

GENERAL NOTES:

1. THE OVERALL GROSS AREA OF THIS DEVELOPMENT IS 1,089,087.12 SF = 25.002 ACRES.
2. GROSS DENSITY OF THIS DEVELOPMENT IS 0.28 RAC
3. TOTAL LENGTH OF NEW PUBLIC STREETS IS 0 MILES.
4. TOTAL LENGTH OF NEW PRIVATE STREETS IS 0.34 MILES.
5. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
6. ASSESSOR TAX PARCEL NUMBERS ARE 219-16-005A, 219-16-003A AND 2019-16-0020.

PLANNING GENERAL NOTES:

1. BUILDING INFORMATION:
MAXIMUM BUILDING HEIGHT ALLOWED = 18'
MAXIMUM HEIGHT PROPOSED = 18'
2. BUILDING SETBACK INFORMATION:
REQUIRED SIDE SETBACK = 20' PROVIDED = 20'
REQUIRED REAR SETBACK = 50' PROVIDED = 50'
REQUIRED FRONT SETBACK = 50' PROVIDED = 50'
3. COMMON AREA INFORMATION:
REQUIRED OPEN SPACE = 0%
PROVIDED COMMON AREA "A" (DRAINAGE, UTILITIES AND PAVING IMPROVEMENTS) = 650,265 S.F
PROVIDED COMMON AREA "B" (UNDISTURBED OPEN SPACE) =286,210 S.F
TOTAL AMOUNT OF LANDSCAPED COMMON AREA = 0
4. EXISTING ZONING IS R1-144
5. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS
6. THE PROJECT IS DESIGNED TO MEET THE SPECIFIC DESIGN CRITERIA OF AIRPORT ENVIRONS ZONES C AND D.
7. THE PROJECT IS DESIGNED TO MEET THE SPECIFIC CRITERIA OF GENERAL PLAN SIGNIFICANT RESOURCE AREA(SRA). LOTS 805, 806, AND 807 ARE AFFECTED BY SRA.
8. COMMON AREA "A": PRIVATE STREET SHALL BE OWNED AND MAINTAINED BY THE H.O.A

ENGINEERING GENERAL NOTES:

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 25 MPH.
2. ALL NEW ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS, SEPARATE PUBLIC IMPROVEMENTS AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURF.
5. BASIS OF BEARINGS FOR THIS PROJECT BEARS S 89°58'40" W BETWEEN THE NORTH QUARTER CORNER AND NORTHEAST CORNER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST OF GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA, PER STONE CANYON II RANCHO VISTOSO NEIGHBORHOOD 11 (135-234) SUBDIVISION MAP, SEQUENCE NUMBER 20000630042 OFFICIAL RECORDS OF PIMA COUNTY, ARIZONA.

ORO VALLEY WATER UTILITY GENERAL NOTES:

1. THIS DEVELOPMENT MUST COMPLY WITH ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
4. ORO VALLEY WATER UTILITY WILL BE WATER SERVICE PROVIDER.
5. ORO VALLEY WATER SHALL HAVE UTILITY EASEMENT DEDICATION PER SEPARATE INSTRUMENT BEFORE APPROVAL OF FINAL SITE PLAN (FSP).

GENERAL UTILITY NOTES:

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES:

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME. FIRE SPRINKLER SYSTEM (NFPA 13D) IS REQUIRED IN ALL ONE-TWO FAMILY DWELLINGS IN STONE CANYON PHASE IX. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

PERMITTING DIVISION-BUILDING CODES:

THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

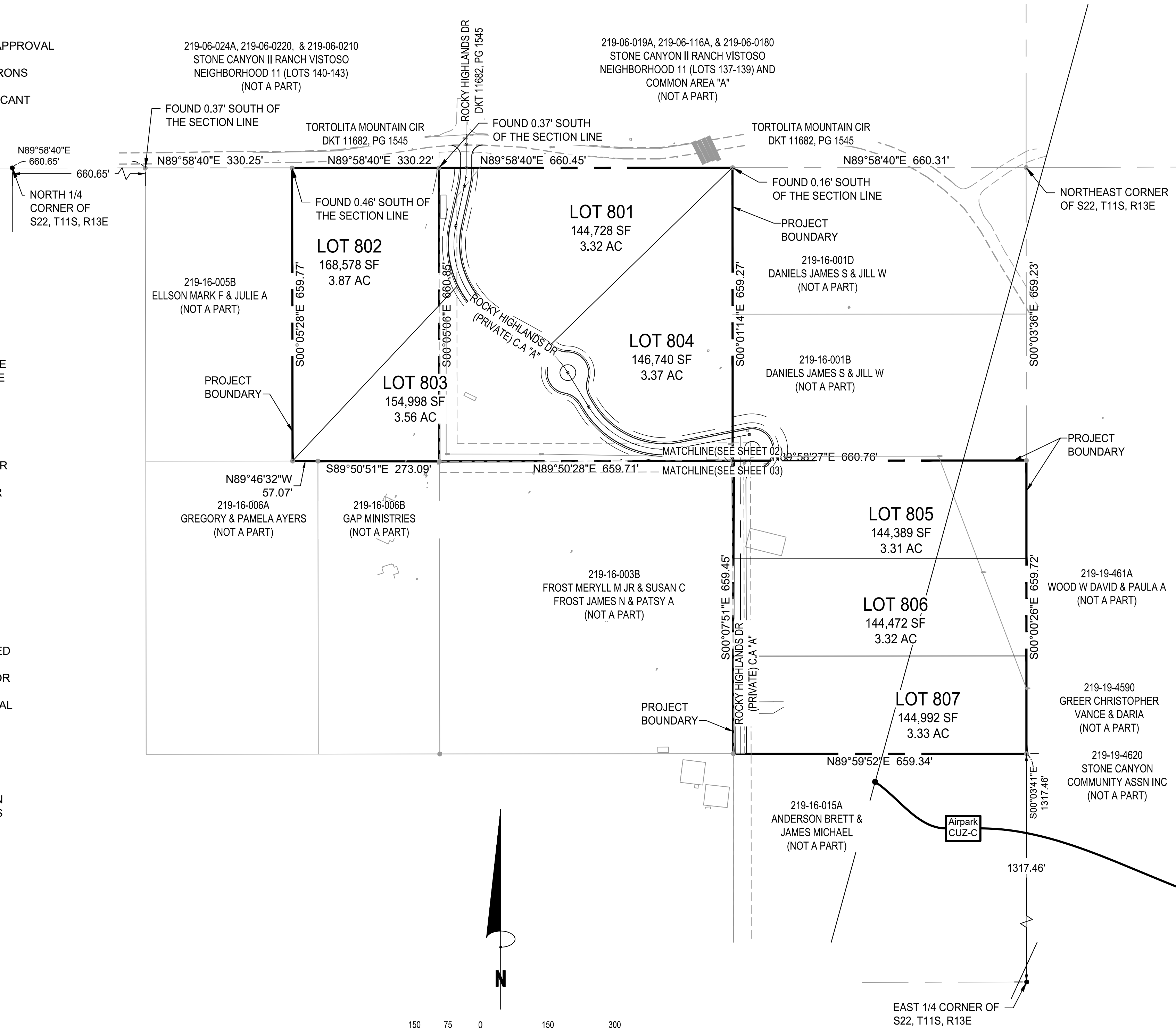
- 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2012 TOWN OF ORO VALLEY POOL CODE
- GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED

DRAINAGE GENERAL NOTES:

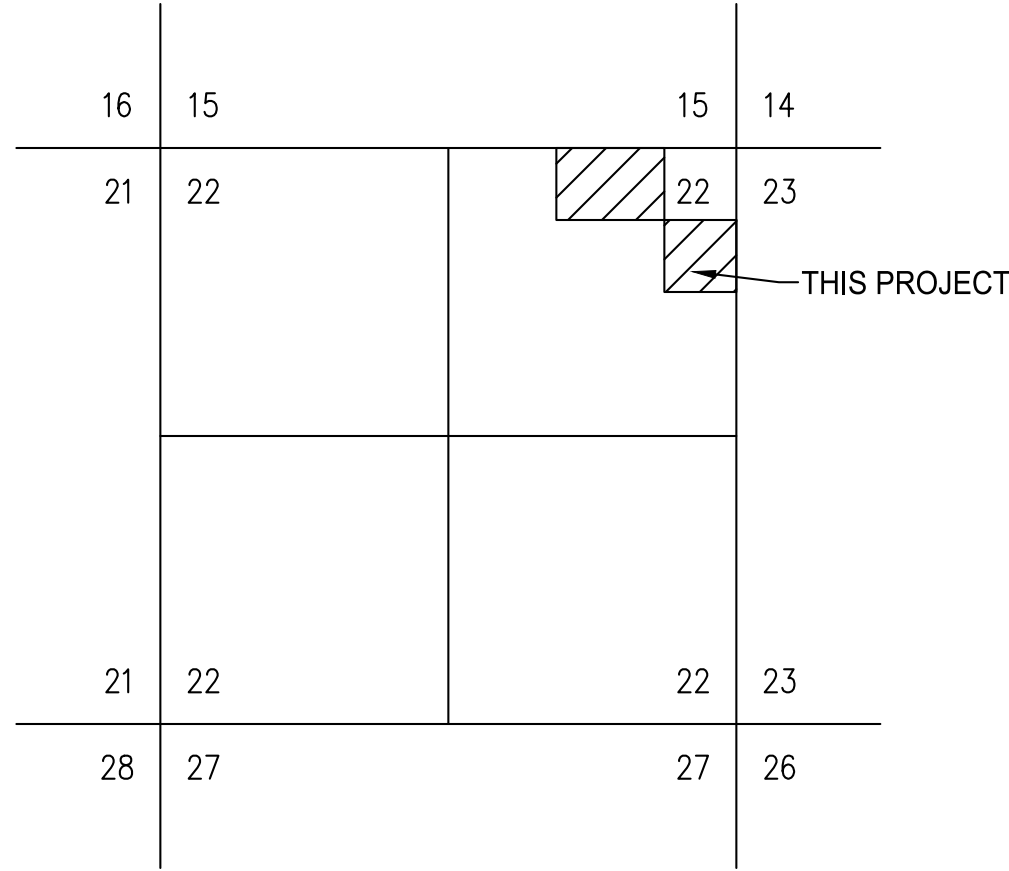
1. DEVELOPER WILL COVENANT TO HOLD THE TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGN, HARMLESS IN THE EVENT OF FLOODING.
2. DRAINAGE WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
3. DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO TOWN STANDARDS AND PAID FOR BY THE DEVELOPER.
4. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/ OR BUILDING OFFICIAL FOR PARCELS AFFECTED.

A SPRINKLER SYSTEM (13D) IS
REQUIRED IN ALL THE DWELLINGS
IN STONE CANYON PHASE IX

CONCEPTUAL SITE PLAN STONE CANYON PHASE IX LOTS 801 TO 807 CASE # 2100964



SCALE: 3"=1 MILE



LOCATION MAP

A PORTION OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. ASSESSOR PARCEL NUMBERS (APN) 219-16-005A, 219-16-003A & 219-16-0020

OWNER

STONE CANYON GOLF,LLC
7077 E MARILYN ROAD
SUITE 142, BLDG 5
SCOTTSDALE, AZ 85254
PHONE: (208) 691-3600
ATTN: ROGER NELSON
rgnelson7@gmail.com

DEVELOPER

STONE CANYON GOLF,LLC
7077 E MARILYN ROAD
SUITE 142, BLDG 5
SCOTTSDALE, AZ 85254
PHONE: (208) 691-3600
ATTN: ROGER NELSON
rgnelson7@gmail.com

CIVIL ENGINEER

BOWMAN CONSULTING, LLC
7464 N LA CHOLLA BLVD.
TUCSON, AZ. 85741
(520) 463-3212
ATTN: ROB SCHLICHER, PE
rschlicher@bowmancg.com

LAND PLANNER

PARADIGM LAND DESIGN,LLC
7025 NORTH SIENA DRIVE
TUCSON, AZ 85704
(520) 664-4304
ATTN: PAUL OLAND
gpo@paradigm.land.us

LANDSCAPE ARCHITECT

WILDER LANDSCAPE ARCHITECTS
2738 E ADAMS STREET
TUCSON, AZ. 85716
PHONE: (520) 320-3936
ATTN: JENNIFER PATTON, PLA
jennifer@wilderla.com

LEGEND

---	MATCH LINE
---	PROPERTY LINE
- - - - -	EX. IRON PIPE/BARBED WIRE FENCE LINE
---	CENTER LINE
- - - - -	EASEMENT
- - - - -	RIGHT-OF-WAY
- - - - -	SURVEY MARKER
- - - - -	WATER LINE
- - - - -	FIRE HYDRANT
- - - - -	WATER VALVE
- - - - -	WATER METER BOX
- - - - -	STORM DRAIN PIPE
- - - - -	VERTICAL CURB & GUTTER
- - - - -	EXISTING CONTOUR ELEVATION
- - - - -	PROPOSED CONTOUR ELEVATION
- - - - -	EXISTING AND PROPOSED GRADE
- - - - -	GRADE BREAK
- - - - -	EX. EROSION HAZARD SETBACK
- - - - -	EXISTING 100-YEAR FLOOD PLAIN
- - - - -	PROPOSED 100-YEAR FLOOD PLAIN
- - - - -	FLOW ARROW
- - - - -	ASPHALT DRIVEWAY
- - - - -	GRADING LIMIT

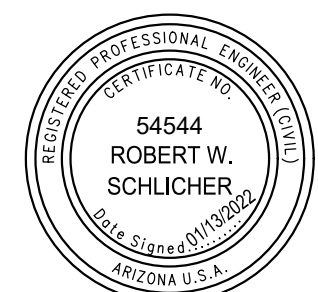
ABBREVIATIONS LIST

B/C	BACK OF CURB
BLDG	BUILDING
C	CONCRETE
CB	CATCH BASIN
TOV	TOWN OF ORO VALLEY
EHS	EROSION HAZARD SETBACK
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
F	FIRE
FF	FINISHED FLOOR ELEVATION
FP	FINISHED PAD ELEVATION
FG	FINISHED GRADE
FGB	FINISHED GRADE BOTTOM
FGT	FINISHED GRADE TOP
GR	GRATE
PC	PIMA COUNTY
NG	NATURAL GRADE
G	GUTTER
P	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
SB	SETBACK
S/W	SIDEWALK
SDMH	STORM DRAIN MANHOLE
STW	STEM WALL
TC	TOP OF CURB
VG	VALLEY GUTTER
VNAE	VEHICLE NON ACCESS EASEMENT
W	WATER
TBM	TEMPORARY BENCH MARK

REFERENCE CASE #: 2002144 & 2100997

CASE #: 2100964

PRV-2002144



Robert W. Schlucher

SHEET INDEX

SHEET 01	COVER SHEET
SHEET 02- 03	PLAN SHEETS
SHEET 04	DETAILS SHEET

CONCEPTUAL SITE PLAN FOR
STONE CANYON PHASE IX

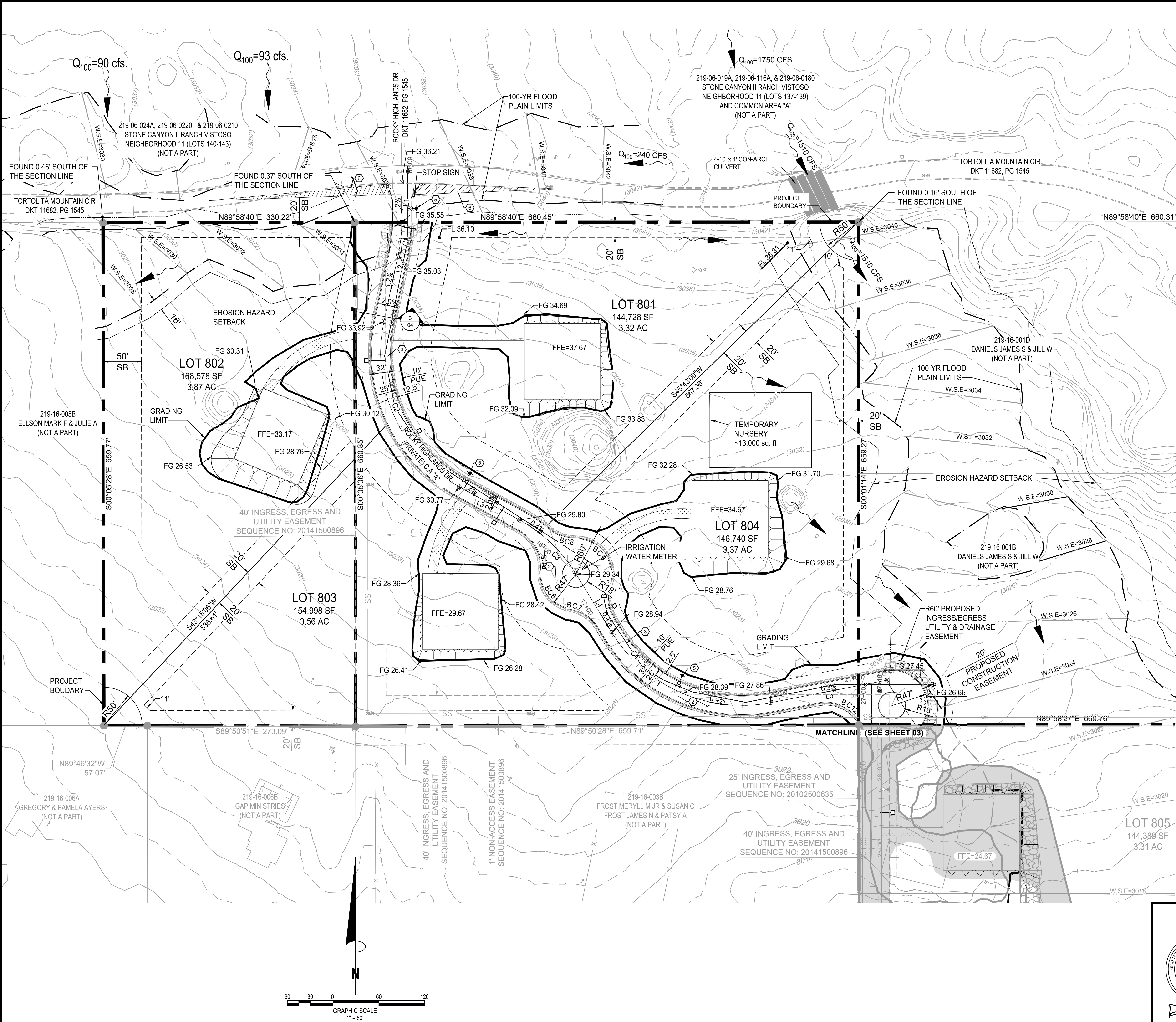
LOTS 801 THROUGH 807 AND COMMON AREAS "A" (DRAINAGE, UTILITIES, AND PAVING IMPROVEMENTS) AND "B" (UNDISTURBED OPEN SPACE)

A PORTION OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA.

Bowman

7464 N. La Cholla Blvd., Tucson, Arizona 85741 Phone: (520) 463-3200 www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

SCALE	H: 1" = 150'	CL:	DRAWN: AH	DATE: 01/13/2022	JOB No. 050829-01-001	SHEET
			DESIGN: RS	REV. DATE:		01 OF 04
			CHKD: RS	REV. DATE:		



KEYNOTES

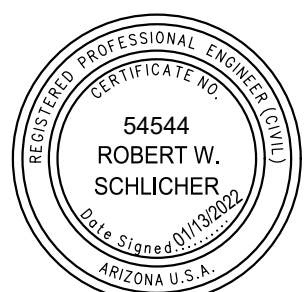
- 1 INSTALL BANK PROTECTION PER DTL 1 ON SHT. 04
- 2 INSTALL 3" AC OVER 4" ABC PER DTL 2 ON SHT. 04
- 3 PROPOSED WATER MAIN. SIZE PER SEPARATE WATER IMPROVEMENT PLAN
- 5 INSTALL NEW FIRE HYDRANT.
- 6 SIGHT VISIBILITY TRIANGLE.

LINE AND CURVE TABLE

CENTERLINE LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°00'42"E	25.40'
L2	N12°04'33"E	90.00'
L3	N61°07'31"W	90.00'
L4	N31°28'28"W	90.00'
L5	S79°02'49"W	155.20'
L6	N00°07'51"W	713.38'

CENTERLINE CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	12°03'51"	200.00'	42.11'
C2	73°12'04"	200.00'	255.52'
C3	14°49'32"	200.00'	51.75'
C4	69°28'44"	200.00'	242.53'

REFERENCE CASE #: 2002144 & 2100997 CASE #: 2100964 PRV-2002144



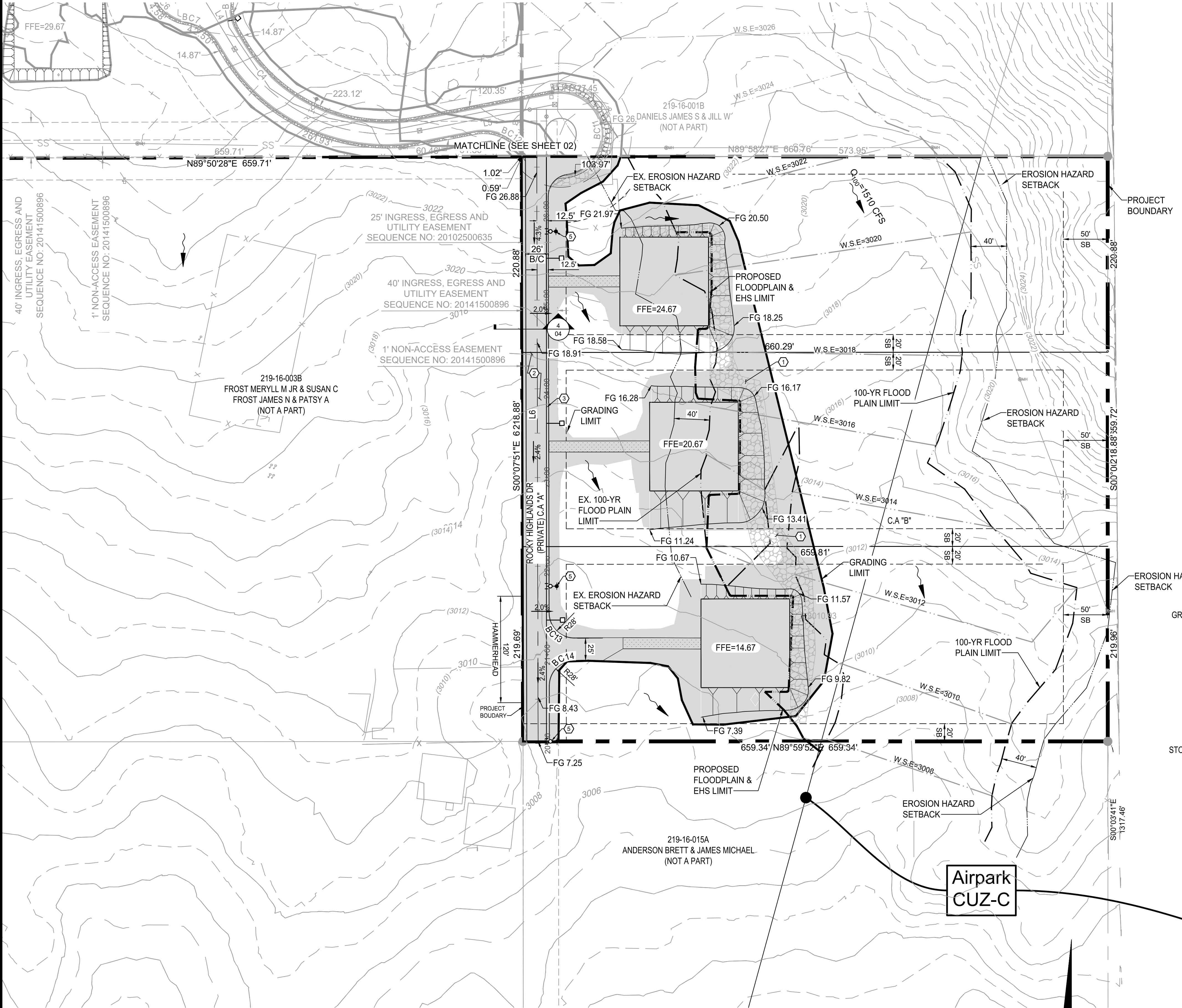
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02 OF 04					



KEYNOTES

- 1 INSTALL BANK PROTECTION PER DTL 1 ON SHT. 04
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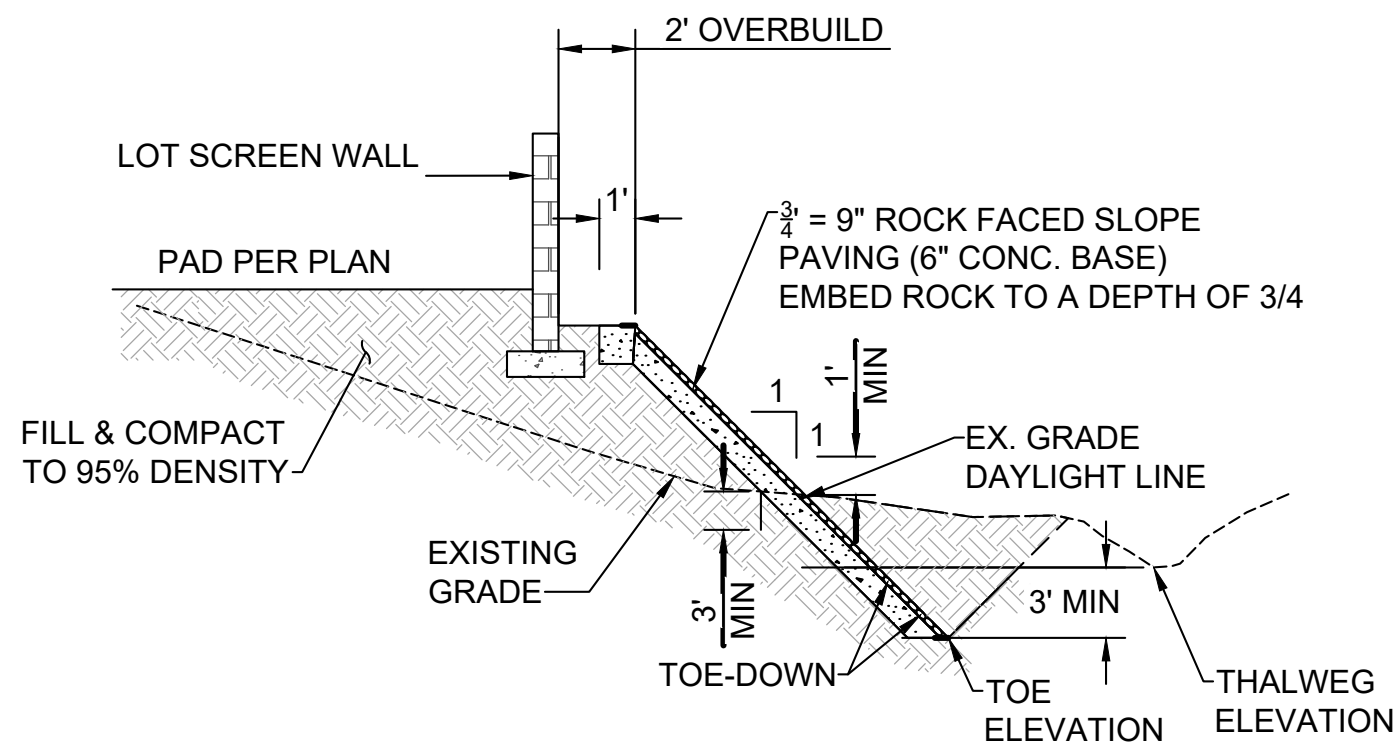
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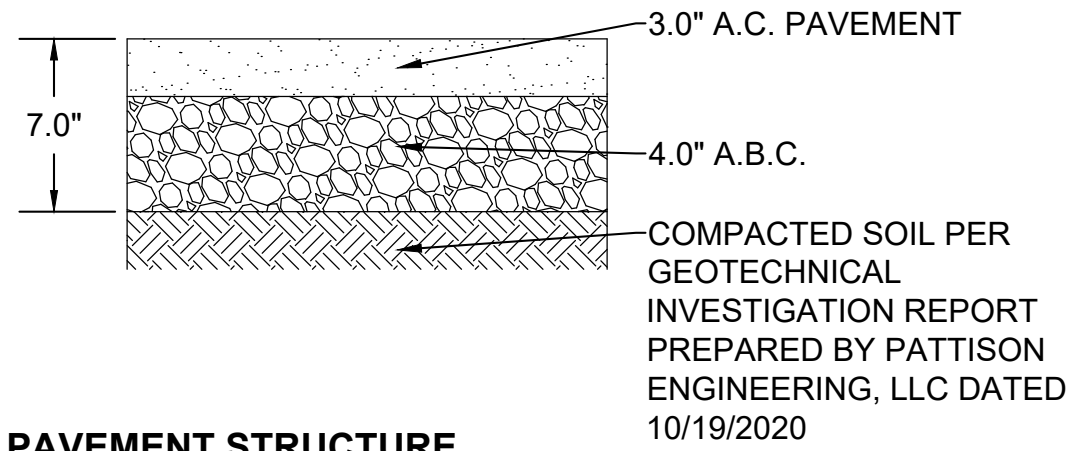
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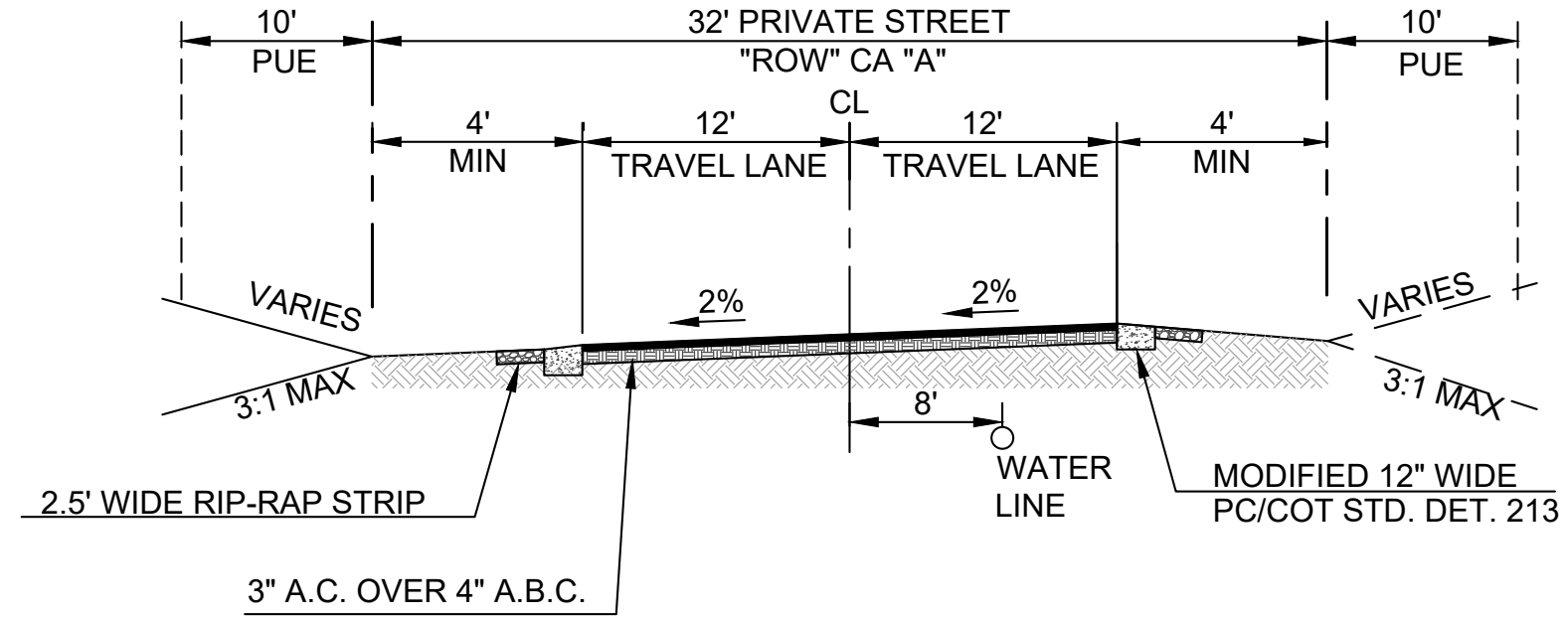
03 OF 04



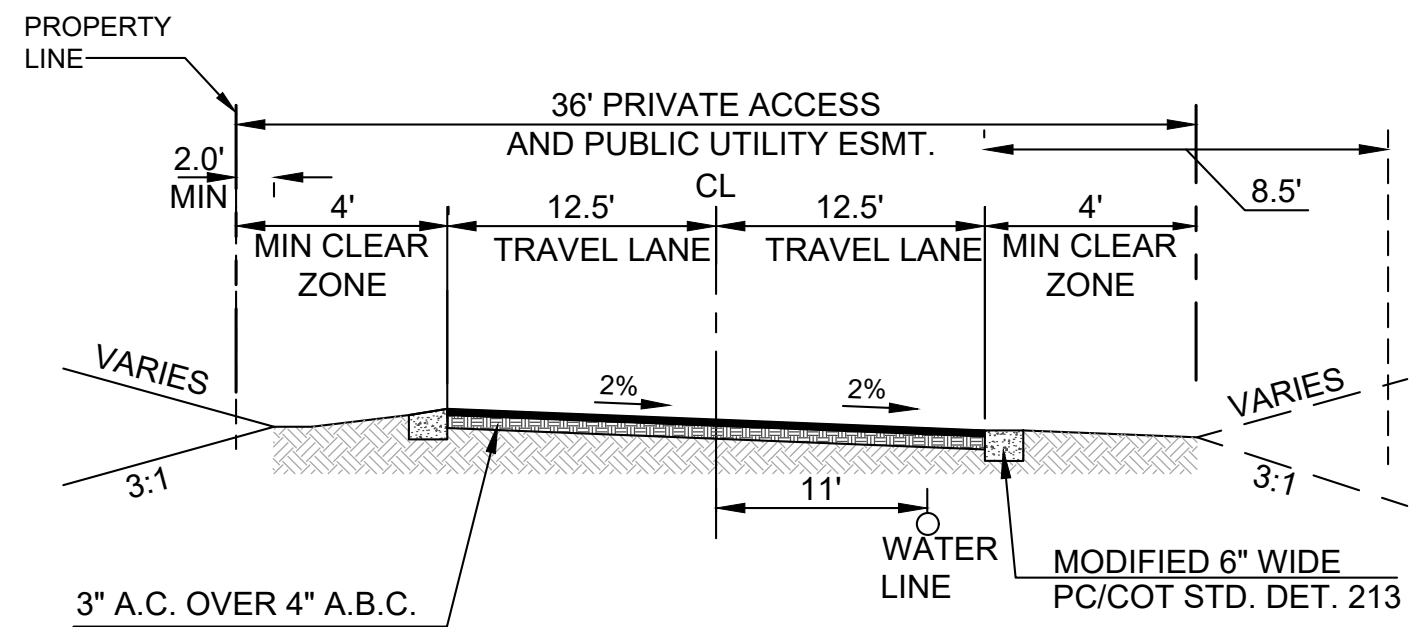
1 EROSION PROTECTION ADJACENT TO WASH
N.T.S.



2 PAVEMENT STRUCTURE
N.T.S.

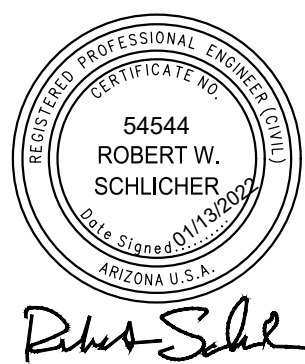


3 PRIVATE STREET ROADWAY SECTION (SUPERELEVATED)
N.T.S.



4 PRIVATE DRIVE SECTION (SUPERELEVATED)
N.T.S.

REFERENCE CASE #: 2002144 & 2100997 CASE #: 2100964 PRV-2002144



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04 OF 04