS ALSO ADJUSTED TO REFLECT EXISTING HIGH POINTS ELEVATIONS IN THE PARKING LOT.

** THE PONDING LIMITS SHOWN ARE APPROXIMATE ONLY AND BASED ON COMPARISON OF THE ADJUSTED OV12-98-12 WSELs TO EXISTING SURVEY AND PAG 2015 ELEVATIONS & PROPOSED GRADES. NO RE-EVALUATION OF THE OVERALL CANADA CROSSROADS DRAINAGE FLOW RATES OR FLOOD-ROUTING OF THE BASINS HAVE BEEN PERFORMED.

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

Registered Professional Engineer (Civil)
CERTIFICATE NO. 52626
JAMES R. McMURTRIE
DATE SIGNED 11/08/23
ARIZONA U.S.A.

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TROPICAL SMOOTHIE-LA CANADA DR
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CASE NO: 2302254
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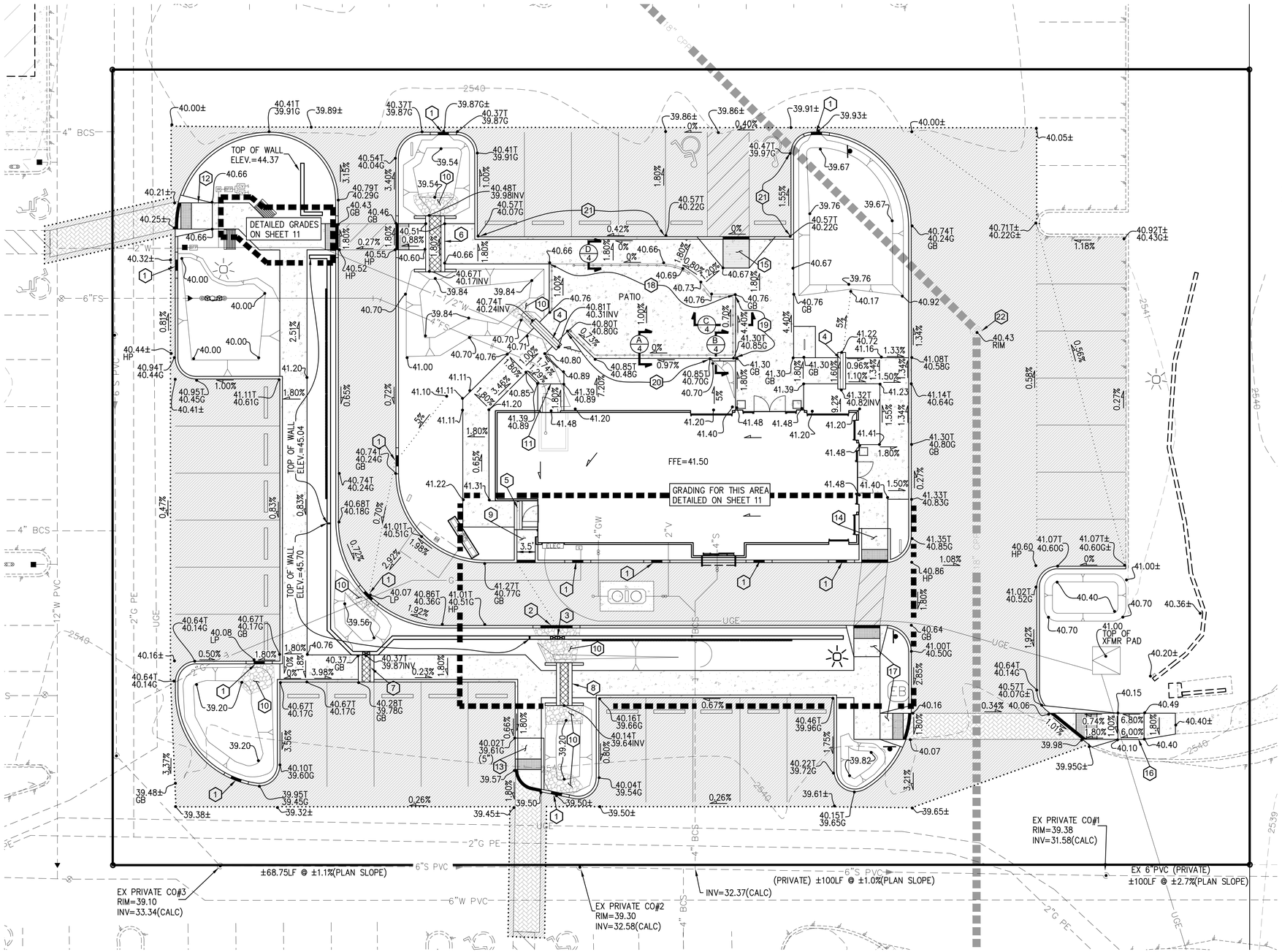
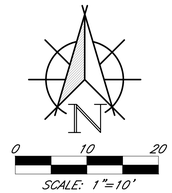
SHEET 9 OF 11



PAVING & GRADING PLAN



PAVING & GRADING KEYNOTES

1. 2' CURB OPENING
2. 6' CURB OPENING
3. OMIT 2 CMUs (8"H x 2.67'W) FOR DRAINAGE OPENING AT BOTTOM OF WALL
4. TYPE 1 SDWK SCUPPER PER PAG SD 204. EXTEND 1' BEYOND EDGE OF SIDEWALK.
5. TYPE 1 SDWK SCUPPER PER PAG SD 204. CONNECT DIRECTLY TO ROOF DRAIN DOWNSPOUT PER DETAIL. EXTEND TO FACE OF VERT CURB PER DETAIL.
6. TYPE 2 SDWK SCUPPER PER PAG SD 205. 10.70LF, OPEN WIDTH 'A'=2'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
7. TYPE 2 SDWK SCUPPER PER PAG SD 205. 5.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. OMIT ONE-HALF OF 1 CMU HEIGHT AT BOTTOM OF WALL AT SCUPPER LOCATION PER DETAIL ON SHEET 3
8. TYPE 2 SDWK SCUPPER PER PAG SD 205. 8.20LF, OPEN WIDTH 'A'=1.33'. OPEN HEIGHT 'H'=0.5'. PROVIDE INLET & OUTLET CURB WINGS PER DETAIL.
9. 4"T CLASS 'B' CONC. @ 2% SLOPE FROM ROOF DRAIN TO CURB OPENING. INSTALL VERT CURB AROUND PERIMETER PER PLAN
10. HAND-PLACED RIP-RAP ON FILTER FABRIC, PER DETAIL. D_{50}=4"
11. 6" STEP-UP ONTO LANDING PER GRADES PROVIDED
12. REFER TO SDWK RAMPS DETAIL 1 ON SHEET 11
13. REFER TO SDWK RAMPS DETAIL 2 ON SHEET 11
14. REFER TO SDWK RAMPS DETAIL 3 ON SHEET 11
15. REFER TO SDWK RAMPS DETAIL 4 ON SHEET 11
16. REFER TO SDWK RAMPS DETAIL 5 ON SHEET 11
17. REFER TO SDWK RAMPS DETAIL 6 ON SHEET 11
18. SEATING PATIO SLAB FLUSH TO ADJ. SDWK ALONG NORTH EDGE. INSTALL 1/2" BITUMINOUS JOINT FILLER/EXPANSION JOINT AT INTERFACE. REFER TO CROSS SECTION
19. SEATING PATIO SLAB GRADES & ADJ. SDWK GRADES DIVERGE ALONG EAST EDGE TO SHOW A SDWK REVEAL, PER GRADES PROVIDED. REFER TO CROSS SECTION
20. TURN-DOWN AT EDGE OF PATIO SLAB W/ VARYING REVEAL, PER PLAN GRADES. REFER TO CROSS SECTION
21. TRANSITION CURB REVEAL HEIGHT 0.50' TO 0.35' PER PLAN GRADES
22. ADJUST FRAME & COVER OF STORM DRAIN JUNCTION BOX TO FINISH GRADE PER PAG SD 304 & RWRD 305. INSTALL CONC. COLLAR FOR PAVED AREAS PER RWRD 211

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

Registered Professional Engineer (Civil) CERTIFICATE NO. 52626 JAMES R. McMURTRIE Date Signed 11/09/23 ARIZONA U.S.A.

Dynamic Civil Designs LLC
4690 N MELPOMENE WAY TUCSON ARIZONA 85749
PH: (520) 461-8016 EMAIL: james.mcm@live.com

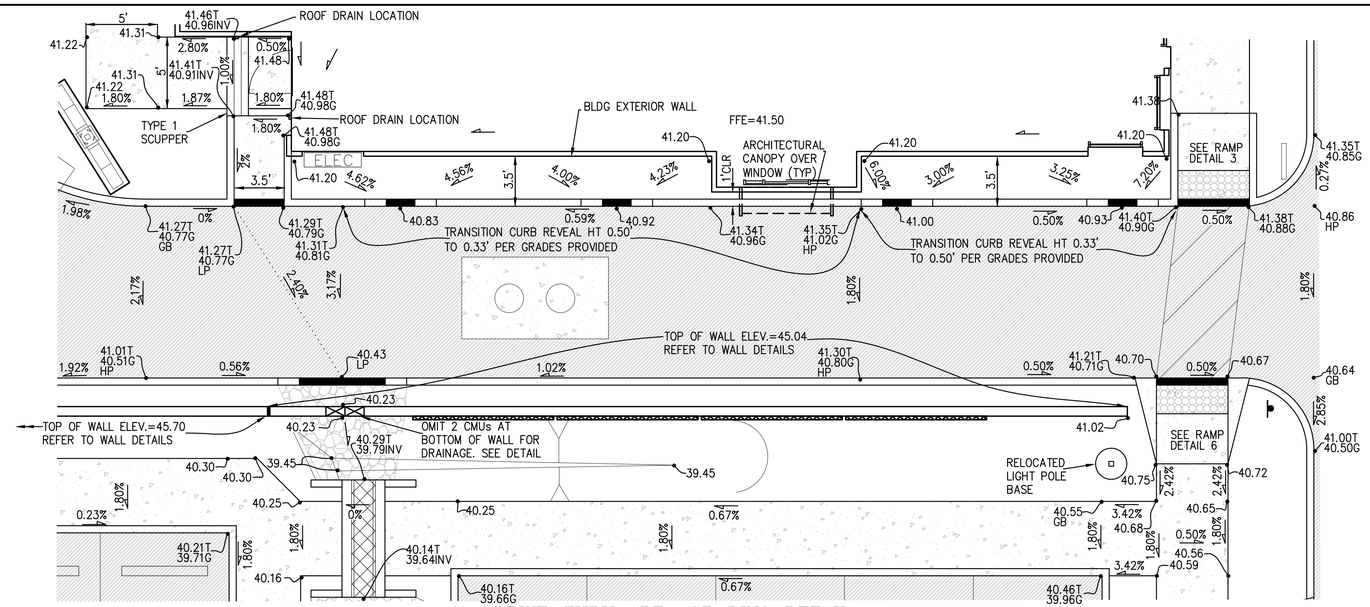
FINAL SITE PLAN & PRIVATE IMPROVEMENT PLAN TROPICAL SMOOTHIE-LA CANADA DR

LOCATED IN THE N.E. 1/4 OF SEC 15, T12S, R13E, G&SRM, TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

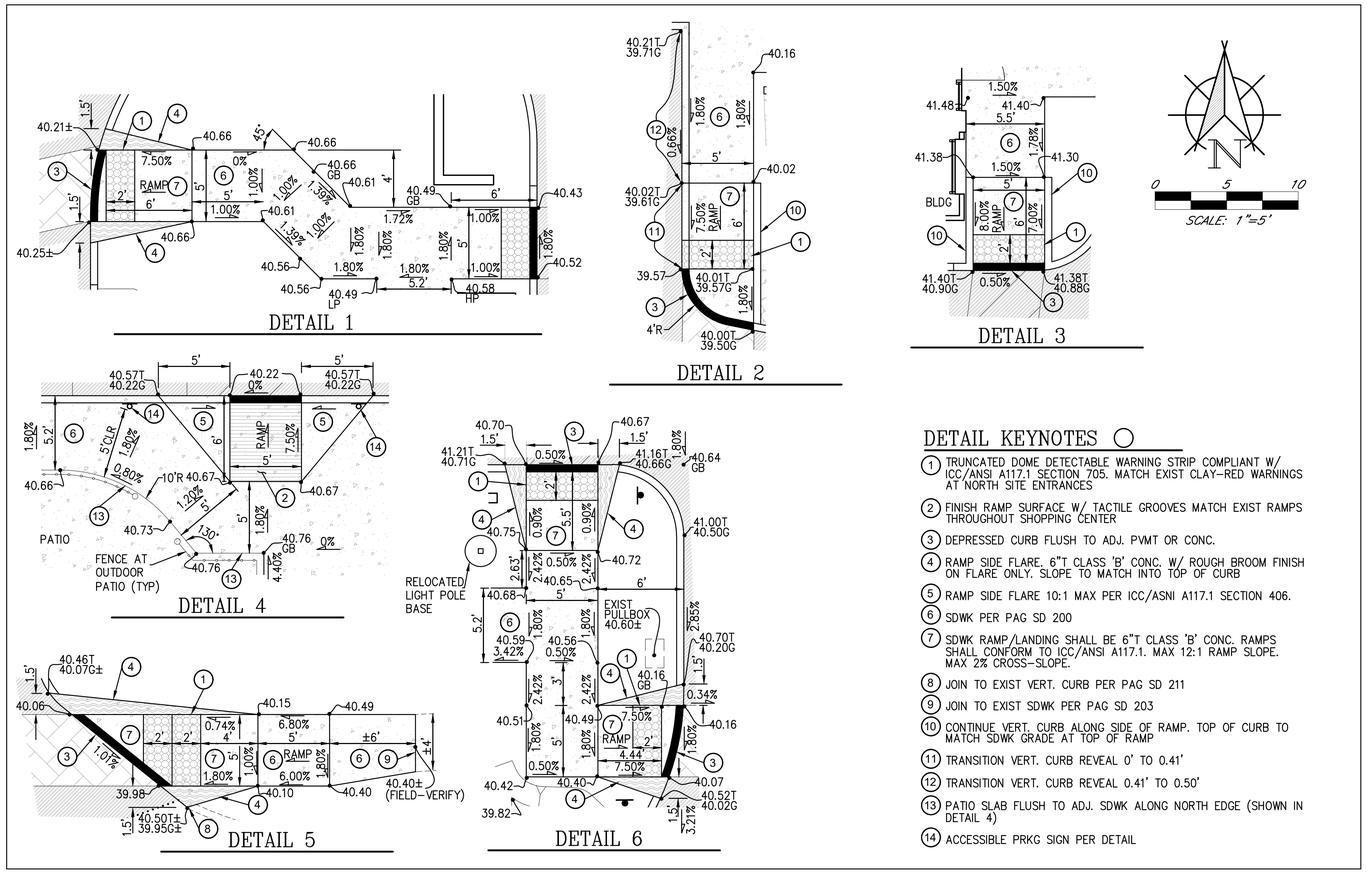
Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

CASE NO: 2302254		
JOB NO. D21017	SCALE HORIZ: 1"=10'	SHEET 10 OF 11
DATE: NOVEMBER, 2023	CONTOUR INTERVAL=1'	



DRIVE-THRU AREA GRADING DETAIL



DETAIL KEYNOTES

1. TRUNCATED DOME DETECTABLE WARNING STRIP COMPLIANT W/ ICC/ANSI A117.1 SECTION 705. MATCH EXIST CLAY-RED WARNINGS AT NORTH SITE ENTRANCES
2. FINISH RAMP SURFACE W/ TACTILE GROOVES MATCH EXIST RAMPS THROUGHOUT SHOPPING CENTER
3. DEPRESSED CURB FLUSH TO ADJ. PVMT OR CONC.
4. RAMP SIDE FLARE. 6"T CLASS 'B' CONC. W/ ROUGH BROOM FINISH ON FLARE ONLY. SLOPE TO MATCH INTO TOP OF CURB
5. RAMP SIDE FLARE 10:1 MAX PER ICC/ASNI A117.1 SECTION 406.
6. SDWK PER PAG SD 200
7. SDWK RAMP/LANDING SHALL BE 6"T CLASS 'B' CONC. RAMPS SHALL CONFORM TO ICC/ANSI A117.1. MAX 12:1 RAMP SLOPE. MAX 2% CROSS-SLOPE.
8. JOIN TO EXIST VERT. CURB PER PAG SD 211
9. JOIN TO EXIST SDWK PER PAG SD 203
10. CONTINUE VERT. CURB ALONG SIDE OF RAMP. TOP OF CURB TO MATCH SDWK GRADE AT TOP OF RAMP
11. TRANSITION VERT. CURB REVEAL 0' TO 0.41'
12. TRANSITION VERT. CURB REVEAL 0.41' TO 0.50'
13. PATIO SLAB FLUSH TO ADJ. SDWK ALONG NORTH EDGE (SHOWN IN DETAIL 4)
14. ACCESSIBLE PRKG SIGN PER DETAIL

SDWK RAMP DETAILS

REF. NO: OV12-98-12
OV10-97-9
OV9-96-7
CUP 2202252
CSP 2202232

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NO.	BY	DATE	DESCRIPTION	APPROVED BY	DATE

CASE NO: 2302254

JOB NO. D21017 | SCALE HORIZ: 1"=5'

DATE: NOVEMBER, 2023 | CONTOUR INTERVAL=N/A

SHEET 11 OF 11