

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS **10.7 ACRES** (INCLUDING 3.9 AC OFFSITE WORK).
2. THE GROSS FLOOR AREA OF ALL STRUCTURES IS **176,882 SQUARE FEET**. THE FLOOR AREA OF APARTMENT STRUCTURES IS 172,656. THE FLOOR AREA OF THE CLUBHOUSE IS 3,744 SF. THE FLOOR AREA OF THE MAINTENANCE BUILDING IS 482 SF.
3. THE LOT COVERAGE PERCENTAGE IS **N/A**.
4. TOTAL MILES OF NEW PUBLIC STREETS IS **0.0 MILES**.
5. TOTAL MILES OF NEW PRIVATE STREETS IS **0.0 MILES**.
6. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
7. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND REVEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
8. THE PROPOSED USE FOR THIS PROJECT IS **HIGH DENSITY MULTI-FAMILY RESIDENTIAL AND TRAILHEAD PARKING**.
9. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
10. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
11. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED.
12. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPED AREAS.

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER RANCHO VISTOSO PAD DOCUMENT (SEC 1.3) IS **34' (2-STORIES)**. THE PROPOSED BUILDING HEIGHT IS 31' MAX. (2-STORIES).
2. THE EXISTING ZONING FOR A.P.N. 219-19-1910 IS **RANCHO VISTOSO PAD 5 'HDR'**. THE EXISTING ZONING FOR A.P.N. 219-19-1840 RV PAD 5 'OPEN SPACE'. THE PROPOSED ZONING FOR A.P.N. 219-19-1840 IS **RV PAD 5 'RECREATION'**. SEE SHEET 2 FOR REZONING CONDITIONS.
3.
 - a. THE TOTAL AREA OF OPEN SPACE REQUIRED PER RV PAD IS 30% OF THE GROSS AREA OF THE SITE. TOTAL AREA OF OPEN SPACE (INCLUDING LANDSCAPED COMMON AREAS) PROVIDED IS 37.7% (EXCLUDING TRAILHEAD USE AREA).
 - b. THE TOTAL AMOUNT OF LANDSCAPED COMMON AREAS IS 99,952 SF.
4. REQUIRED LANDSCAPED BUFFER-YARDS PER RV PAD 5:

STREET	=	30'
SIDE	=	20'
REAR	=	20'
5. BUILDING SETBACKS:

STREET	-	20' REQUIRED; 30' (MIN.) PROVIDED
SIDE	-	5' REQUIRED; 10.4' (MIN.) PROVIDED
REAR	-	5' REQUIRED; 5' (MIN.) PROVIDED
6. THIS PROJECT IS NOT SUBJECT TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
7. EXISTING ZONING IS **RV PAD 5 'HDR'**. SEE PAD DOCUMENT DATED JUNE 22, 1987 ORDINANCE # (O) 06-02 (LATEST AMENDMENT).
8. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
9. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
10. THIS PROJECT HAS COMMON SPACES WITH AMENITIES AND LANDSCAPE THROUGHOUT THE SITE. THERE IS NO UNDISTURBED NATURAL OPEN SPACE.
11. A.P.N. S' 219-19-1910 AND 219-19-1840 CONTAIN RIPARIAN HABITAT WITHIN THE 100 YEAR FLOODPLAIN. THIS PROJECT COMPLIES WITH RELATED REGULATIONS.

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF BEARINGS FOR THIS PROJECT IS ALONG THE CENTERLINE OF VISTO HIGHLANDS DRIVE AS SHOWN ON THIS PLAN AND THAT "RANCHO VISTOSO NEIGHBORHOOD 11 PARCEL H AND N, RANCHO VISTOSO NEIGHBORHOOD 13 PARCEL F" PLAT, RECORDED IN BOOK 51, PAGE 33 OF MAPS AND PLATS. THE BEARING OF SAID LINE IS **N 73°00'01" E**.
5. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION, "OPUS" CONTROL POINT "11513E_Q19", DESCRIPTION: "H4 REBAR W/TAG 'PCDOT GPS". THE ELEVATION OF SAID BENCHMARK IS **2968.02'**, NAVD 88 DATUM.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLAN DESCRIBED BY TWO HORIZONTAL LINES LOCATED BETWEEN THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
4. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
5. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

1. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
2. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
3. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
4. ALL WELLS WITHIN THE PROJECT BOUNDARIES MUST BE ABANDONED PER ADWR REGULATIONS.
5. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THE PLAT OR DEVELOPMENT PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE PUBLIC WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL PUBLIC WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE PUBLIC WATER IMPROVEMENT PLAN SUBMITTAL
7. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
4. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

1. ALL TRAIL EASEMENTS INDICATED ARE FOR USE BY THE GENERAL PUBLIC AS PERMANENT, NON-MOTORIZED TRAIL EASEMENTS.
2. ALL PUBLIC TRAILS AND SIGNAGE MUST BE CONSTRUCTED BY THE DEVELOPER TO PIMA REGIONAL TRAIL SYSTEM MASTER PLAN STANDARDS IN CONSULTATION WITH THE TOWN PARKS AND RECREATION DEPARTMENT.
3. TRAIL AND SIGN LOCATIONS, AS INDICATED ON THIS PLAN, MUST BE FIELD VERIFIED BY TOWN STAFF PRIOR TO CONSTRUCTION AND ARE SUBJECT TO ADJUSTMENTS.
4. TRAILS MUST BE POSITIONED IN A MANNER TO AVOID VEGETATION AND MINIMIZE POTENTIAL FOR EROSION.
5. FOR RESIDENTIAL DEVELOPMENTS, CONSTRUCTION OF ALL RECREATIONAL AMENITIES AND PUBLIC OR PRIVATE TRAILS WITHIN THE PROJECT LIMITS MUST BE COMPLETED BY THE TIME 25% OF BUILDING PERMITS ARE ISSUED PER SECTION 26.5 OF THE ZONING CODE.
6. ALL PUBLIC TRAILS AREA OWNED AND MAINTAINED BY THE TOWN OF ORO VALLEY. PUBLIC TRAIL EASEMENTS MUST BE DEDICATED TO THE TOWN AS PART OF THE FINAL PLAN.

	PROPOSED USE	UNITS	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	RES - 1 BR	76	1.50	114				1	2	11	34
	RES - 2 BR	56	1.75	98							
	GUEST	132	0.25	33.0							
TOTALS:		132		245	246	7	7	1	2	11	34

DEVELOPMENT PLAN for RULNEY VISTOSO RESIDENTIAL CASE #2203155

PAD OPEN SPACE

HDR

SEE SHEETS 6 & 10

W VISTOSO HIGHLANDS DR (PUBLIC)

BLDG. #1

BLDG. #2

BLDG. #3

BLDG. #4

BLDG. #5

BLDG. #6

BLDG. #7

BLDG. #8

BLDG. #9

SEE SHEETS 5 & 9

PAD REC

SEE SHEETS 8 & 12

SEE SHEETS 7 & 11

MATCH LINE

RANCHO VISTOSO PAD HDR

PROJECT OVERVIEW PLAN

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - A. 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
 - B. 2011 NATIONAL ELECTRICAL CODE.
 - C. 2010 AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES.
 - D. 2006 GOLDEN RANCH FIRE DEPARTMENT STANDARDS AND FORMS.
 - E. 2012 TOWN OF ORO VALLEY POOL CODE.
 - F. 2015 PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.).
 - G. 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
 - H. 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND ROADS MANUAL.
 - I. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
 - J. ORO VALLEY TOWN CODE, CURRENT REVISED.
 - K. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

THIS PROJECT

W MOORE RD

W TANGERINE DR

W NARANJA DR

N LA CHOLLA BL

N LA CANADA DR

N ORANGE RD

PLANNING AND ZONING ADMINISTRATOR	DATE
TOWN ENGINEER	DATE
ORO VALLEY WATER UTILITY DIRECTOR	DATE

San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

C.I.: N/A

CASE #2203155

1. COVER SHEET
2. NOTES + LEGEND
3. OVERALL EXISTING SITE PLAN
4. OVERALL PROPOSED SITE PLAN
5. SITE PLAN (SW)
6. SITE PLAN (NW)
7. SITE PLAN (NE)
8. SITE PLAN (SE)
9. UTILITY + GRADING PLAN (SW)
10. UTILITY + GRADING PLAN (NW)
11. UTILITY + GRADING PLAN (NE)
12. UTILITY + GRADING PLAN (SE)

a23 studios
711 EAST 9TH STREET
TUCSON, ARIZONA 85719
ATTN: MR. BURAK BEKAT
PH: (520) 903-2323
E: info@a23studios.com

OWNER/DEVELOPER
OV 132 LLC
6340 N CAMPBELL AV, SUITE 170
TUCSON, ARIZONA 85718
ATTN:ROSS RULNEY
PH: (520) 850-9300
E: rossrulney@gmail.com

SITE ADDRESS
945 & 955 WEST VISTOSO HIGHLANDS DRIVE
ORO VALLEY, ARIZONA 85755



GENERAL PAVING + GRADING NOTES

- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND RICK ENGINEERING COMPANY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR RICK ENGINEERING COMPANY.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING RICK ENGINEERING COMPANY AT 520-795-1000.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.
- RICK ENGINEERING COMPANY HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. RICK ENGINEERING COMPANY FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- ALL ELEVATIONS ARE AT FINISH SURFACE (P) OF PROPOSED ASPHALT. ADD 0.5' FOR THE ADJACENT TOP OF CONCRETE/CURB (C/TC) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION (MUTCD). THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE TOWN OF ORO VALLEY DEVELOPMENT SERVICES DEPARTMENT.

GENERAL PAVING + GRADING NOTES (cont.)

- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EARTHWORK, EXCEPT AS MODIFIED BY THE SOILS REPORT OF RECORD, SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 203.
- GROSS AREA OF ALL IMPERVIOUS SURFACES IS **245,255** SQUARE FEET.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- GRADING EQUIPMENT OPERATION WITHIN ONE-HALF (1/2) MILE OF AN OCCUPIED RESIDENTIAL STRUCTURE SHALL ONLY BE CONDUCTED BETWEEN 6:00 A.M. AND SUNSET MONDAY THROUGH FRIDAY. GRADING EQUIPMENT OPERATION SHALL ONLY BE CONDUCTED BETWEEN THE HOURS OF 8:00 A.M. AND 5:00 P.M. ON SATURDAYS AND SUNDAYS.
- IT IS THE OWNER'S RESPONSIBILITY TO VERIFY AND MITIGATE ANY POTENTIAL CONSTRUCTION IMPEDIMENTS DUE TO EXISTING ENCROACHMENTS BY ADJACENT PROPERTY OWNERS (WHETHER SITE WALLS, FENCES, OR OTHERWISE). RICK ENGINEERING COMPANY ASSUMES NO LIABILITY NOR RESPONSIBILITY FOR ANY ENCROACHMENTS OR FOR DELAYS TO THE APPROVAL PROCESS AS A RESULT THEREOF.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING LLC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED 23 JUNE 2022, PATTISON PROJECT NO. 22-071.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT

SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:
- SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL
- FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE **UNLESS OTHERWISE NOTED** ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.
- SEE RIPRAP NOTES FOR SPECIFICATIONS.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO RICK ENGINEERING COMPANY. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND RICK ENGINEERING COMPANY DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS ALONG THE CENTERLINE OF VISTOSO HIGHLANDS DRIVE AS SHOWN ON THIS PLAN AND THAT "RANCHO VISTOSO NEIGHBORHOOD 11 PARCEL H AND N, RANCHO VISTOSO NEIGHBORHOOD 13 PARCEL F" PLAT, RECORDED IN BOOK 51, PAGE 33 OF MAPS AND PLATS. THE BEARING OF SAID LINE IS **N 73°00'00" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION, "OPUS" CONTROL POINT "11S13E_Q19", DESCRIPTION: "H4 REBAR W/TAG 'PCDOT GPS". THE ELEVATION OF SAID BENCHMARK IS **2968.02'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: RICK ENGINEERING COMPANY
3945 EAST FORT LOWELL ROAD, SUITE 111
TUCSON, ARIZONA 85712
ATTN: MR. GREGG POPP, AZ RLS #71039
PH: (520) 795-1000.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

REZONING CONDITIONS (ORD. #(O)___)

THIS PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS STATED IN ORDINANCE #(O)-___, APPROVED ON ____.

- XXXX
- XXXX
- XXXX

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
			GAS METER
			SEWER MANHOLE
			SEWER CLEANOUT
			SEWER BACKWATER VALVE
			FIRE HYDRANT
			WATER METER
			BACKFLOW PREVENTER
			WATER VALVE
			FIRE DEPT. CONNECTION
			PARKING SPACE COUNT
			PARKING SPACE COUNT (TRAIL-HEAD PARKING)
			ZONING DIVISION
		SVT	SIGHT VISIBILITY TRIANGLE
		R.O.W.	RIGHT-OF-WAY
		A.P.N.	ASSESSOR'S PARCEL NUMBER
		R	RADIUS
		P	PAVEMENT (ASPHALT)
		C	CONCRETE
		FG	FINISHED GRADE
		LP; HP	LOW POINT; HIGH POINT
		GB	GRADE BREAK
		FFE	FINISHED FLOOR ELEVATION
			SURVEY MONUMENT
			RIPARIAN HABITAT

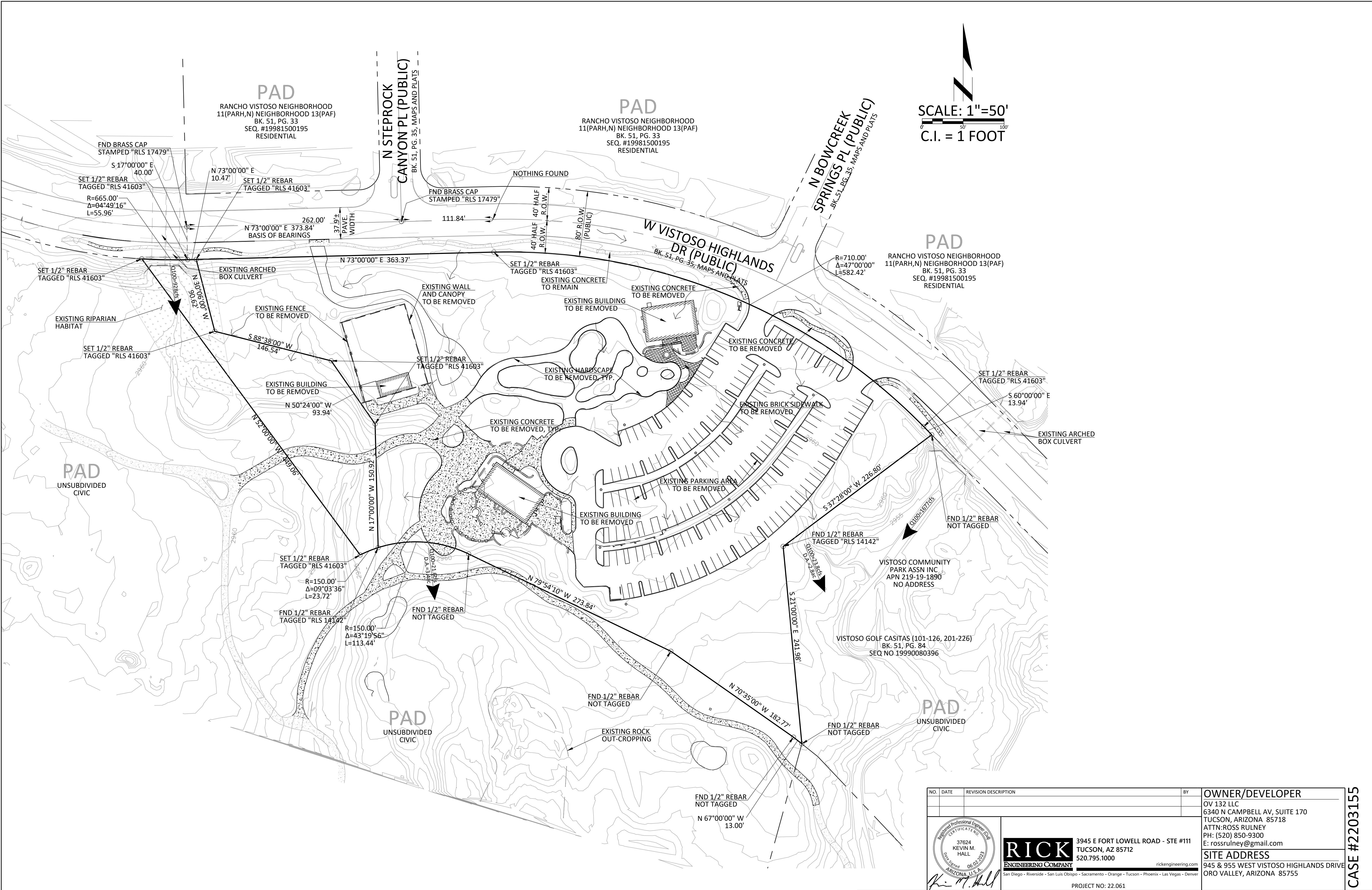
C-1



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com
PROJECT NO: 22.061				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
DATE: 06/02/23	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA			DEVELOPMENT PLAN for RULNEY VISTOSO RESIDENTIAL notes + legend
SCALE: AS NOTED				
C.I.: N/A				

CASE #2203155

2 OF 12



Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811

Call 811 or click Arizona811.com

DATE: 06/02/23	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
SCALE: 1"=50'	
C.I.: 1 FOOT	

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755

Professional Engineer Seal

CERTIFICATE NO. 37624

KEVIN M. HALL

06/02/2023

ARIZONA U.S.A.

RICK

ENGINEERING COMPANY

San Diego • Riverside • San Luis Obispo • Sacramento • Orange • Tucson • Phoenix • Las Vegas • Denver

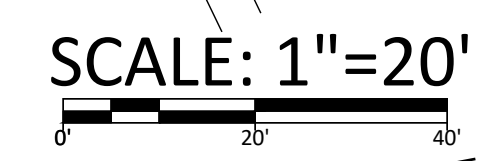
3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

PROJECT NO: 22.061



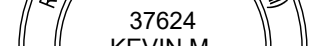
DEVELOPMENT PLAN for
RULNEY VISTOSO RESIDENTIAL
overall existing site plan

CASE #2203155

3
OF
12



MATCH LINE - SEE SHEET 7

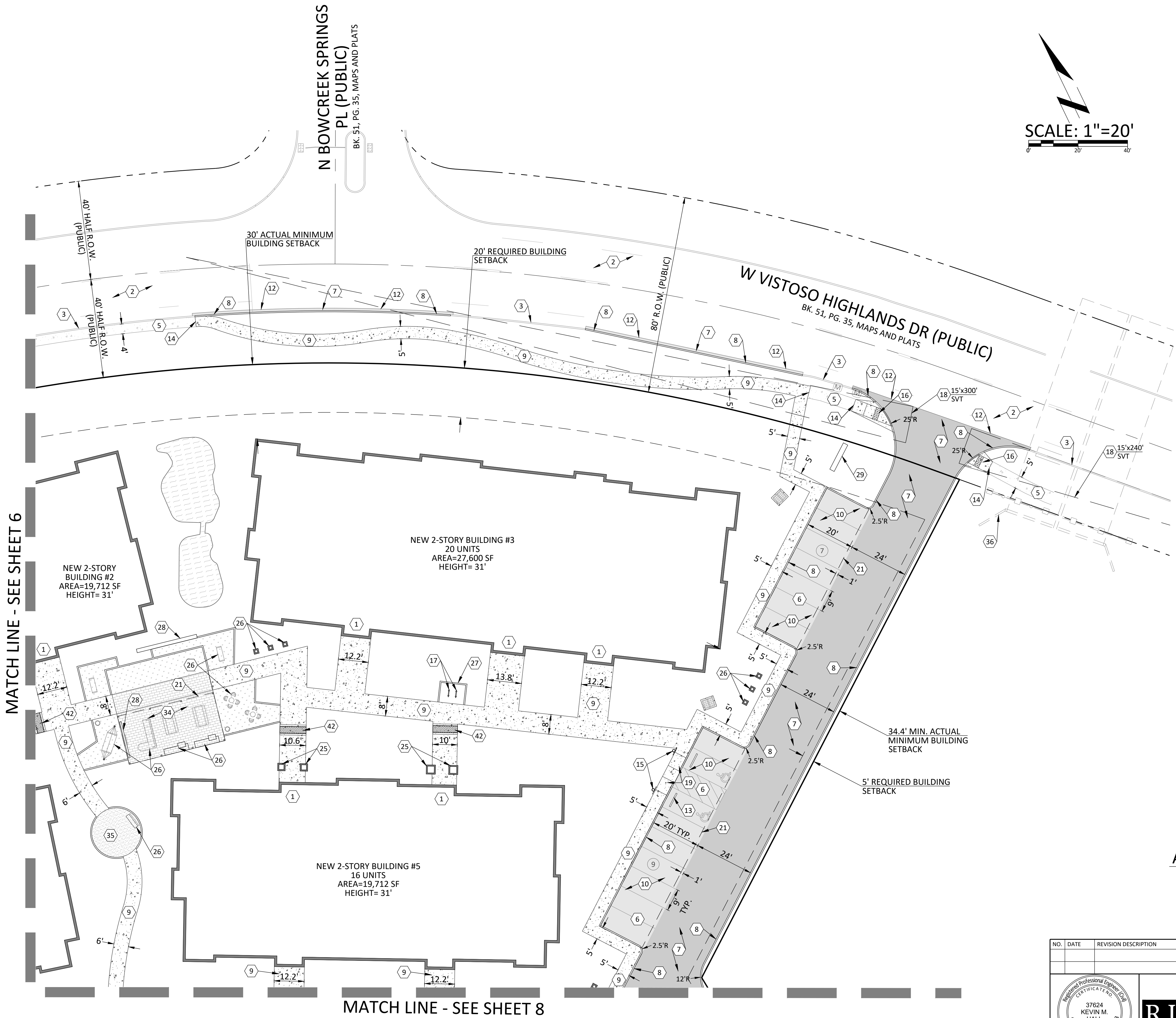
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
			<div> <div>  </div> <div> 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com </div> </div>	
			SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755	
PROJECT NO: 22.061				

<p>DEVELOPMENT PLAN for RULNEY VISTOSO RESIDENTIAL site plan (nw)</p>

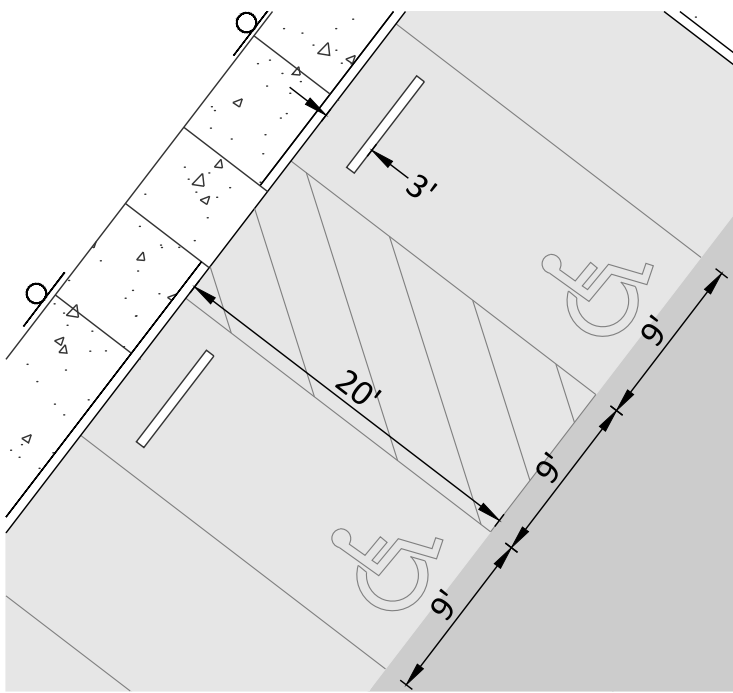
Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com



- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%.
 - 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%.
 - 12 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 13 NEW 6" WHEEL STOP (TYP.).
 - 14 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 15 NEW ACCESSIBLE SIGN AND POST.
 - 16 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PAG DETAIL 207.
 - 17 NEW SHORT TERM BICYCLE RACK.
 - 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 19 NEW CONCRETE CURB ACCESS RAMP.
 - 20 NEW GROUTED RIPRAP.
 - 21 NEW CANOPY.
 - 25 NEW BUILDING COLUMN PER BUILDING PLANS.
 - 26 NEW AMENITY PER LANDSCAPE PLANS.
 - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 28 NEW SEAT WALL PER HARDSCAPE PLANS.
 - 29 NEW MONUMENT SIGN.
 - 34 NEW PAVERS/ALTERNATE HARDSCAPE PER HARDSCAPE PLAN.
 - 35 NEW STABILIZED DECOMPOSED GRANITE PER HARDSCAPE PLAN.
 - 36 EXISTING HEADWALL TO REMAIN.
 - 42 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



RICK
ENGINEERING COMPANY

3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000

rickengineering.com

PROJECT NO: 22.061

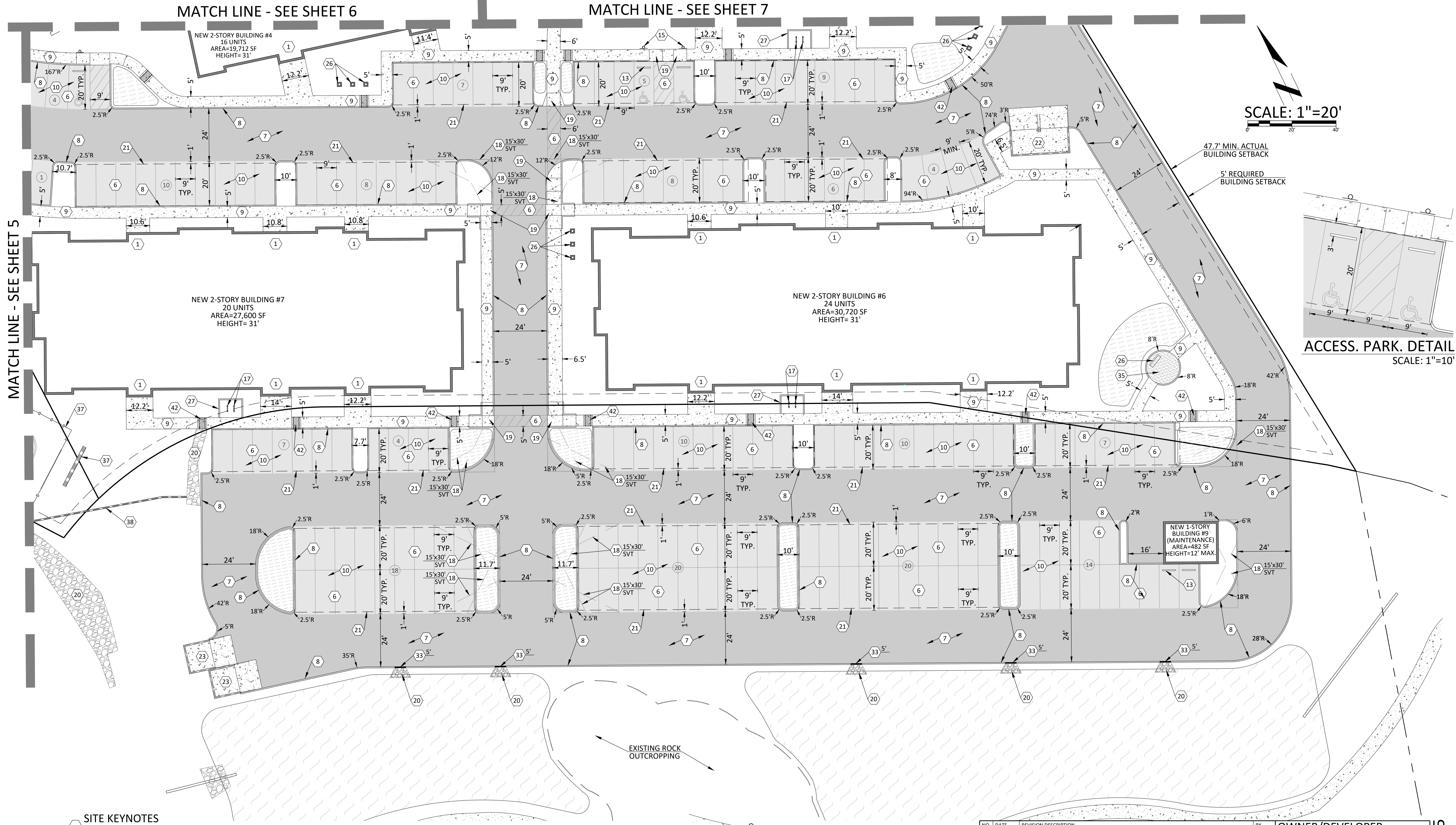
DATE: 06/02/23
SCALE: 1"=20'
C.I.: N/A

A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

**DEVELOPMENT PLAN for
RULNEY VISTOSO RESIDENTIAL**
site plan (ne)

CASE #2203155
7
OF
12





SITE KEYNOTES

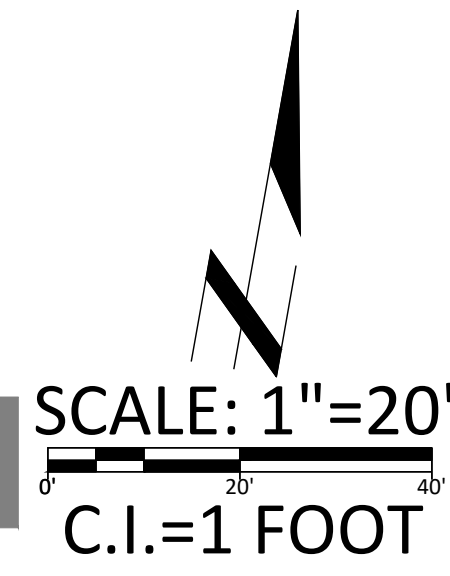
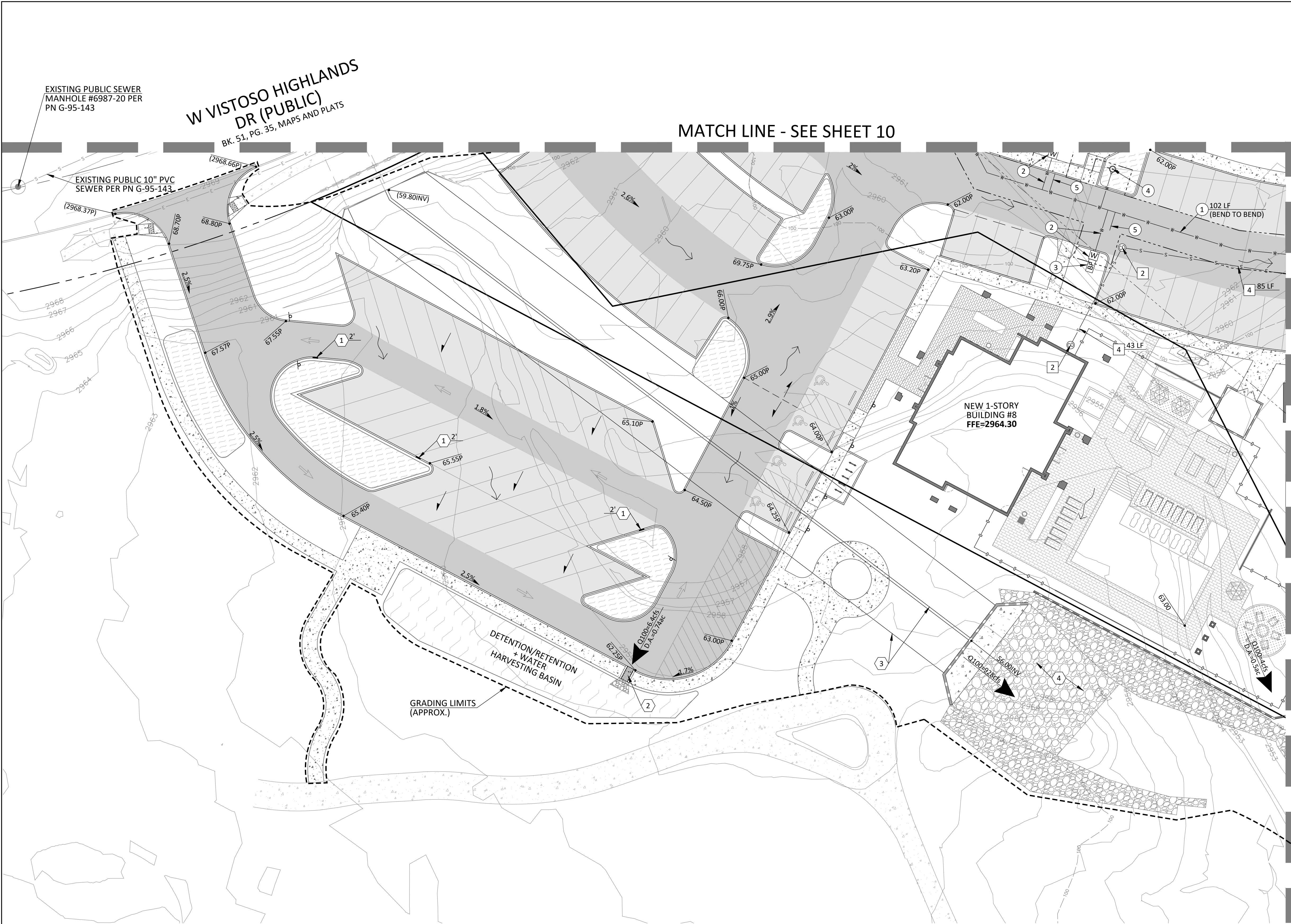
- | | |
|--|--|
| 1 PRIMARY BUILDING ENTRANCE. | 19 NEW CONCRETE CURB ACCESS RAMP. |
| 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.). | 20 NEW GROUTED RIPRAP. |
| 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. | 21 NEW CANOPY. |
| 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE. | 22 NEW TRASH ENCLOSURE (DOUBLE CONTAINER). |
| 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS. | 23 NEW TRASH ENCLOSURE (SINGLE CONTAINER). |
| 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. | 26 NEW AMENITY PER LANDSCAPE PLANS. |
| 13 NEW 6" WHEEL STOP (TYP.). | 27 NEW CONCRETE HEADER PER PAG DETAIL 213. |
| 15 NEW ACCESSIBLE SIGN AND POST. | 33 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH. |
| 17 NEW SHORT TERM BICYCLE RACK. | 35 NEW STABILIZED DECOMPOSED GRANITE PER HARDSCAPE PLAN. |
| 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS. | 37 NEW WALL/FENCE. |
| 20 NEW GROUTED RIPRAP. | 38 NEW RETAINING WALL. |
| | 42 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205. |

ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'

DATE: 06/02/23
SCALE: 1"=20'
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				DEVELOPMENT PLAN for RULNEY VISTOSO RESIDENTIAL site plan (se)
				RULNEY VISTOSO RESIDENTIAL

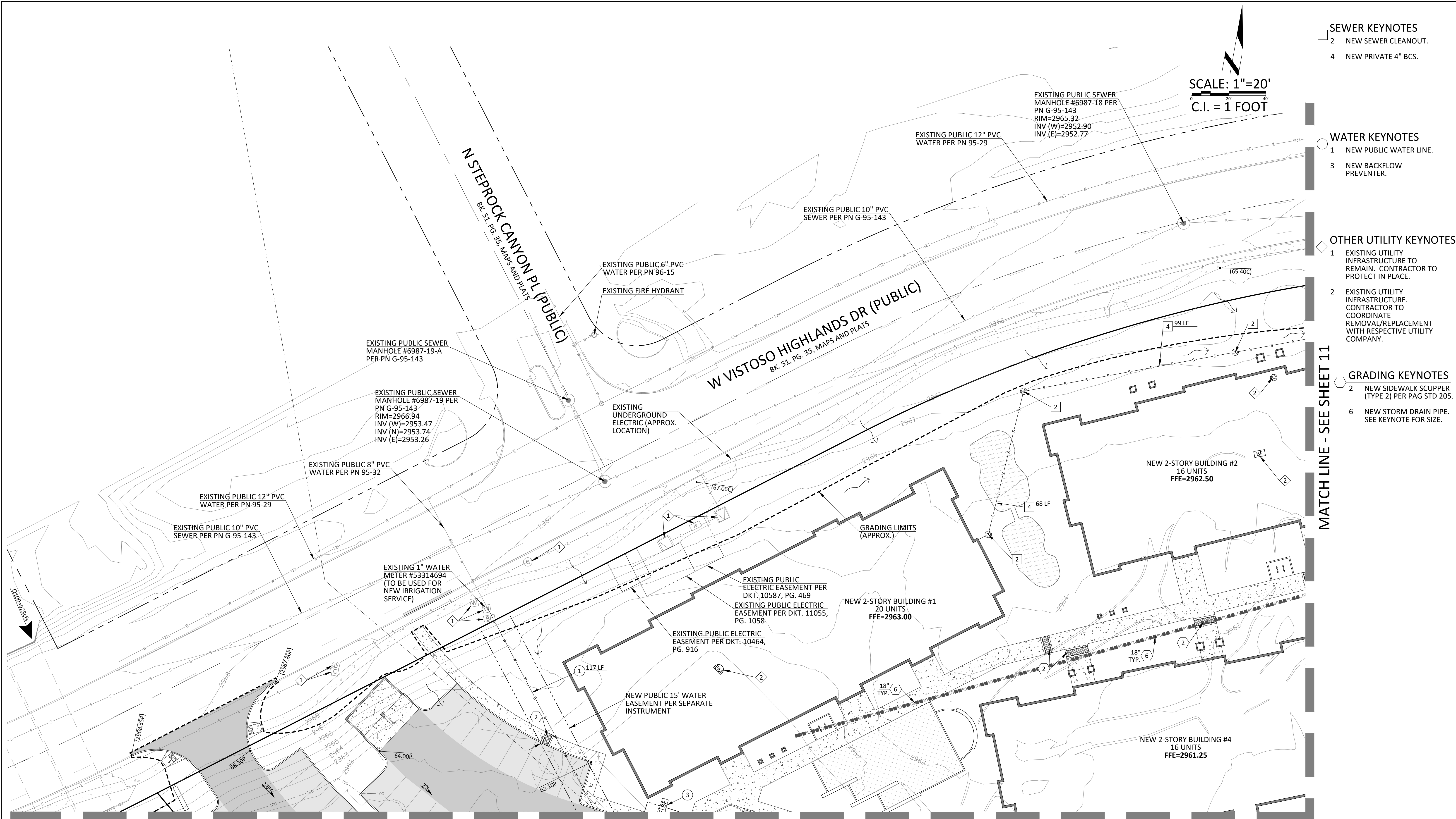
CASE #2203155
8 OF 12



- SEWER KEYNOTES**
- 1 NEW PRIVATE 8" SEWER MAIN.
 - 2 NEW SEWER CLEANOUT.
 - 4 NEW PRIVATE 4" BCS.
- WATER KEYNOTES**
- 1 NEW PUBLIC WATER LINE.
 - 2 NEW PUBLIC WATER SERVICE + METER.
 - 3 NEW BACKFLOW PREVENTER.
 - 4 NEW PUBLIC FIRE HYDRANT.
 - 5 NEW PUBLIC FIRE SERVICE.
- GRADING KEYNOTES**
- 1 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH.
 - 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
 - 3 NEW ARCHED BOX CULVERT.
 - 4 NEW WIRE-TIED STILLING BASIN/ENERGY DISSIPATOR + GABION SLOPE STABILIZATION.



NO. DATE REVISION DESCRIPTION		BY	OWNER/DEVELOPER OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
DATE: 06/02/23 SCALE: 1"=20' C.I.: 1 FOOT			
A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA		PROJECT NO: 22.061	
DEVELOPMENT PLAN for RULNEY VISTOSO RESIDENTIAL utility + grading plan (sw)		CASE #2203155 9 OF 12	



- SEWER KEYNOTES**
 - 2 NEW SEWER CLEANOUT.
 - 4 NEW PRIVATE 4" BCS.
- WATER KEYNOTES**
 - 1 NEW PUBLIC WATER LINE.
 - 3 NEW BACKFLOW PREVENTER.
- OTHER UTILITY KEYNOTES**
 - 1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
- GRADING KEYNOTES**
 - 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
 - 6 NEW STORM DRAIN PIPE. SEE KEYNOTE FOR SIZE.

SCALE: 1"=20'
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 11

MATCH LINE - SEE SHEET 9



DATE: 06/02/23
SCALE: 1"=20'
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755

RICK
ENGINEERING COMPANY
3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

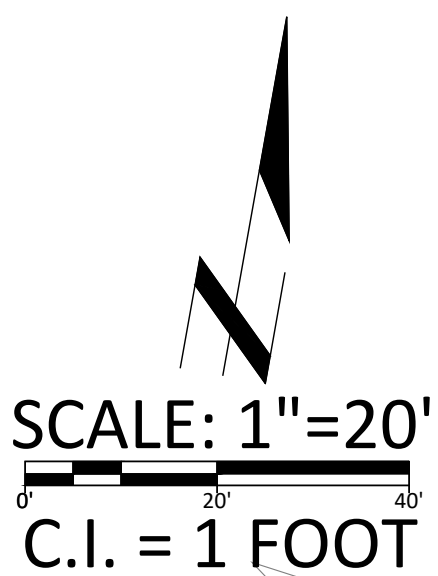
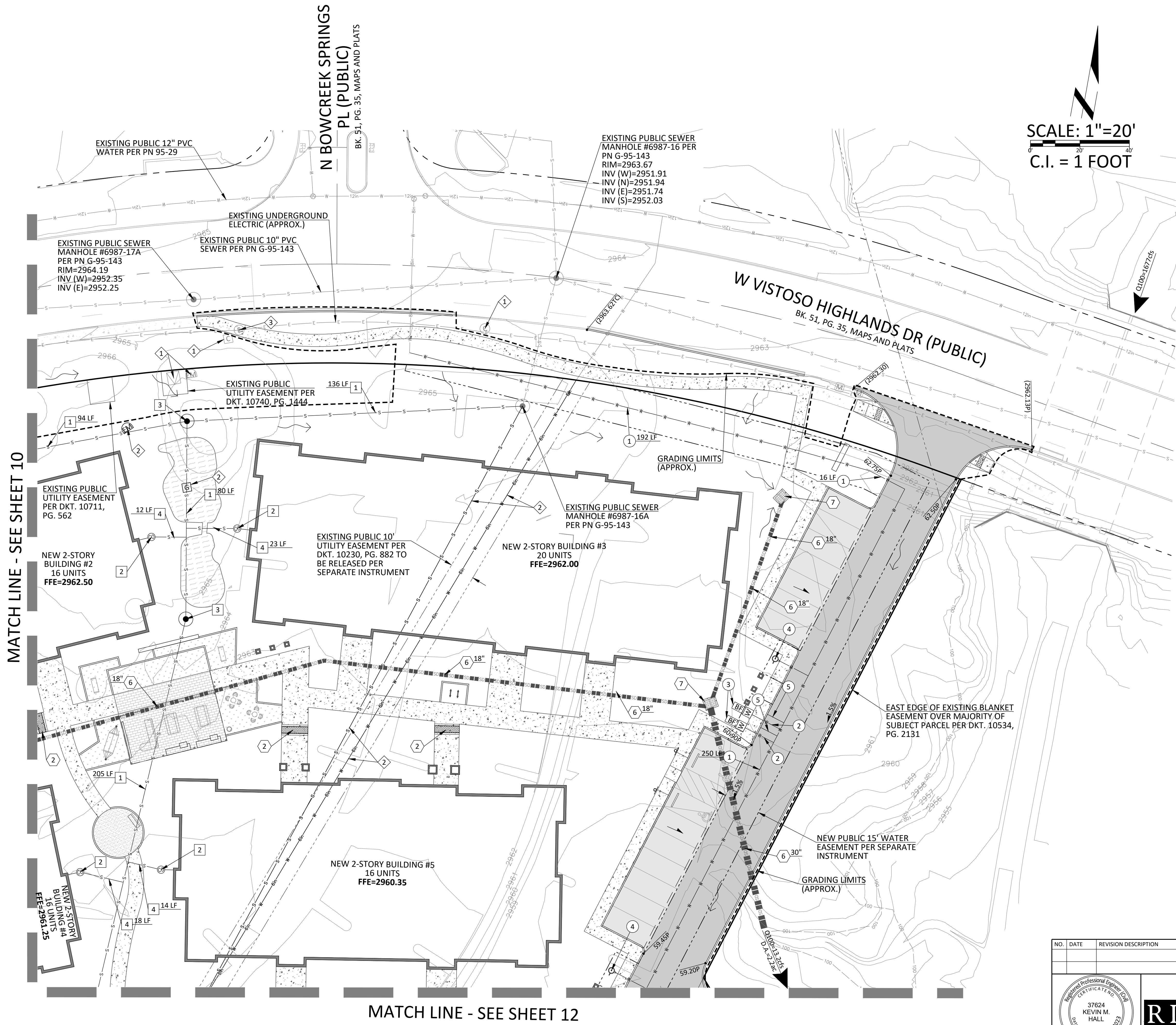
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**DEVELOPMENT PLAN for
RULNEY VISTOSO RESIDENTIAL**
utility + grading plan (nw)

CASE #2203155
10 OF 12



- SEWER KEYNOTES**
- 1 NEW PRIVATE 8" SEWER MAIN.
 - 2 NEW SEWER CLEANOUT.
 - 3 NEW PRIVATE SEWER MANHOLE.
 - 4 NEW PRIVATE 4" BCS.

- WATER KEYNOTES**
- 1 NEW PUBLIC WATER LINE.
 - 2 NEW PUBLIC WATER SERVICE + METER.
 - 3 NEW BACKFLOW PREVENTER.
 - 4 NEW PUBLIC FIRE HYDRANT.
 - 5 NEW PUBLIC FIRE SERVICE.

- OTHER UTILITY KEYNOTES**
- 1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
 - 3 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO ADJUST RIM/REBUILD TO MATCH NEW FINISH SURFACE.

- GRADING KEYNOTES**
- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
 - 6 NEW STORM DRAIN PIPE. SEE KEYNOTE FOR SIZE.
 - 7 NEW CATCH BASIN (TYPE 4) PER PAG DETAIL 309.

MATCH LINE - SEE SHEET 10

MATCH LINE - SEE SHEET 12

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



RICK
ENGINEERING COMPANY
3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

DATE: 06/02/23
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**DEVELOPMENT PLAN for
RULNEY VISTOSO RESIDENTIAL**
utility + grading plan (ne)

CASE #2203155
11 OF 12



MATCH LINE - SEE SHEET 10

MATCH LINE - SEE SHEET 11

SCALE: 1"=20'
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 9

NEW 2-STORY BUILDING #4
16 UNITS
FFE=2961.25

NEW PUBLIC 15" WATER
EASEMENT PER SEPARATE
INSTRUMENT

EXISTING BLANKET
EASEMENT OVER MAJORITY
OF SUBJECT PARCEL PER DKT.
10534, PG. 2131

NEW 2-STORY BUILDING #7
20 UNITS
FFE=2960.00

EXISTING BLANKET
EASEMENT OVER MAJORITY
OF SUBJECT PARCEL PER DKT.
10534, PG. 2131

NEW 2-STORY BUILDING #6
24 UNITS
FFE=2959.25

NEW 1-STORY
BUILDING #9
(MAINTENANCE)
FFE=2957.00

SEWER KEYNOTES

- 1 NEW PRIVATE 8" SEWER MAIN.
- 2 NEW SEWER CLEANOUT.
- 3 NEW PRIVATE SEWER MANHOLE.
- 4 NEW PRIVATE 4" BCS.

WATER KEYNOTES

- 1 NEW PUBLIC WATER LINE.
- 2 NEW PUBLIC WATER SERVICE + METER.
- 3 NEW BACKFLOW PREVENTER.
- 4 NEW PUBLIC FIRE HYDRANT.
- 5 NEW PUBLIC FIRE SERVICE.

OTHER UTILITY KEYNOTES

- 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.

GRADING KEYNOTES

- 1 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH.
- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
- 5 NEW 12" BLEED PIPE.
- 7 NEW CATCH BASIN (TYPE 4) PER PAG DETAIL 309.

DETENTION/RETENTION
BASIN

EXISTING ROCK
OUTCROPPING

GRADING LIMITS
(APPROX.)

DETENTION/RETENTION
BASIN

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				37624 KEVIN M. HALL Professional Engineer No. 37624 Exp. 06/02/2023 ARIZONA U.S.A.
				RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com
				PROJECT NO: 22.061

DATE: 06/02/23
SCALE: 1"=20'
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION
23, TOWNSHIP 11 SOUTH, RANGE 13
EAST, G.&S.R.M., TOWN OF ORO VALLEY,
PIMA COUNTY, ARIZONA

DEVELOPMENT PLAN for
RULNEY VISTOSO RESIDENTIAL
utility + grading plan (se)

CASE #2203155

12
OF
12

RULNEY VISTOSO RESIDENTIAL

