

FINAL SITE PLAN AND PRIVATE STREET IMPROVEMENT & GRADING PLAN

LOTS 801 THROUGH 807 AND COMMON AREA "A"

A PORTION OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA.

AS-BUILT CERTIFICATION:
(LANDSCAPE)

I HEREBY CERTIFY THAT THE PLANTING AND IRRIGATION HAS BEEN DESIGNED IN ACCORDANCE WITH THE LANDSCAPING AND PLANTING GUIDELINES FOR PUBLIC SEWERS PER PIMA COUNTY RWRD ENGINEERING DESIGN STANDARDS SUBSECTION 7.7

REGISTERED LAND SUVEYOR DATE

REGISTRATION NUMBER EXPIRES

AS-BUILT CERTIFICATION:
(PAVING, GRADING, & DRAINAGE)

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENT AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SUVEYOR DATE

REGISTRATION NUMBER EXPIRES

ACCEPTANCE

TOWN OF ORO VALLEY, TOWN ENGINEER DATE

ORO VALLEY PLANNING & ZONING ADMINISTRATOR DATE

GOLDER RANCH FIRE DISTRICT DATE

ORO VALLEY WATER UTILITY DIRECTOR DATE

TOWN CLERK, ORO VALLEY DATE

ENGINEER'S STANDARD DETAILS DISCLAIMER:

COMPLYING WITH THE ARIZONA STATE BOARD OF TECHNICAL REGISTRATION'S SUBSTANTIVE POLICY STATEMENT REGARDING SEALING OF STANDARD DETAILS, THE STANDARD DETAILS USED IN THE DESIGN OF THIS PROJECT HAVE BEEN FORMALLY ADOPTED BY THE AGENCIES THAT PREPARED THEM. IN VIEW OF THEIR LONG HISTORY OF USE, APPLICABILITY, AND/OR SOUNDNESS, THE ENGINEER ACCEPTS THEIR USE FOR THIS PROJECT AND FINDS NO NEED FOR ALTERATION.

EXCEPT IN CASES WHERE ITS USE MUST BE MODIFIED BY THE ENGINEER IN ORDER TO WORK WITH PROPOSED DESIGN CONDITIONS. SUCH MODIFICATIONS SHALL BE NOTED ON PLAN AND SEALED BY THE REGISTRANT ACCORDINGLY.

PERMITTING DIVISION-BUILDING CODES:

THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:

- 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2012 TOWN OF ORO VALLEY POOL CODE
- GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
- PAG STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
- 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
- 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
- TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
- ORO VALLEY TOWN CODE, CURRENT REVISED

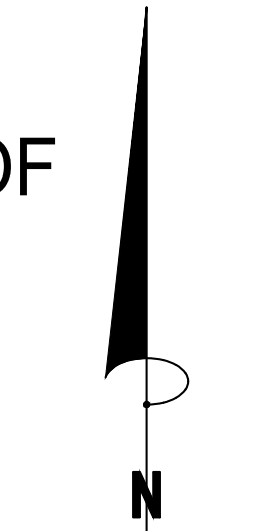
PAG STANDARD DETAILS

- | | |
|-----|--|
| 103 | SURVEY MONUMENT |
| 200 | CONCRETE SIDEWALK |
| 209 | CONCRETE CURB TYPE 2 (WEDGE) |
| 209 | CONCRETE CURB TYPE 2 (SINGLE VERTICAL) |
| 210 | CONCRETE CURB TRANSITION |
| 211 | CONCRETE CURB: NEW TO EXISTING |

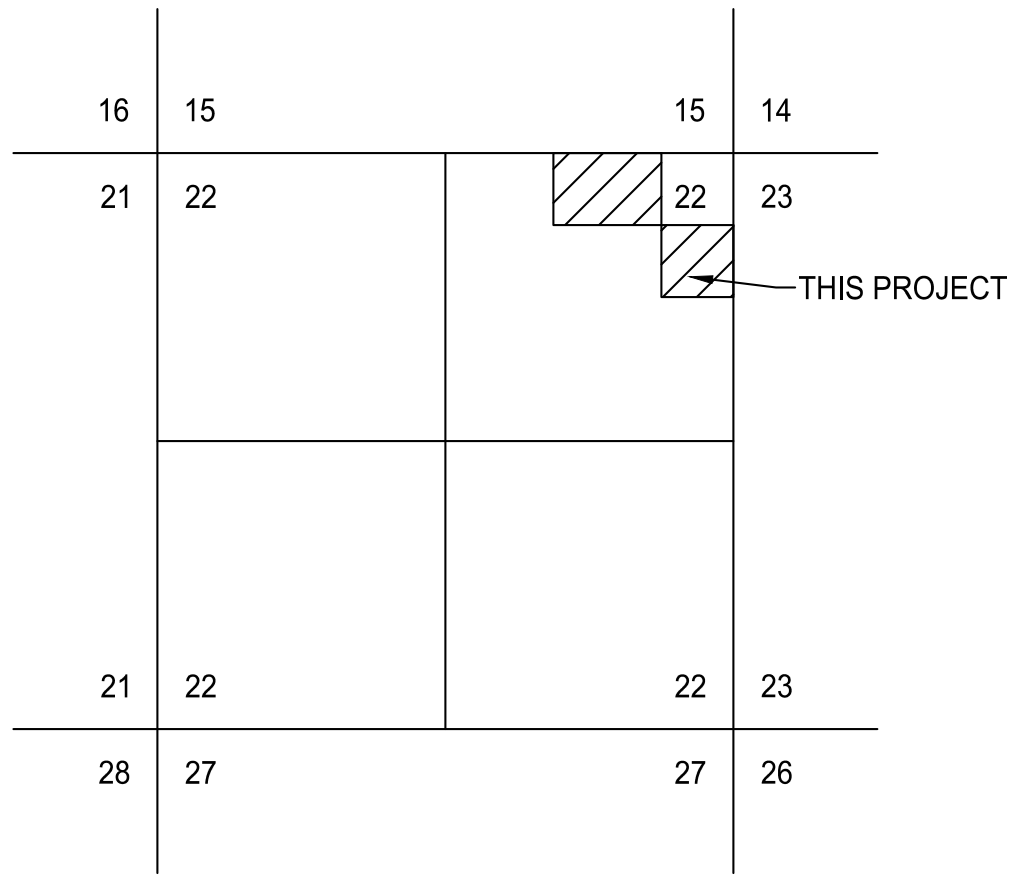
SHEET INDEX

SHEET NUMBER	SHEET TITLE
01	COVER
02	NOTES
03	HORIZONTAL CONTROL
04 - 06	PAVING PLAN AND PROFILE
07 - 08	GRADING PLAN
09	DETAILS

A SPRINKLER SYSTEM (13D) IS REQUIRED IN ALL THE DWELLINGS IN STONE CANYON PHASE IX



SCALE: 3"=1 MILE



LOCATION MAP

A PORTION OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. ASSESSOR PARCEL NUMBERS (APN) 219-16-005A, 219-16-003A & 219-16-0020

OWNER

STONE CANYON GOLF LLC
7077 E MARILYN ROAD
SUITE 142, BLDG 5
SCOTTSDALE, AZ 85254
PHONE: (208) 691-3600
ATTN: ROGER NELSON
rgnelson7@gmail.com

ENGINEER

BOWMAN CONSULTING, LLC
7464 N LA CHOLLA BLVD.
TUCSON, AZ 85741
(520) 463-3212
ATTN: ROB SCHLICHER, PE
rschlicher@bowmanccg.com

LANDSCAPE ARCHITECT

WILDER LANDSCAPE ARCHITECTS
2738 E ADAMS STREET
TUCSON, AZ 85716
PHONE: (520) 320-3936
ATTN: JENNIFER PATTON, PLA
jennifer@wilderla.com

DEVELOPER

STONE CANYON GOLF LLC
7077 E MARILYN ROAD
SUITE 142, BLDG 5
SCOTTSDALE, AZ 85254
PHONE: (208) 691-3600
ATTN: ROGER NELSON
rgnelson7@gmail.com

LAND PLANNER

PARADIGM LAND DESIGN, LLC
7025 NORTH SIENA DRIVE
TUCSON, AZ 85704
(520) 664-4304
ATTN: PAUL OLAND
gpo@paradigmiland.us

LEGEND

---	MATCH LINE
---	PROPERTY LINE
---	EX. IRON PIPE/BARBED WIRE FENCE LINE
---	CENTER LINE
---	EASEMENT
---	RIGHT-OF-WAY
---	SURVEY MARKER
---	WATER LINE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER BOX
---	STORM DRAIN PIPE
---	VERTICAL CURB & GUTTER
---	EXISTING CONTOUR ELEVATION
---	PROPOSED CONTOUR ELEVATION
---	EXISTING AND PROPOSED GRADE
---	GRADE BREAK
---	EX. 100-YEAR EHS
---	EX. 100-YEAR FLOOD PLAIN LIMIT
---	PROPOSED 100-YEAR FLOOD PLAIN
---	PROPOSED 100-YEAR EHS
---	FLOW ARROW
---	ASPHALT DRIVEWAY
---	GRADING LIMIT

ABBREVIATIONS LIST

B/C	BACK OF CURB
BLDG	BUILDING
C	CONCRETE
CB	CATCH BASIN
TOV	TOWN OF ORO VALLEY
EHS	EROSION HAZARD SETBACK
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
F	FIRE
FF	FINISHED FLOOR ELEVATION
FP	FINISHED PAD ELEVATION
FG	FINISHED GRADE
FGT	FINISHED GRADE BOTTOM
GR	GRATE
PC	PIMA COUNTY
NG	NATURAL GRADE
G	GUTTER
P	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
SB	SETBACK
S/W	SIDEWALK
SDMH	STORM DRAIN MANHOLE
STW	STEM WALL
TC	TOP OF CURB
VG	VALLEY GUTTER
VNAE	VEHICLE NON ACCESS
W	EASEMENT
TBM	TEMPORARY BENCH MARK

BASIS OF BEARING

BASIS OF BEARING BEARS S 89°58'40" W BETWEEN THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA, PER STONE CANYON II RANCHO VISTOSO NEIGHBORHOOD 11 (135-234) SUBDIVISION MAP, SEQUENCE NUMBER 20000630042 OFFICIAL RECORDS OF PIMA COUNTY, ARIZONA

BASIS OF ELEVATION

BASIS OF ELEVATION FOR THIS PROJECT IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

BENCHMARKS

- 2" B.C.S.M. - STAMPED RLS 14145 C INTX. OF RANCHO VISTOSO BLVD. (STA: 122+44.18) & VISTOSO HIGHLANDS DR. ELEV = 2951.36.
- 2" B.C.S.M. - STAMPED RLS 4527 C CENTERLINE OF RANCHO VISTOSO BLVS (STA 127+77.64) ELEV = 2960.03.



Bowman

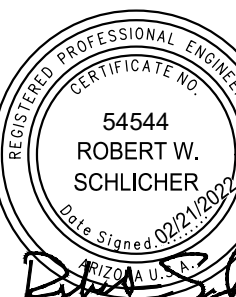
Bowman Consulting Group, Ltd.
7464 N La Cholla Blvd.
Tucson, Arizona 85741
Phone: (520) 463-3200
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

COVER
STONE CANYON PHASE IX

PIMA COUNTY

ORO VALLEY, AZ

050829-01-001
PROJECT NUMBER



PLAN STATUS

DATE DESCRIPTION

AH DESIGN AJ DRAWN RS CHKD

SCALE H: 1" = 150' V:

JOB No: 050829-01-001

DATE: 02/21/2022

SHEET 01 OF 09

GENERAL NOTES:

1. THE OVERALL GROSS AREA OF THIS DEVELOPMENT IS 1,089,087.12 S.F. = 25.002 ACRES.
2. GROSS DENSITY OF THIS DEVELOPMENT IS 0.28 RAC.
3. TOTAL LENGTH OF NEW PUBLIC STREETS IS 0 MILES.
4. TOTAL LENGTH OF NEW PRIVATE STREETS IS 0.34 MILES.
5. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
6. ASSESSOR TAX PARCEL NUMBERS ARE 219-16-005A, 219-16-003A AND 2019-16-0020.
7. ALL NEW RIGHTS OF WAY TO BE DEDICATED BY FINAL PLAT.
8. THE MAXIMUM LOT SIZE IS 168578 S.F. (3.87 AC, LOT #802). THE AVERAGE LOT SIZE IS 149842 S.F. (3.44 AC).
9. CULTURAL RESOURCE AREA PROTECTIVE FENCING OR OTHER APPROVED PROTECTIVE MEASURES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE ASSOCIATED PHASE OF DEVELOPMENT WITHIN THE SUBDIVISION.

PLANNING GENERAL NOTES:

1. BUILDING INFORMATION:
MAXIMUM BUILDING HEIGHT ALLOWED = 18'
MAXIMUM HEIGHT PROPOSED = 18'
2. BUILDING SETBACK INFORMATION:
REQUIRED SIDE SETBACK = 20' PROVIDED = 20'
REQUIRED REAR SETBACK = 50' PROVIDED = 50'
REQUIRED FRONT SETBACK = 50' PROVIDED = 50'
3. COMMON AREA INFORMATION:
REQUIRED OPEN SPACE = 0%
PROVIDED COMMON AREA "A" (DRAINAGE, UTILITIES AND PAVING IMPROVEMENTS) = 650,265 S.F
PROVIDED COMMON AREA "B" (UNDISTURBED OPEN SPACE) =286,210 S.F
TOTAL AMOUNT OF LANDSCAPED COMMON AREA = 0
4. EXISTING ZONING IS R1-144
5. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS
6. THE PROJECT IS DESIGNED TO MEET THE SPECIFIC DESIGN CRITERIA OF AIRPORT ENVIRONS ZONES C AND D.
7. THE PROJECT IS DESIGNED TO MEET THE SPECIFIC CRITERIA OF GENERAL PLAN SIGNIFICANT RESOURCE AREA(SRA). LOTS 805, 806, AND 807 ARE AFFECTED BY SRA.
8. COMMON AREA "A": PRIVATE STREET SHALL BE OWNED AND MAINTAINED BY THE H.O.A

DRAINAGE GENERAL NOTES:

1. DEVELOPER WILL COVENANT TO HOLD THE TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGN, HARMLESS IN THE EVENT OF FLOODING.
2. DRAINAGE WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
3. DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO TOWN STANDARDS AND PAID FOR BY THE DEVELOPER.
4. ALL DRAINAGE FACILITIES WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FROM THE BUILDING OFFICIAL FOR ALL AFFECTED BUILDINGS.
5. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/ OR BUILDING OFFICIAL FOR PARCELS AFFECTED. AFFECTED PARCELS MUST BE SPECIFICALLY IDENTIFIED EITHER BY NUMBER IN NOTE OR BY OUTLINE ON THE DEVELOPMENT PLAN.
6. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO THE DEVELOPMENT.
7. DRAINAGE MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS ASSOCIATION.
8. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OF PARKING AREAS.
9. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.
10. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED, AND A SUMMARY REPORT PREPARED A MINIMUM OF ONCE PER YEAR IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT.
11. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED, AND A SUMMARY REPORT PREPARED BY AN ARIZONA REGISTERED CIVIL ENGINEER A MINIMUM OF ONCE EACH FIVE YEARS IN ACCORDANCE WITH THE PROCEDURES IN THE APPROVED DRAINAGE REPORT.

ENGINEERING GENERAL NOTES:

1. THE DESIGN VEHICLE FOR THIS PROJECT IS A SU-30. THE DESIGN SPEED FOR THIS PROJECT IS 25 MPH.
2. ALL NEW ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENTS AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURF.
5. FINAL SITE PLANS AND IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
6. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.
7. BASIS OF BEARINGS FOR THIS PROJECT BEARS S 89°58'40" W BETWEEN THE NORTH QUARTER CORNER AND NORTHEAST CORNER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 13 EAST OF GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA, PER STONE CANYON II RANCHO VISTOSO NEIGHBORHOOD 11 (135-234) SUBDIVISION MAP, SEQUENCE NUMBER 20000630042 OFFICIAL RECORDS OF PIMA COUNTY, ARIZONA.

ORO VALLEY WATER UTILITY GENERAL NOTES:

1. THIS DEVELOPMENT MUST COMPLY WITH ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
2. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADWR REGULATIONS.
3. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
4. ORO VALLEY WATER UTILITY WILL BE WATER SERVICE PROVIDER.
5. WATER INFRASTRUCTURE AS REPRESENTED ON THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE WATER IMPROVEMENT PLAN.
6. ORO VALLEY WATER SHALL HAVE UTILITY EASEMENT DEDICATION PER SEPERATE INSTRUMENT BEFORE APPROVAL OF FINAL SITE PLAN (FSP).

GENERAL UTILITY NOTES:

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES:

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. AUTOMATIC FIRE SPRINKLERS ARE REQUIRED IN ALL NEWLY CONSTRUCTED COMMERCIAL BUILDINGS. RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED IN A NEWLY CONSTRUCTED HOME. FIRE SPRINKLER SYSTEM (NFPA 13D) IS REQUIRED IN ALL ONE-TWO FAMILY DWELLINGS IN STONE CANYON PHASE IX. HOMES OF 3601+ SQUARE FEET SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THE REQUIRED FIRE FLOW PRESCRIBED BY IFC TABLE B105.1 IS NOT AVAILABLE WITHIN 600 FEET OF THE HOME. ALL HOMES, REGARDLESS OF SIZE, WITHIN A SUBDIVISION OF 30 LOTS OR MORE SHALL BE PROVIDED WITH RESIDENTIAL FIRE SPRINKLERS WHEN THERE IS ONLY ONE FIRE APPARATUS ACCESS POINT AVAILABLE TO THE SUBDIVISION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

WASTEWATER GENERAL NOTES:

1. PROJECT IS IN CONFORMANCE WITH SECTION J, WASTEWATER, OF THE PIMA COUNTY DEVELOPMENT PLAN REQUIREMENTS AS REFERENCED IN 18.71.030.A.
2. ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
3. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO.1991-140, AS AMENDED).
4. THE ON-SITE SANITARY SEWAGE COLLECTION LINES WILL BE PUBLIC AND DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS. ALL BUILDING CONNECTION SEWERS WILL BE PRIVATELY MAINTAINED.
5. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
7. CONSTRUCTION AUTHORIZATION FROM THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE CONSTRUCTION AUTHORIZATION.

Bowman

Bowman Consulting Group, Ltd.

700 N. La Orosita Blvd.
Tucson, Arizona 85741

Phone: (602) 463-3200

www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

NOTES

STONE CANYON PHASE IX

ORO VALLEY, AZ

PIMA COUNTY

050829-01-001
PROJECT NUMBER



Robert W. Schlicher

PLAN STATUS

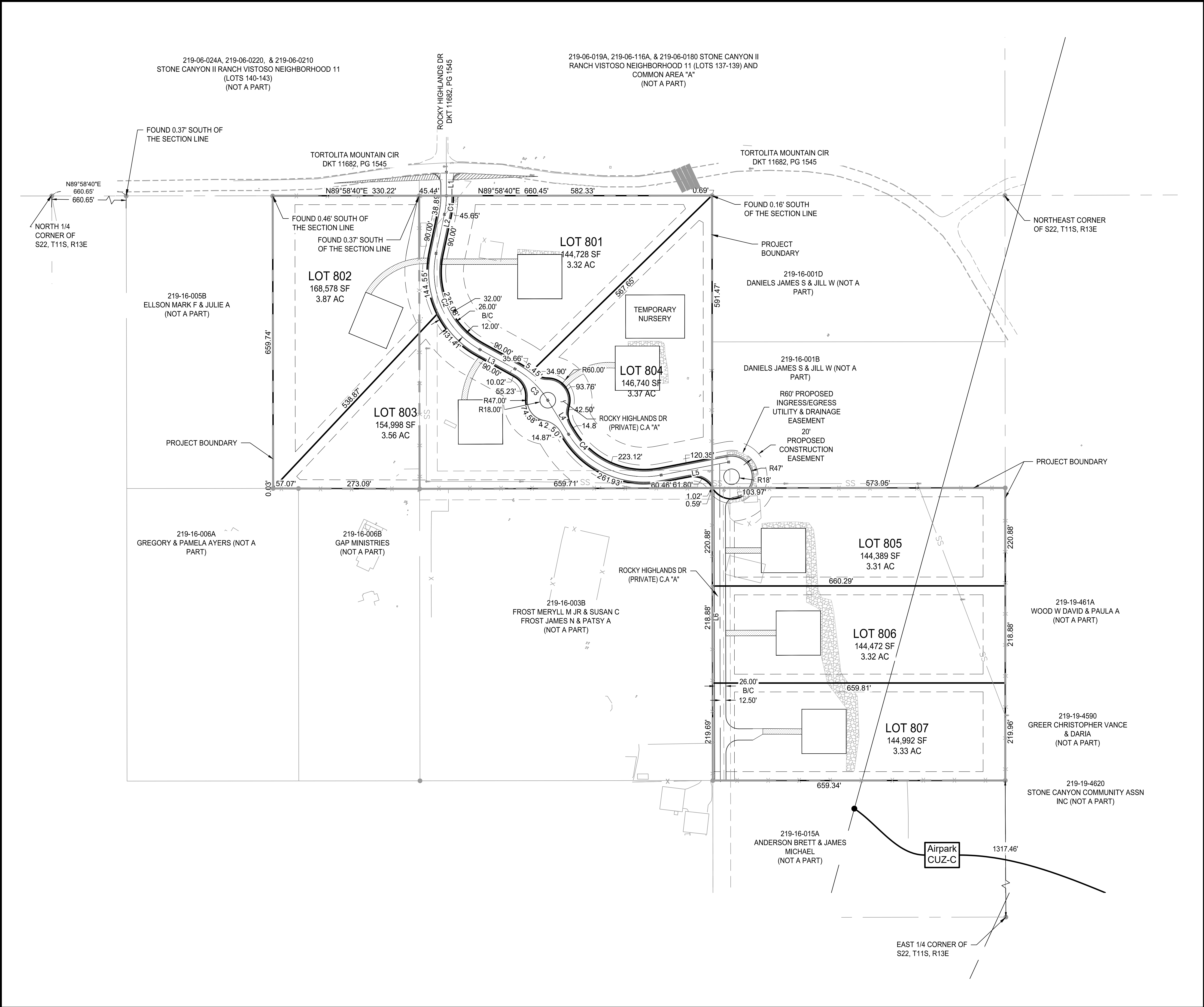
DATE	DESCRIPTION	
AH DESIGN	AJ DRAWN	RS CHKD
SCALE	H: V:	

JOB No. 050829-01-001

DATE : 02/21/2022



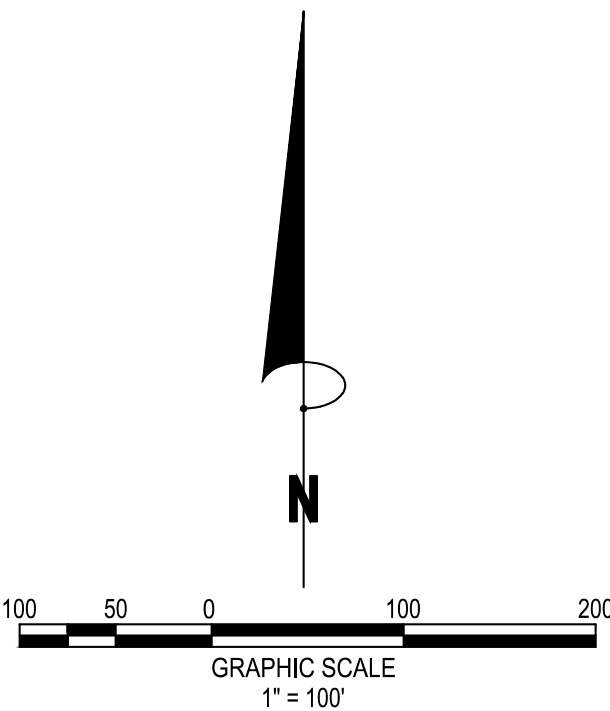
SHEET 02 OF 09



LINE AND CURVE TABLE

CENTERLINE LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°00'42"E	25.40'
L2	N12°04'33"E	90.00'
L3	N61°07'31"W	90.00'
L4	N31°28'28"W	90.00'
L5	S79°02'49"W	155.20'
L6	N00°07'51"W	713.38'

CENTERLINE CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	12°03'51"	200.00'	42.11'
C2	73°12'04"	200.00'	255.52'
C3	14°49'32"	200.00'	51.75'
C4	69°28'44"	200.00'	242.53'



Bowman

Bowman Consulting Group, Ltd.
P.O. Box 14, Ochoa Road
Tucson, Arizona 85741
Phone: (602) 463-3200
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

HORIZONTAL CONTROL
STONE CANYON PHASE IX
ORO VALLEY, AZ
PIMA COUNTY

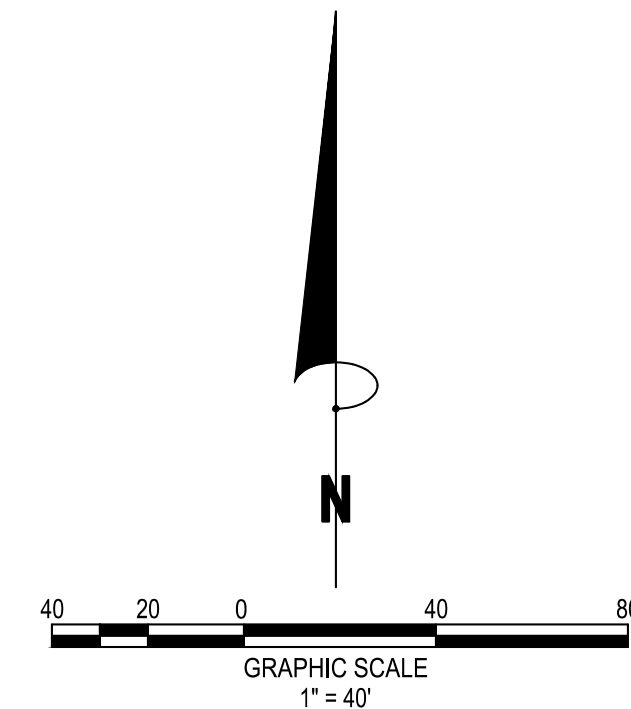
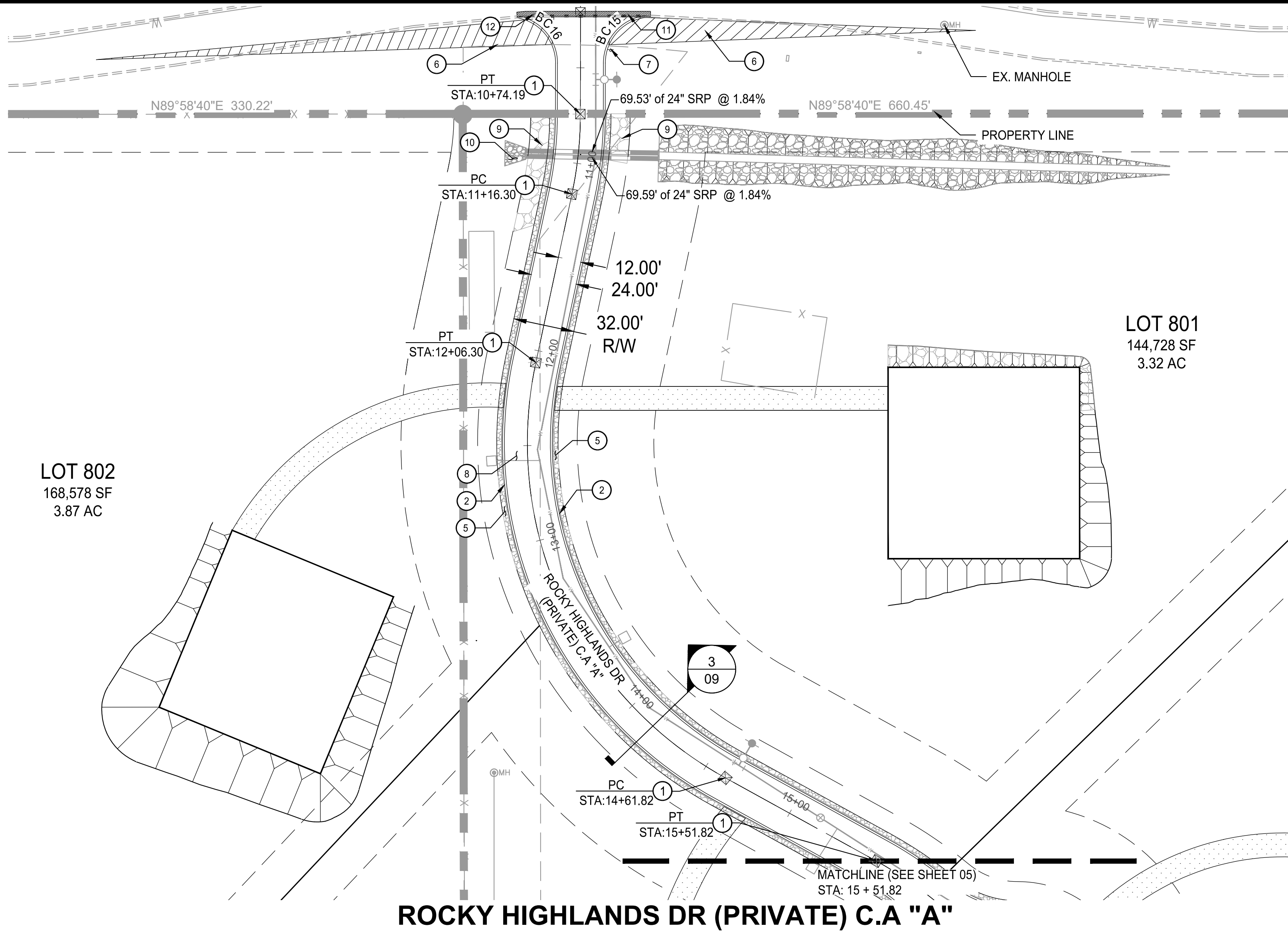
050829-01-001
PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION	
AH DESIGN	AJ DRAWN	RS CHKD
SCALE	H: 1" = 100" V:	
JOB No.	050829-01-001	
DATE	02/21/2022	

SHEET 03 OF 09



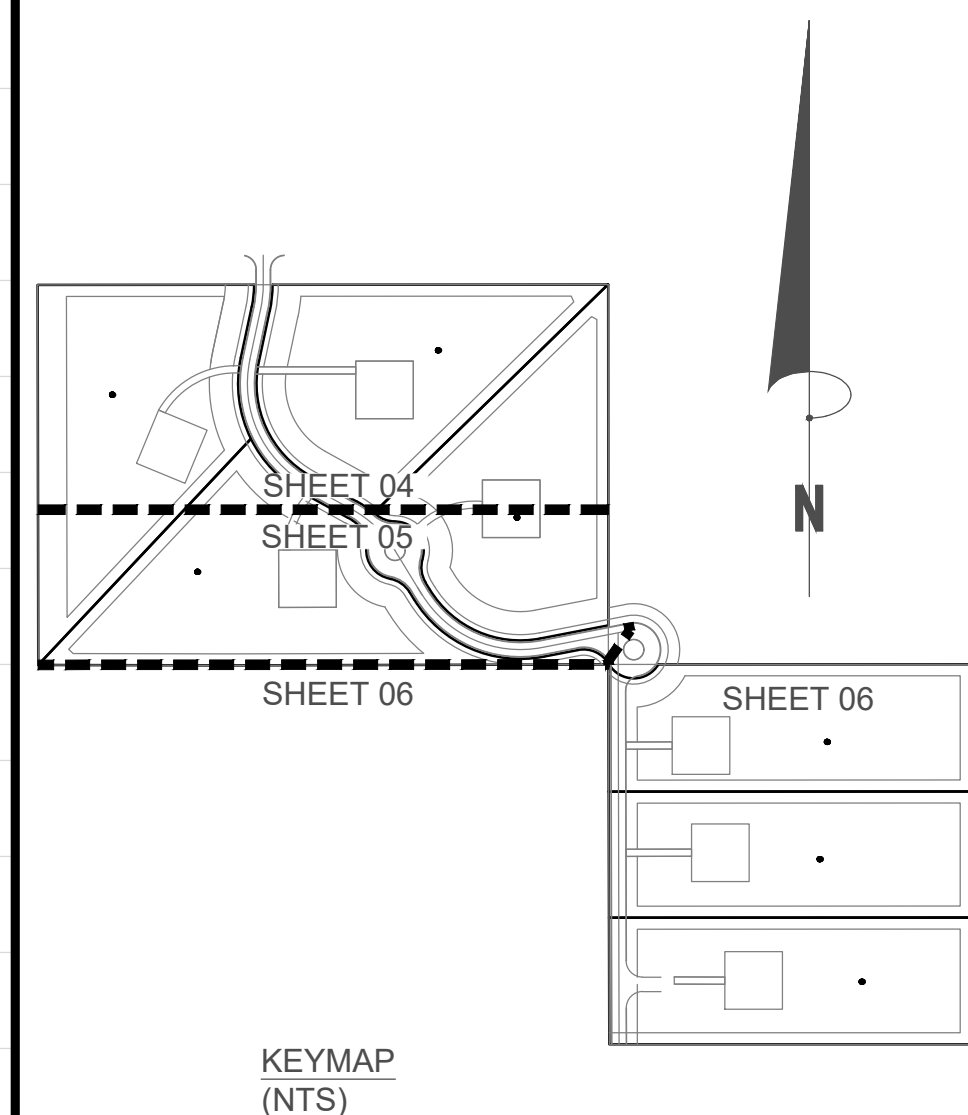
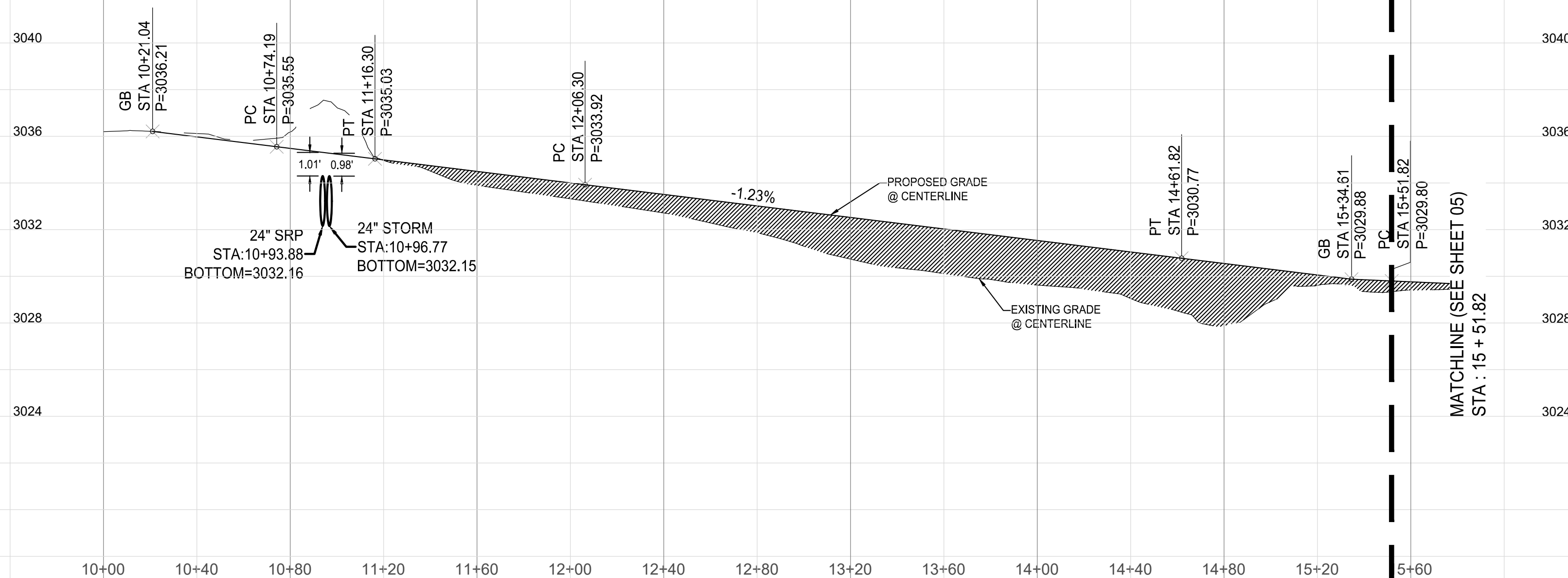
CONSTRUCTION KEYNOTES

- 1 INSTALL SURVEY MONUMENTS PER P.A.G. STD. DTL. 103.
- 2 CONSTRUCT 2' WEDGE CURB (H=6") PER P.A.G. STD. DTL. 209.
- 5 CONSTRUCT CONCRETE SIDEWALK PER P.A.G. STD. DTL. 200. STANDARD 3' SIDEWALK UNLESS OTHERWISE NOTED.
- 6 SIGHT VISIBILITY TRIANGLE SEE DTL 6, SHT. 8.
- 7 INSTALL 30" X 30" R1-1 "STOP SIGN" AND STREET NAME SIGN.
- 8 INSTALL 3" AC OVER 4" ABC SEE DTL. 2, SHT. 8.
- 9 INSTALL BANK PROTECTION PER DTL. 1, SHT. 8.
- 10 ROCK RIP-RAP SPLASH PAD, SEE DTL. 5, SHT. 8.
- 11 SAWCUT TO NEAT CLEAN EDGE (MIN. 2'), REMOVE AND REPLACE EXISTING PAVEMENT PER CITY INSPECTOR'S DISCRETION. TYPE AND THICKNESS TO MATCH EXISTING
- 12 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT

LINE AND CURVE TABLE

BACK OF CURB CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
BC15	88°24'30"	25.00'	38.58'
BC16	79°44'33"	25.00'	34.79'

PROFILE SCALE:
HORIZ: 1" = 40'
VERT: 1" = 4'

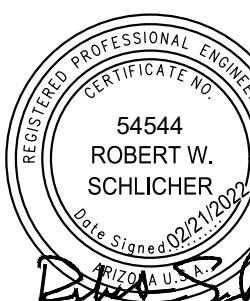


Bowman

Bowman Consulting Group, Ltd.
P.O. Box 14, Oro Valley, AZ 85741
Tucson, Arizona 85741
Phone: (520) 463-3200
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

PAVING PLAN AND PROFILE
STONE CANYON PHASE IX
PIMA COUNTY
ORO VALLEY, AZ

050829-01-001
PROJECT NUMBER



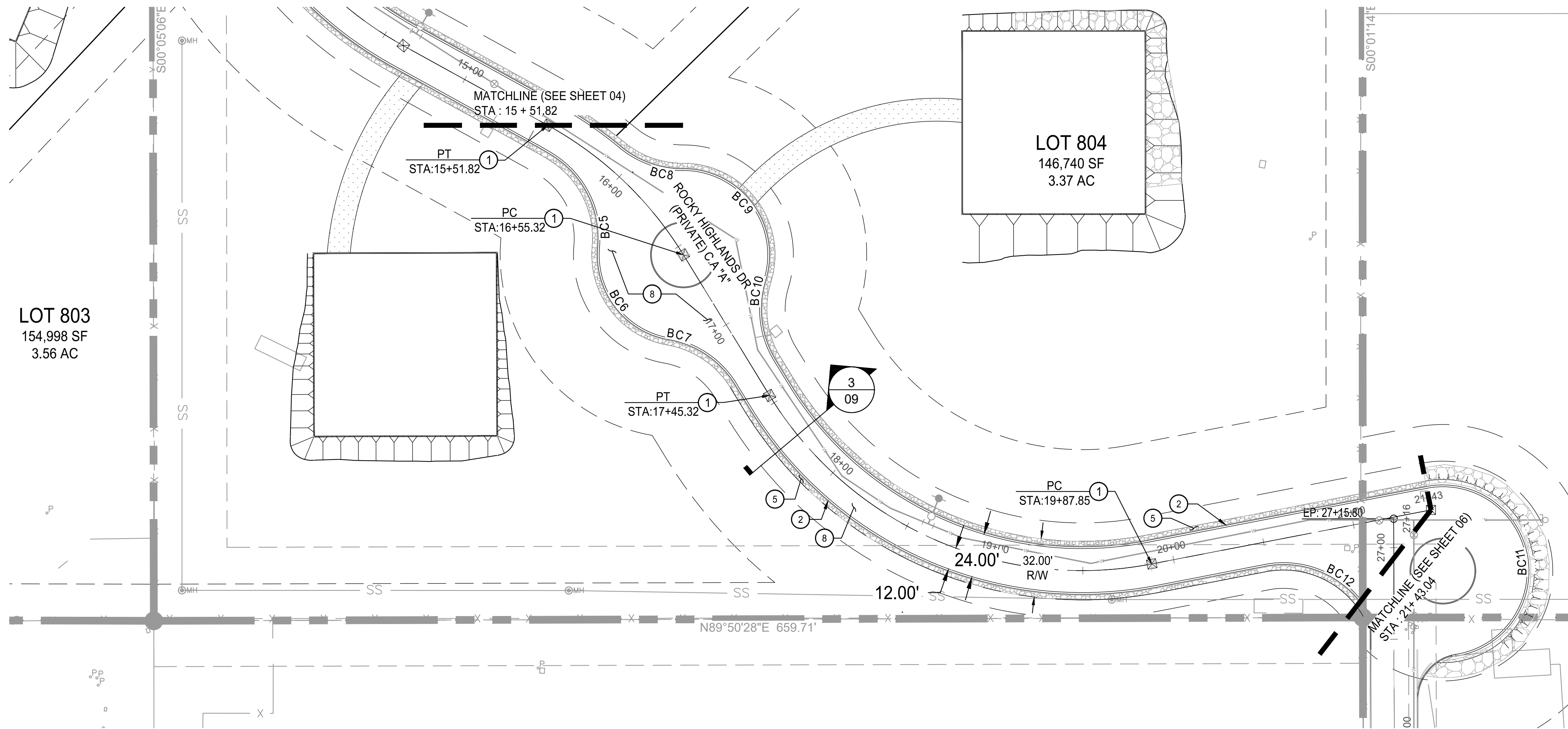
PLAN STATUS

DATE	DESCRIPTION
AH DESIGN	AJ DRAWN
SCALE	H: 1" = 40"
	V: 1" = 4'

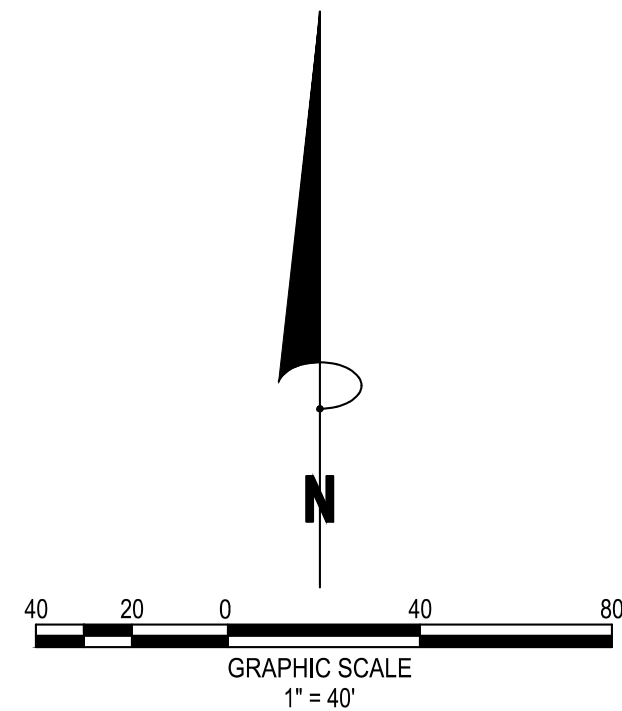
JOB No. 050829-01-001

DATE: 02/21/2022

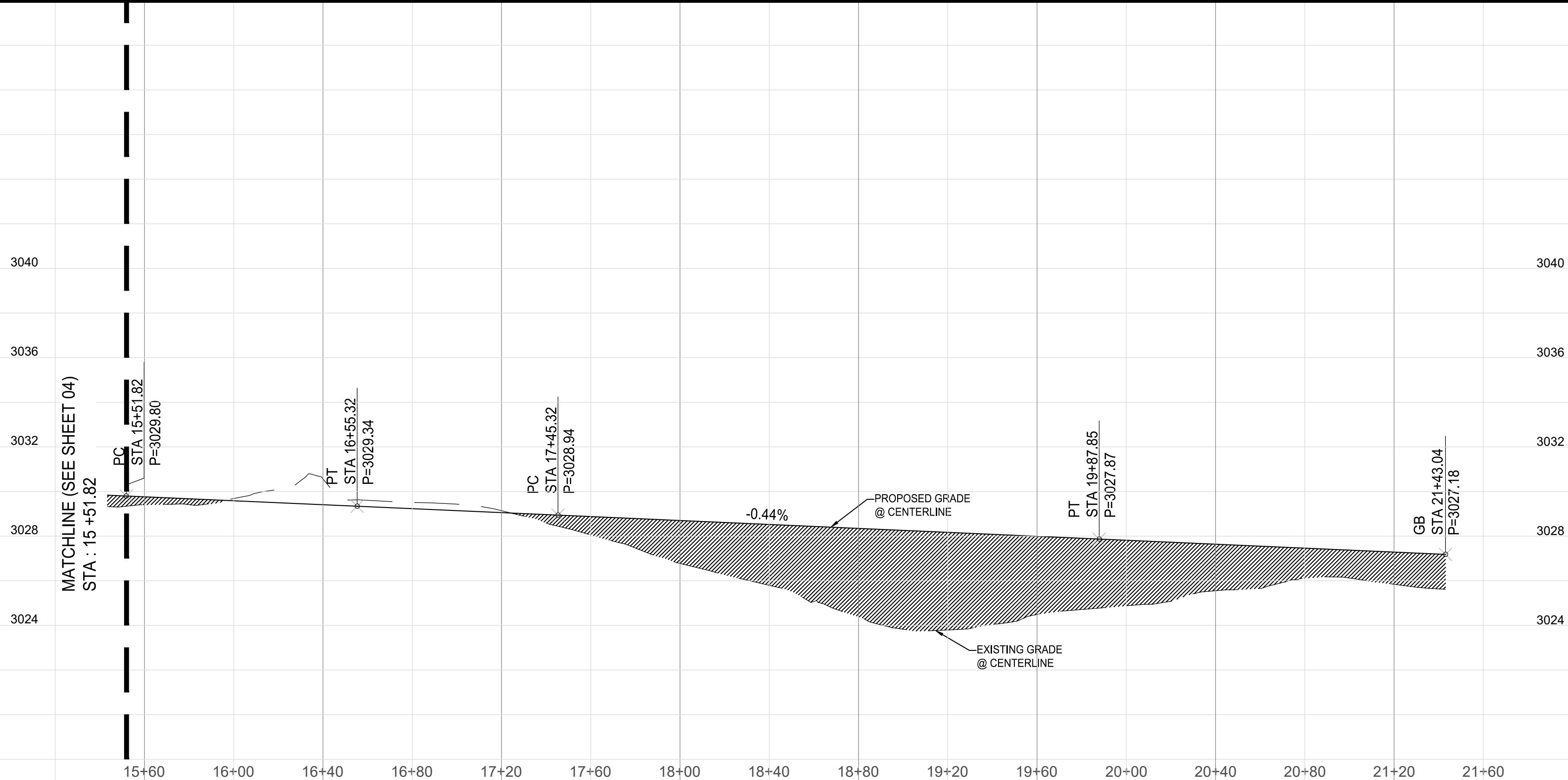
SHEET 04 OF 09



ROCKY HIGHLANDS DR
(PRIVATE) C.A "A"



PROFILE SCALE:
HORIZ: 1" = 40'
VERT: 1" = 4'

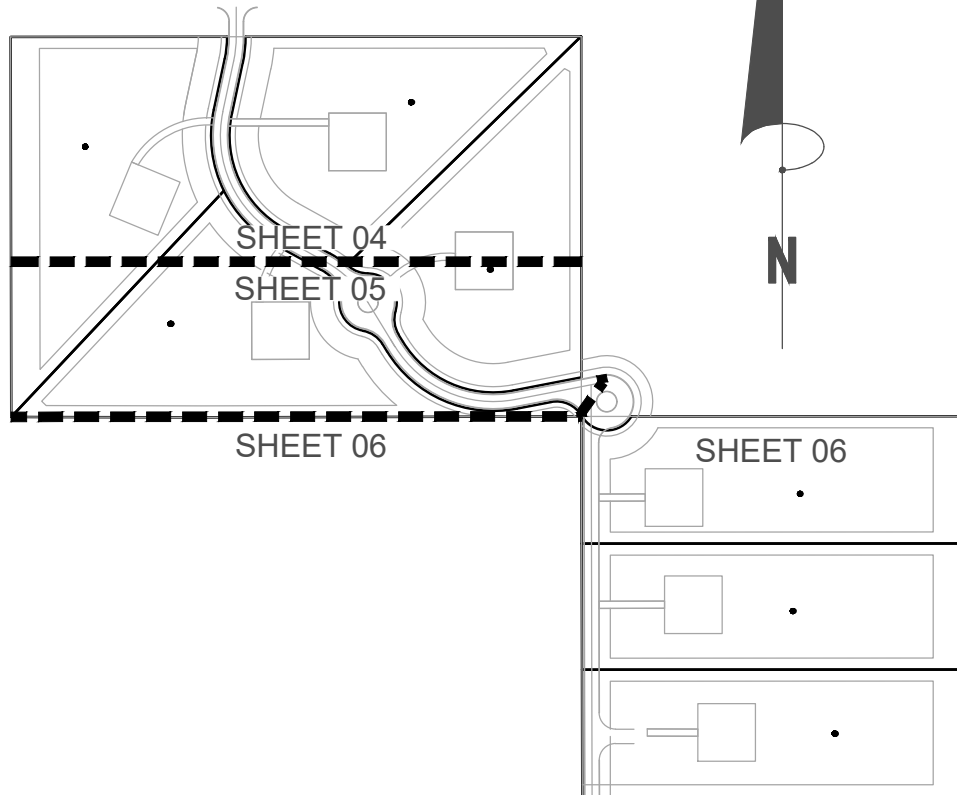


CONSTRUCTION KEYNOTES

1. INSTALL SURVEY MONUMENTS PER P.A.G. STD. DTL. 103.
2. CONSTRUCT 2' WEDGE CURB (H=6") PER P.A.G. STD. DTL. 209.
5. CONSTRUCT CONCRETE SIDEWALK PER P.A.G. STD. DTL. 200. STANDARD 3' SIDEWALK UNLESS OTHERWISE NOTED.
8. INSTALL 3" AC OVER 4" ABC SEE DTL. 2, SHT. 8.

LINE AND CURVE TABLE

BACK OF CURB CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
BC5	63°17'41"	53.00'	58.55'
BC6	85°27'53"	47.00'	70.11'
BC7	48°42'00"	53.00'	45.05'
BC8	39°59'45"	53.00'	37.00'
BC9	107°26'30"	47.00'	88.13'
BC10	48°42'00"	53.00'	45.05'
BC11	182°06'50"	47.00'	149.39'
BC12	62°38'56"	53.00'	57.95'



KEYMAP
(NTS)

Bowman

Bowman Consulting Group, Ltd.
P.O. Box 124
Tucson, Arizona 85741
Phone: (602) 463-3200
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

PAVING PLAN AND PROFILE
STONE CANYON PHASE IX

PIMA COUNTY

ORO VALLEY, AZ

050829-01-001
PROJECT NUMBER



PLAN STATUS

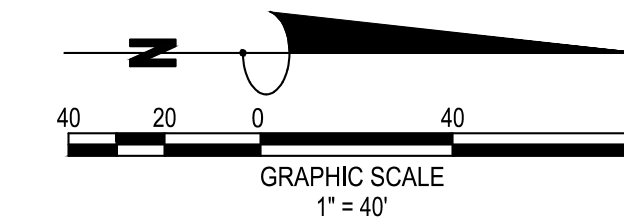
DATE	DESCRIPTION	
AH DESIGN	AJ DRAWN	RS CHKD
SCALE	H: 1" = 40"	V: 1" = 4'

JOB No. 050829-01-001

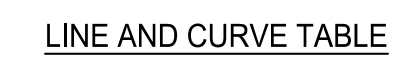
DATE: 02/21/2022



SHEET 05 OF 09



PROFILE SCALE:
HORIZ: 1" = 40'
VERT: 1" = 4'



BACK OF CURB CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
BC11	182°06'50"	47.00'	149.35'
BC12	62°38'56"	53.00'	57.95'
BC13	90°00'00"	28.00'	43.98'
BC14	90°00'00"	28.00'	43.98'



Call at least two full working days
before you begin excavation.

ARIZONA 811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5341)
In Maricopa County: (602) 263-1100

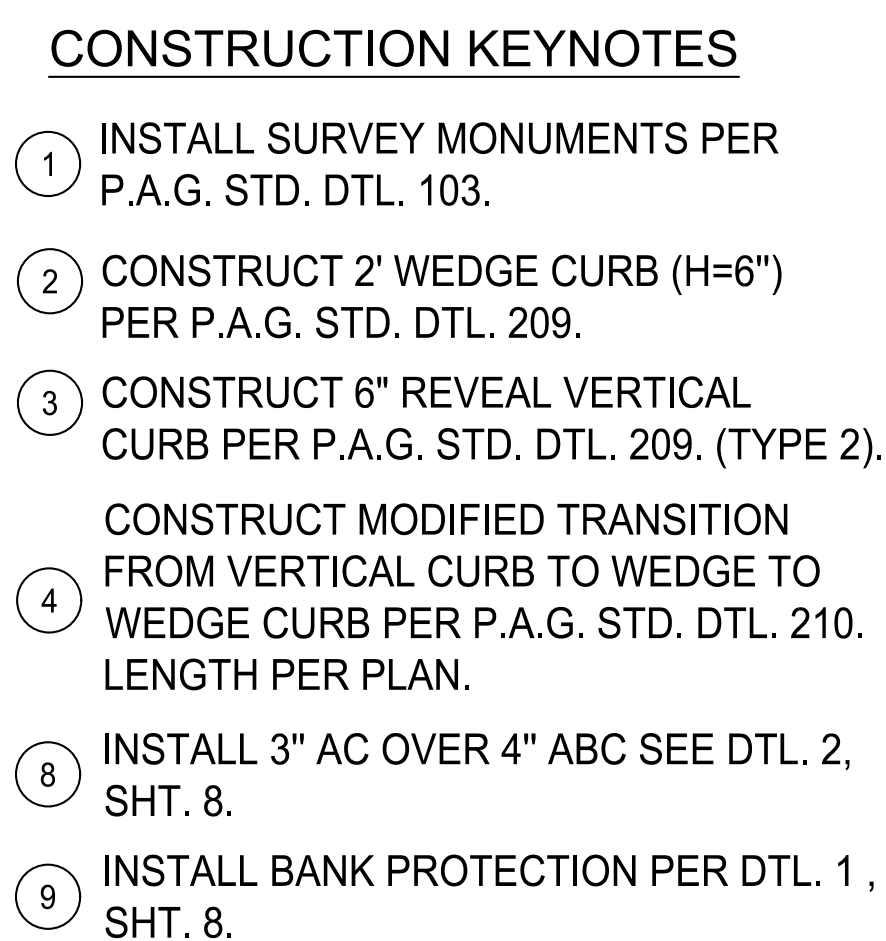
- | PAVING PLAN AND PROFILE

STONE CANYON PHASE IX | | | PIMA COUNTY

ORO VALLEY, AZ | | |
|--|----------|-------------|--|--|--|
| | | | Bowman Consulting Group, Ltd.
7464 N. La Cholla Blvd.
Tucson, Arizona 85747

Phone: (602) 463-3200

www.bowmanconsulting.com | | |
| BOWMAN | | | | | |
| 050829-01-001
PROJECT NUMBER | | | | | |
|
<i>Diana Schuler</i>
Diana Schuler | | | | | |
| PLAN STATUS | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| DATE | | DESCRIPTION | | | |
| AH DESIGN | AJ DRAWN | RS CHKD | | | |
| SCALE H: 1" = 40' | | V: | | | |
| JOB NO. 050829-01-001 | | | | | |
| DATE : 02/21/2022 | | | | | |
| SHEET 06 OF 09 | | | | | |



Bowman

Bowman Consulting Group, Ltd.
7464 N. La Cholla Blvd.
Tucson, Arizona 85741

Phone: (520) 463-3200

www.bowmanconsulting.com

© Bowman Consulting Group, Ltd.

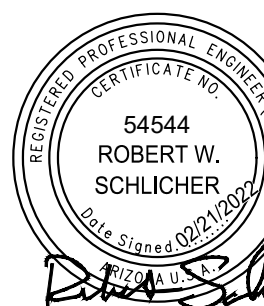
GRADING PLAN

STONE CANYON PHASE IX

PIMA COUNTY

PACIFIC VALLEY, AZ

050829-01-001
PROJECT NUMBER



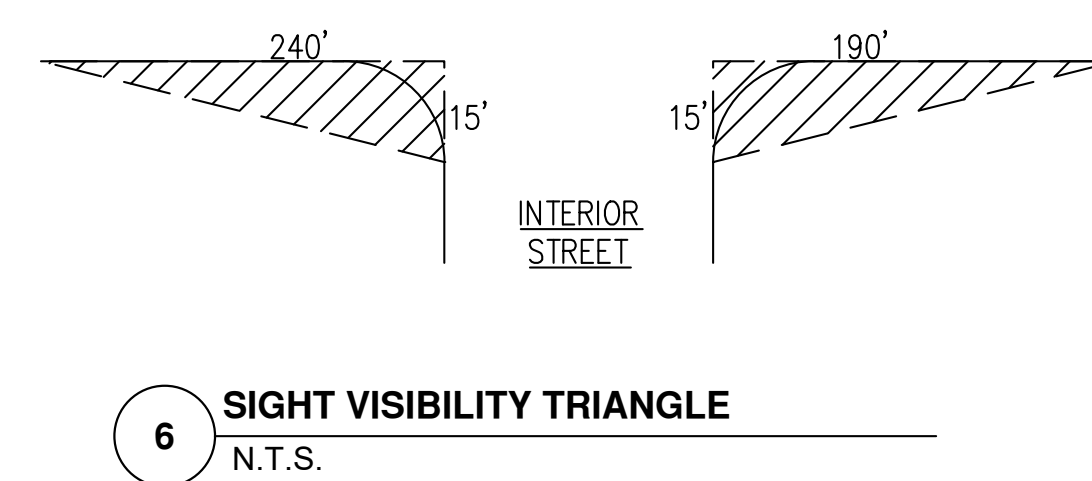
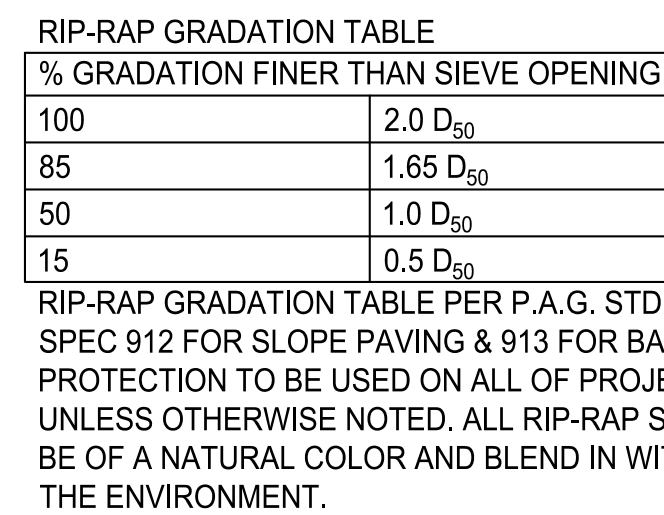
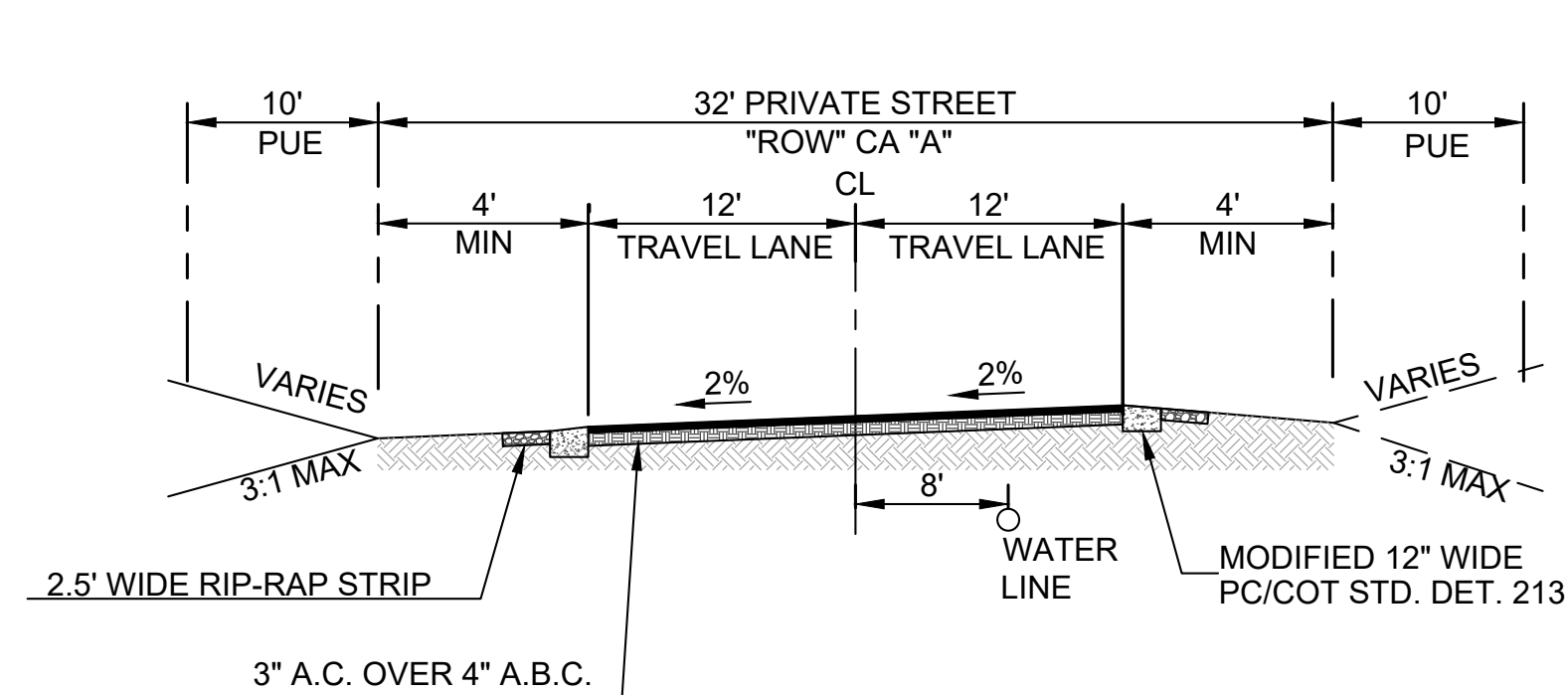
PLAN STATUS		
DATE	DESCRIPTION	
AH DESIGN	AJ DRAWN	RS CHKD
SCALE	H: 1" = 60" V:	
JOB No.	050829-01-001	
DATE :	02/21/2022	

SHEET 08 OF 09

Call at least two full working days
before you begin excavation.

ARIZONA 811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



PROPOSED
CHANNEL DETAIL

N.T.S.

- SEE CALCULATION SHEETS IN HYDRO REPORT-APPENDIX B FOR MORE INFORMATION
- SIDE SLOPES STEEPER THAN 3:1 SHALL BE RIP-RAP IN ACCORDANCE TO SLOPE STABILIZATION DETAILS