

GENERAL NOTES

1. THE GROSS AREA OF THE DEVELOPMENT SITE IS **9.33 ACRES** (INCLUDING 2.53 AC OFFSITE WORK).
2. THE GROSS FLOOR AREA OF ALL STRUCTURES IS **157,828 SQUARE FEET**. THE FLOOR AREA OF APARTMENT STRUCTURES IS 154,834. THE FLOOR AREA OF THE CLUBHOUSE IS 2,458 SF. THE FLOOR AREA OF THE MAINTENANCE BUILDING IS 536 SF.
3. TOTAL MILES OF NEW PUBLIC STREETS IS **0.0** MILES.
4. TOTAL MILES OF NEW PRIVATE STREETS IS **0.0** MILES.
5. ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMITS.
6. THE PROPOSED USE FOR THIS PROJECT IS **HIGH DENSITY MULTI-FAMILY RESIDENTIAL**.
7. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
8. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
9. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED.
10. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPED AREAS.
11. THE TOTAL OFFSITE DISTURBED AREA (INCLUDING PROJECT DRIVEWAYS) IS 2.53 AC (110,206 SF). OF THIS, APPROXIMATELY 1.96 AC (85,178 SF) IS FOR PARKING AND DRAINAGE FACILITIES WHILE THE REMAINING 0.57 AC (25,029 SF) IS FOR RE-ROUTING THE UN-NAMED WASH TO THE WEST OF THE PROJECT AND FOR THE PROJECT DRIVEWAYS AND MISCELLANEOUS RIGHT-OF-WAY WORK.

PLANNING GENERAL NOTES

1. THE MAXIMUM ALLOWABLE BUILDING HEIGHT PER RANCHO VISTOSO PAD DOCUMENT (SEC 1.3) IS **34'** (3-STORIES). THE PROPOSED BUILDING HEIGHT IS 30.83' MAX. (2-STORIES).
2. THE EXISTING ZONING FOR A.P.N. 219-19-1910 IS **RANCHO VISTOSO PAD 'HDR'**. THE EXISTING ZONING FOR A.P.N. 219-19-1840 **RV PAD 'OPEN SPACE'**. THE PROPOSED ZONING FOR A.P.N. 219-19-1840 IS **RV PAD 'RECREATION'**. SEE SHEET 2 FOR REZONING CONDITIONS.
3. THE TOTAL AREA OF OPEN SPACE REQUIRED PER RV PAD IS 30% OF THE GROSS AREA OF THE SITE. TOTAL AREA OF OPEN SPACE (INCLUDING LANDSCAPED COMMON AREAS) PROVIDED IS 30.4% (EXCLUDING OFF-SITE PARKING AREA).
4. THE TOTAL AMOUNT OF LANDSCAPED COMMON AREAS IS 123,846 SF.
5. REQUIRED LANDSCAPED BUFFER-YARDS PER RV PAD:
- |        |   |     |
|--------|---|-----|
| STREET | = | 15' |
| SIDE   | = | 20' |
| REAR   | = | 20' |
6. BUILDING SETBACKS (PERIMETER):
- |        |   |                                     |
|--------|---|-------------------------------------|
| STREET | - | 20' REQUIRED; 26.2' (MIN.) PROVIDED |
| SIDE   | - | 5' REQUIRED; 37.2' (MIN.) PROVIDED  |
| REAR   | - | 5' REQUIRED; 5' (MIN.) PROVIDED     |
7. THIS PROJECT IS NOT SUBJECT TO TO CRITERIA FOR THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS (SRA) OR ENVIRONMENTALLY SENSITIVE LANDS (ESL).
8. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
9. THIS PROJECT HAS COMMON SPACES WITH AMENITIES AND LANDSCAPE THROUGHOUT THE SITE. THERE IS NO UNDISTURBED NATURAL OPEN SPACE.
10. A.P.N.'S 219-19-1910 AND 219-19-1840 CONTAIN RIPARIAN HABITAT WITHIN THE 100 YEAR FLOODPLAIN. THIS PROJECT COMPLIES WITH RELATED REGULATIONS.

ENGINEERING GENERAL NOTES

1. THE DESIGN VEHICLE IS SU-30. THE DESIGN SPEED IS 15 MPH.
2. ALL NEW PUBLIC ROADS WITHIN OR ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
3. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
4. THE BASIS OF BEARINGS FOR THIS PROJECT IS ALONG THE CENTERLINE OF VISTOSO HIGHLANDS DRIVE AS SHOWN ON THIS PLAN AND THAT "RANCHO VISTOSO NEIGHBORHOOD 11 PARCEL H AND N, RANCHO VISTOSO NEIGHBORHOOD 13 PARCEL F" PLAT, RECORDED IN BOOK 51, PAGE 33 OF MAPS AND PLATS. THE BEARING OF SAID LINE IS **N 73°00'00" E**.
5. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY DEPARTMENT OF TRANSPORTATION, "OPUS" CONTROL POINT "11513E\_Q19", DESCRIPTION: "44 REBAR W/TAG 'PCDOT GPS'". THE ELEVATION OF SAID BENCHMARK IS **2968.02'**, NAVD 88 DATUM.
6. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES MUST BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLAN DESCRIBED BY TWO HORIZONTAL LINES LOCATED BETWEEN THIRTY (30) INCHES AND SEVENTY TWO (72) INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
7. CIVIL IMPROVEMENT PLAN MUST BE APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS BY THE TOWN ENGINEER AND/OR BUILDING OFFICIAL.
8. ALL WEATHER ACCESS MUST BE PROVIDED TO ALL LOTS WITHIN THE SUBDIVISION.

PAG DETAILS USED

PAG DETAIL 107: REMOVABLE POST BARRICADE  
PAG DETAIL 200: CONCRETE SIDEWALK  
PAG DETAIL 204: SIDEWALK SCUPPER - TYPE 1  
PAG DETAIL 205: SIDEWALK SCUPPER - TYPE 2  
PAG DETAIL 209: CONCRETE CURB  
PAG DETAIL 210: CONCRETE CURB TRANSITION  
PAG DETAIL 211: CONCRETE CURB NEW TO EXISTING CONNECTION  
PAG DETAIL 213: CONCRETE HEADER

DRAINAGE GENERAL NOTES

1. ALL DRAINAGE WAYS WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO ISSUANCE OF ANY PERMITS FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR PARCELS AFFECTED.
2. DRAINAGE MUST BE COLLECTED AND RELEASED FROM A PROPOSED DEVELOPMENT AT THE LOCATIONS AND IN THE MANNER EXISTING PRIOR TO DEVELOPMENT.
3. DRAINAGE WAYS MUST BE PROVIDED WHERE NECESSARY TO CARRY DRAINAGE FLOWS THROUGH OR FROM THE DEVELOPMENT AND SUCH DRAINAGE WAYS MUST BE DEDICATED AND MAINTAINED BY PROPERTY OWNERS OR PROPERTY OWNERS ASSOCIATION.
4. ALL DRAINAGE WAYS, DRAINAGE STRUCTURES AND DETENTION BASINS ARE PROVIDED WITH ADEQUATE MAINTENANCE ACCESS AND ARE INCLUDED AS PART OF ANY DRAINAGE EASEMENT.
5. DRAINAGE WAYS MUST BE DESIGNED TO NOT DISCHARGE ONTO PAVED STREETS, EASEMENTS OR PARKING AREAS.
6. PARKING AREAS MUST NOT BE USED AS DETENTION BASINS.

ORO VALLEY WATER UTILITY GENERAL NOTES

1. ORO VALLEY WATER UTILITY WILL BE THE WATER SERVICE PROVIDER.
2. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
3. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
4. ALL WELLS WITHIN THE PROJECT BOUNDARIES MUST BE ABANDONED PER ADWR REGULATIONS.
5. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE FOR THIS PROJECT BEGINS.
6. WATER INFRASTRUCTURE AS REPRESENTED ON THE PLAT OR DEVELOPMENT PLAN IS FOR INFORMATIONAL PURPOSES ONLY. A SEPARATE PUBLIC WATER IMPROVEMENT PLAN MUST BE SUBMITTED TO THE ORO VALLEY WATER UTILITY FOR TECHNICAL REVIEW AND COMPLIANCE WITH APPLICABLE STATUTES, CODES AND SPECIFICATIONS. ADDITIONAL PUBLIC WATER INFRASTRUCTURE MAY BE DEEMED NECESSARY UPON REVIEW OF THE PUBLIC WATER IMPROVEMENT PLAN SUBMITTAL
7. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADWAYS AND FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. ROADWAYS SHALL BE SURFACED WITH AN ALL-WEATHER MATERIAL CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 82,000 POUNDS.
3. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
4. ELECTRIC GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

GENERAL UTILITY GENERAL NOTES

1. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

PARKS AND RECREATION GENERAL NOTES

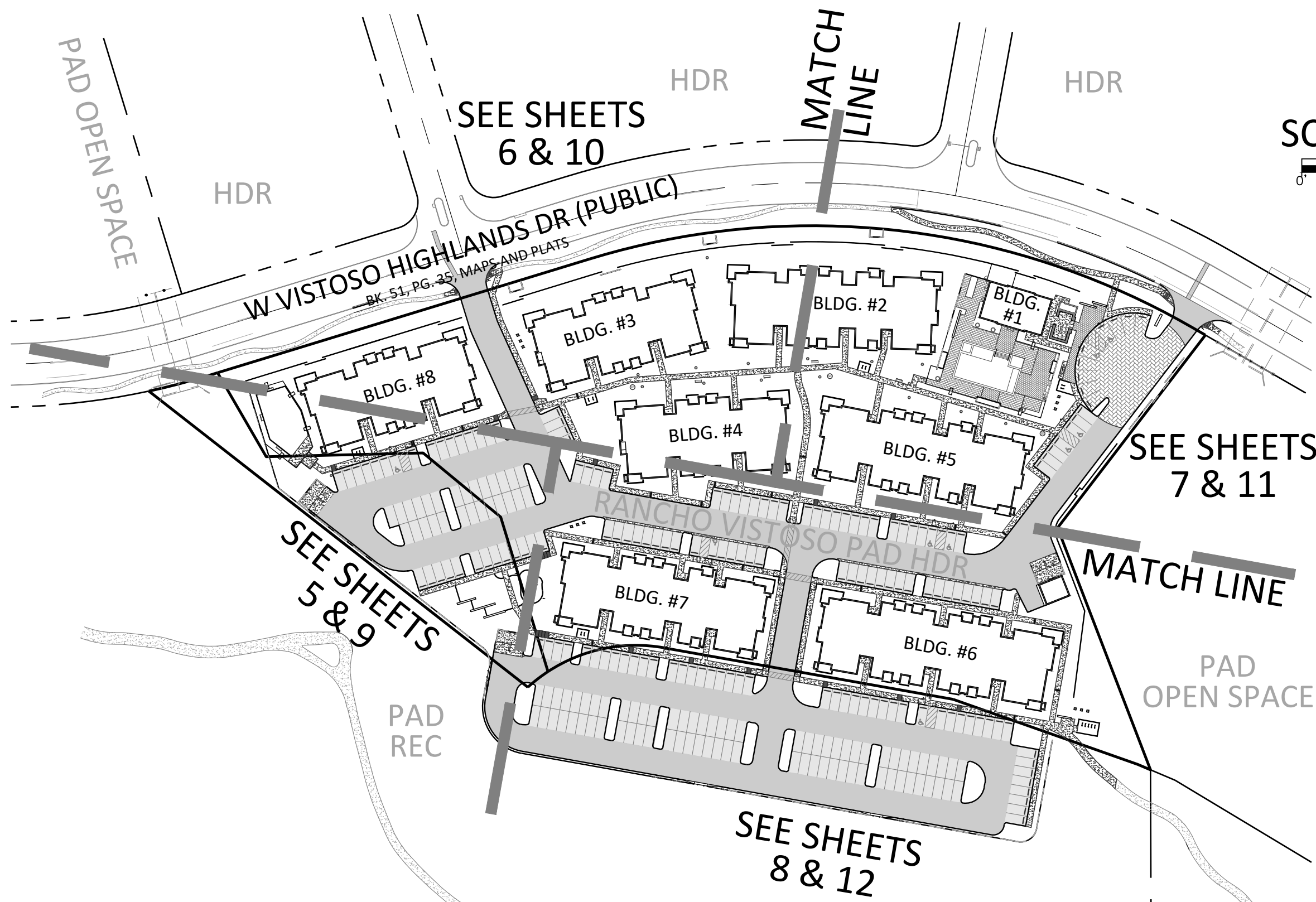
1. ALL TRAIL EASEMENTS INDICATED ARE FOR USE BY THE GENERAL PUBLIC AS PERMANENT, NON-MOTORIZED TRAIL EASEMENTS.
2. ALL PUBLIC TRAILS AND SIGNAGE MUST BE CONSTRUCTED BY THE DEVELOPER TO PIMA REGIONAL TRAIL SYSTEM MASTER PLAN STANDARDS IN CONSULTATION WITH THE TOWN PARKS AND RECREATION DEPARTMENT.
3. TRAILS WITHIN VISTOSO TRAILS NATURE PRESERVE SHALL BE CONSTRUCTED OF A STABILIZED PERMEABLE SURFACE.
4. TRAIL AND SIGN LOCATIONS, AS INDICATED ON THIS PLAN, MUST BE FIELD VERIFIED BY TOWN STAFF PRIOR TO CONSTRUCTION AND ARE SUBJECT TO ADJUSTMENTS.
5. TRAILS MUST BE POSITIONED IN A MANNER TO AVOID VEGETATION AND MINIMIZE POTENTIAL FOR EROSION.
6. FOR RESIDENTIAL DEVELOPMENTS, CONSTRUCTION OF ALL RECREATIONAL AMENITIES AND PUBLIC OR PRIVATE TRAILS WITHIN THE PROJECT LIMITS MUST BE COMPLETED BY THE TIME 35% OF BUILDING PERMITS ARE ISSUED PER SECTION 26.5 OF THE ZONING CODE.
7. ALL PUBLIC TRAILS AREA OWNED AND MAINTAINED BY THE TOWN OF ORO VALLEY. PUBLIC TRAIL EASEMENTS WILL BE DEDICATED TO THE TOWN AS PART OF THE FINAL PLAT.

PARKING, LOADING, AND BICYCLE STORAGE CALCULATIONS

	PROPOSED USE	UNITS	PARKING RATIO	TOTAL PARKING		TOTAL HANDICAP PARKING		BIKE PARKING CLASS I		BIKE PARKING CLASS II	
				REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	RES - 1 BR	76	1.50	114				1	2	11	30
	RES - 2 BR	56	1.75	98							
	GUEST	132	0.25	33.0							
TOTALS:		132		245	255	7	9	1	2	11	30

# CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE

## CASE #2401047



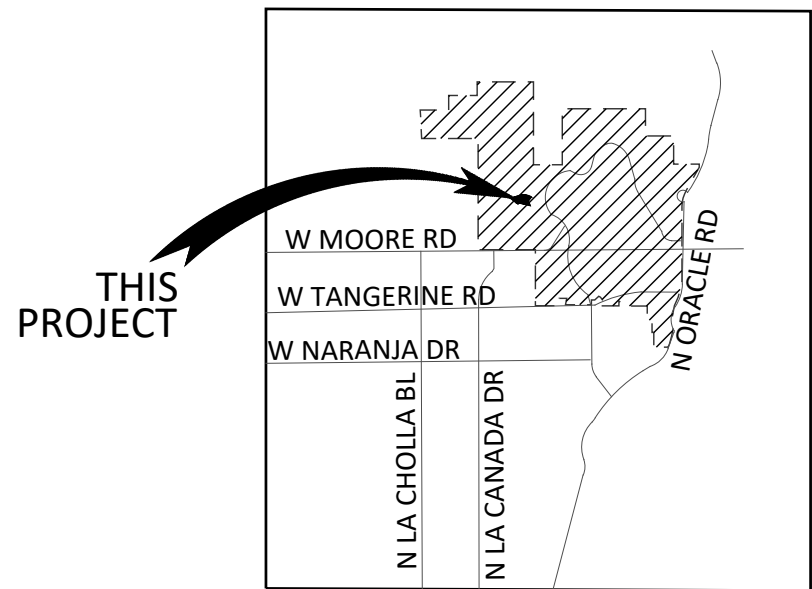
PROJECT OVERVIEW PLAN

PERMITTING DIVISION - BUILDING CODES

1. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
- A. INTERNATIONAL CODES WITH LOCAL AMENDMENTS.
  - B. NATIONAL ELECTRICAL CODE.
  - C. AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES.
  - D. TOWN OF ORO VALLEY POOL CODE.
  - E. PIMA ASSOCIATION OF GOVERNMENTS (P.A.G.).
  - F. TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL.
  - G. TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL.
  - H. TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED.
  - I. ORO VALLEY TOWN CODE, CURRENT REVISED.
  - J. ADA STANDARDS FOR ACCESSIBLE DESIGN.
  - K. GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS.

SURVEY NOTES

1. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: RICK ENGINEERING COMPANY 3945 EAST FORT LOWELL ROAD, SUITE 111 TUCSON, ARIZONA 85712 ATTN: MR. GREGG POPP, AZ RLS #71039 PH: (520) 795-1000.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
3. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.



PAD DISTRICT PLAN

APPROVAL BY:

PLANNING AND ZONING ADMINISTRATOR DATE

TOWN ENGINEER DATE

ORO VALLEY WATER UTILITY DIRECTOR DATE

NO.	DATE	REVISION DESCRIPTION	BY



3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

PROJECT NO: 22.061

DATE: 07/15/24

SCALE: AS NOTED

C.I.: N/A

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO RICK ENGINEERING COMPANY. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND RICK ENGINEERING COMPANY DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

SEPARATE PERMITS REQUIRED

SEPARATE PERMITS WILL BE REQUIRED FOR THE FOLLOWING ITEMS SHOWN ON THIS PLAN:

- BUILDINGS
- WALLS
- PARKING CANOPIES
- RAMADAS
- MONUMENT SIGNS

SHEET INDEX

- COVER SHEET
- NOTES + LEGEND
- OVERALL EXISTING SITE PLAN
- OVERALL PROPOSED SITE PLAN
- SITE PLAN (SW)
- SITE PLAN (NW)
- SITE PLAN (NE)
- SITE PLAN (SE)
- GRADING PLAN (SW)
- GRADING PLAN (NW)
- GRADING PLAN (NE)
- GRADING PLAN (SE)
- UTILITIES + EASEMENTS PLAN (SW)
- UTILITIES + EASEMENTS PLAN (NW)
- UTILITIES + EASEMENTS PLAN (NE)
- UTILITIES + EASEMENTS PLAN (SE)
- DETAILS
- DETAILS
- WALL DETAILS FROM LANDSCAPE PLAN

ARCHITECT

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711 EAST 9TH STREET  
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ATTN: MR. BURAK BEKAT  
PH: (520) 903-2323  
E: info@a23studios.com

SITE ADDRESS

945 & 955 WEST VISTOSO HIGHLANDS DRIVE  
ORO VALLEY, ARIZONA 85755

# CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE

## cover sheet

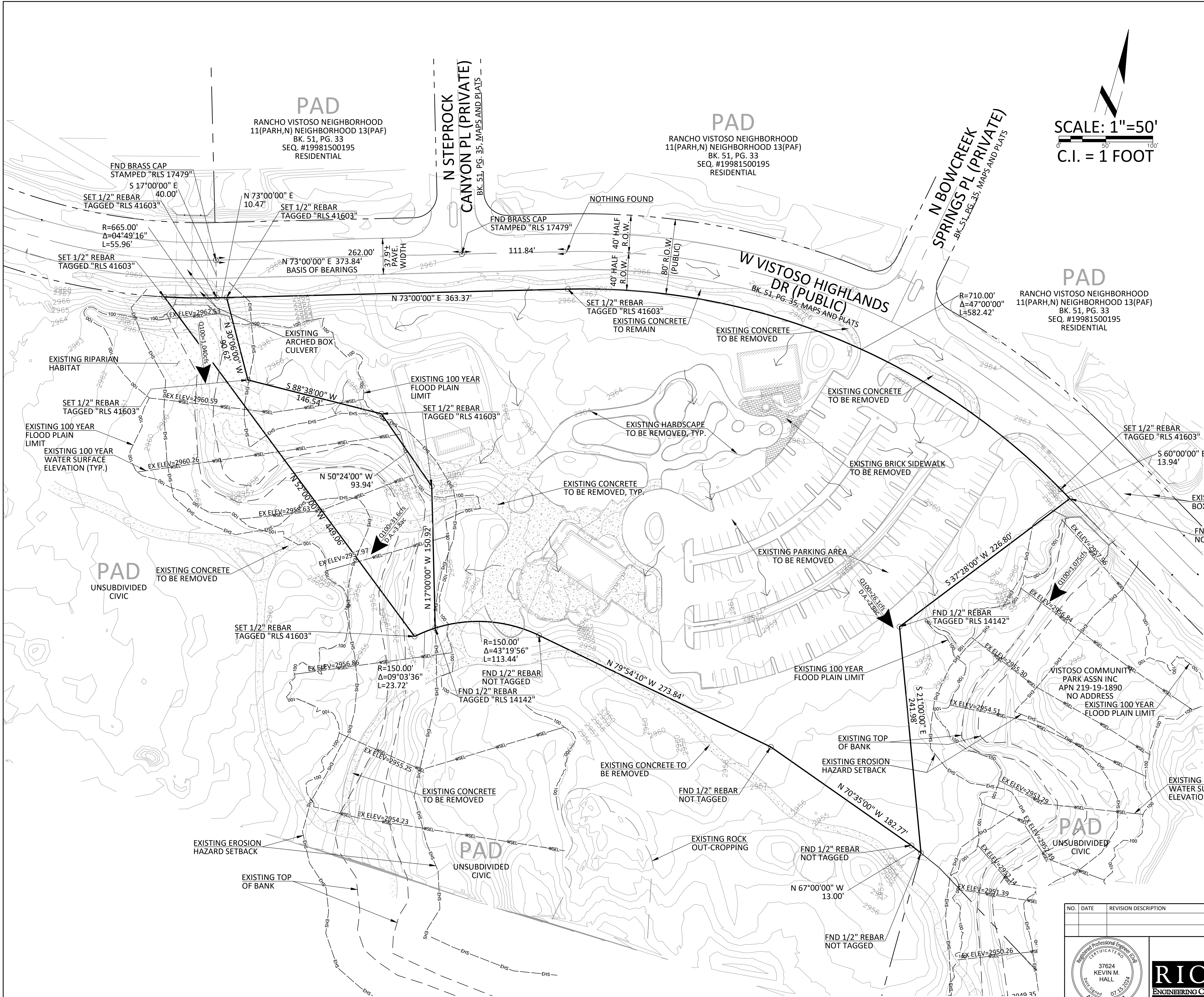


CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236









SCALE: 1"=50'  
C.I. = 1 FOOT

PAD  
RANCHO VISTOSO NEIGHBORHOOD  
11(PARH,N) NEIGHBORHOOD 13(PAF)  
BK. 51, PG. 33  
SEQ. #19981500195  
RESIDENTIAL

PAD  
UNSUBDIVIDED  
CIVIC

PAD  
UNSUBDIVIDED  
CIVIC

PAD  
UNSUBDIVIDED  
CIVIC

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



**RICK**  
ENGINEERING COMPANY  
3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

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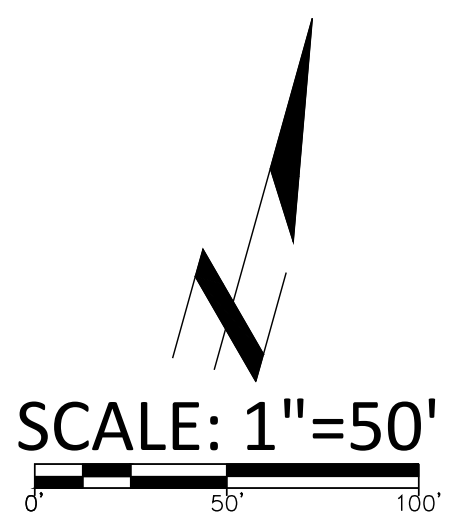
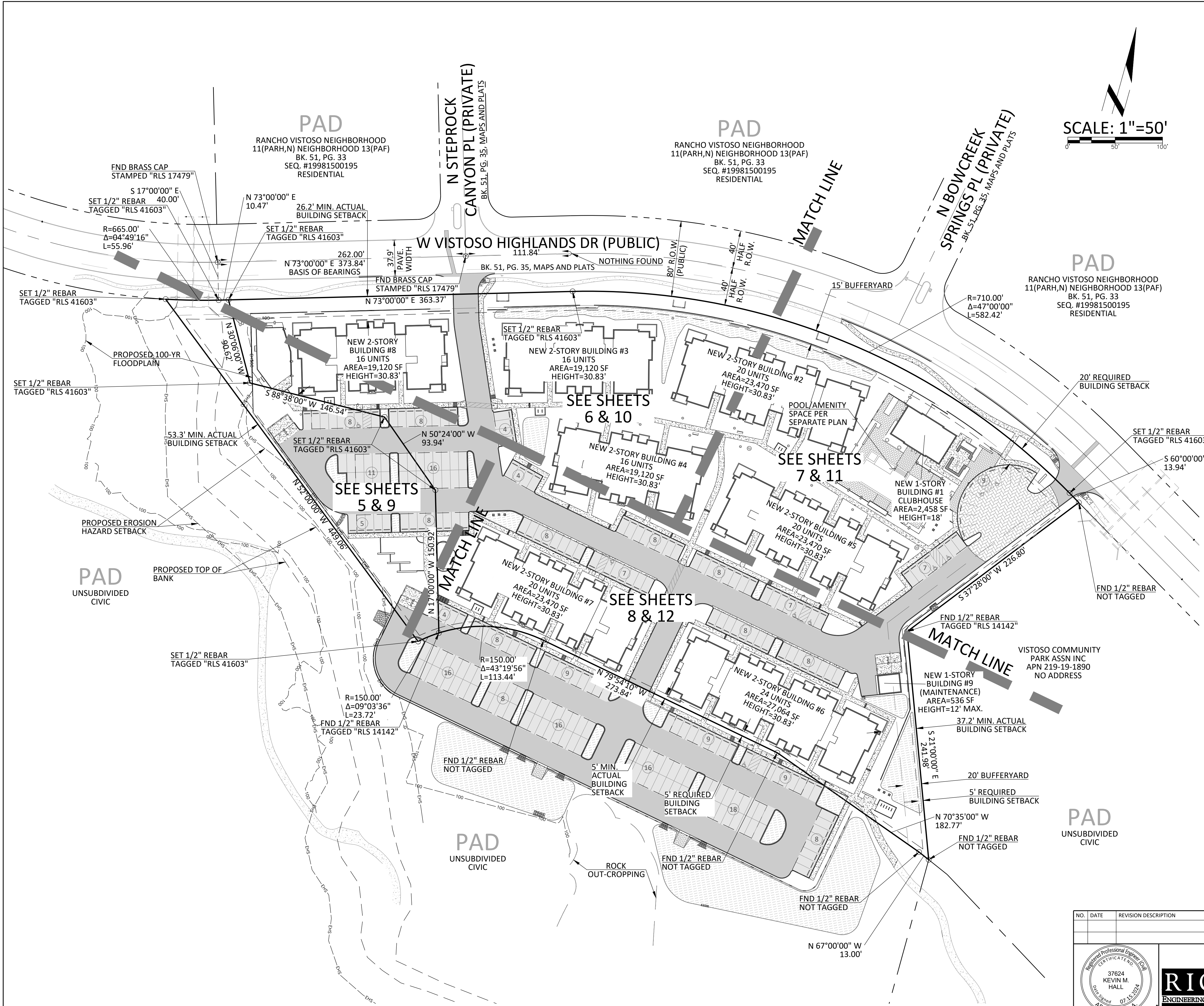
A PORTION OF THE S.E. 1/4 OF SECTION  
23, TOWNSHIP 11 SOUTH, RANGE 13  
EAST, G.&S.R.M., TOWN OF ORO VALLEY,  
PIMA COUNTY, ARIZONA

CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
overall existing site plan

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236  
3  
OF  
19







NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755

Professional Engineer Seal  
37624  
KEVIN M. HALL  
07/15/2024  
ARIZONA U.S.A.

**RICK**  
ENGINEERING COMPANY  
San Diego • Riverside • San Luis Obispo • Sacramento • Orange • Tucson • Phoenix • Las Vegas • Denver

3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
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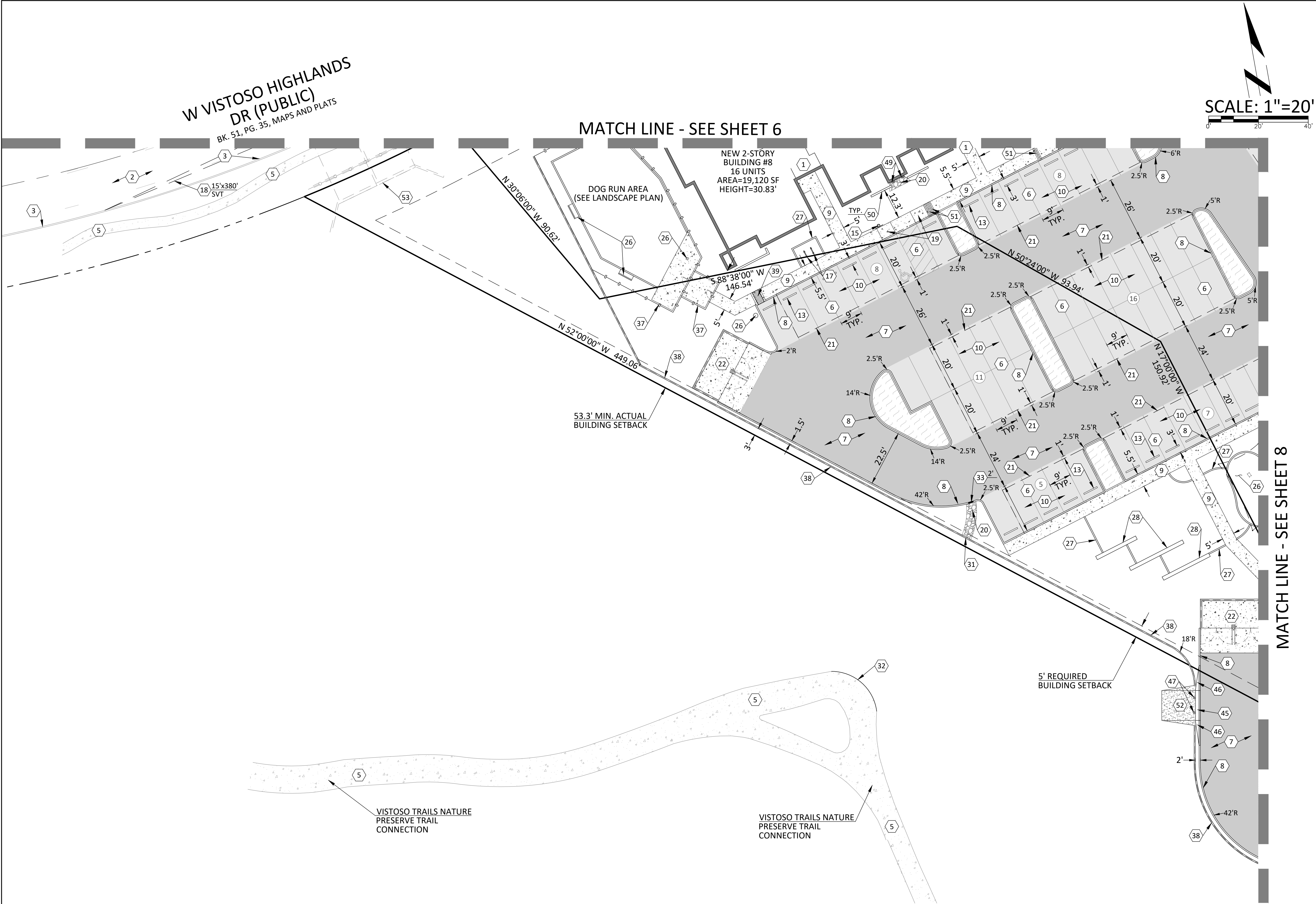
A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
overall proposed site plan

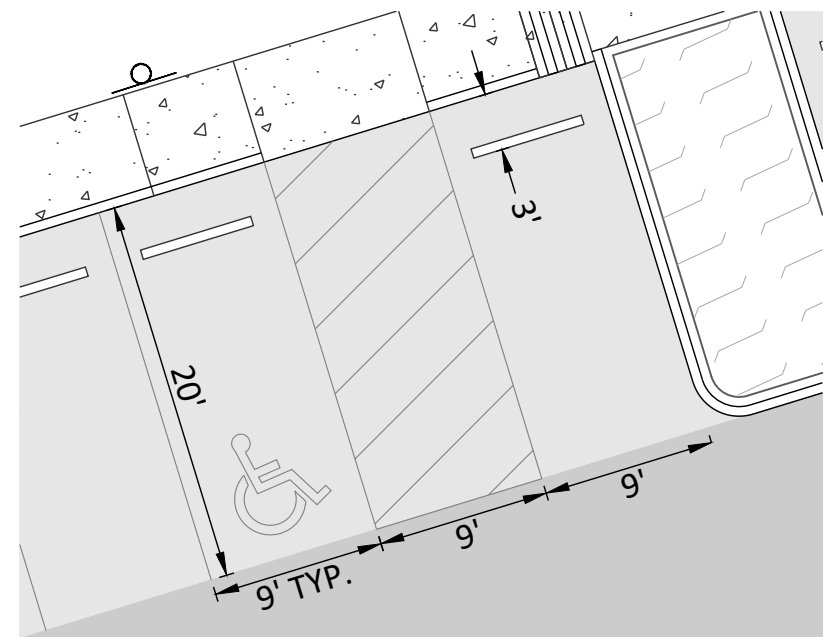
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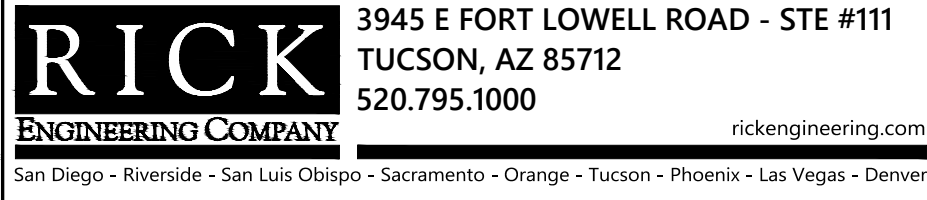


- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
  - 2 EXISTING ASPHALT TO REMAIN.
  - 3 EXISTING CURB TO REMAIN.
  - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
  - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
  - 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
  - 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
  - 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
  - 13 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
  - 15 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL E, SHEET 17.
  - 17 NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
  - 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
  - 19 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
  - 20 NEW HAND-PLACED RIPRAP ON FILTR FABRIC. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL G, SHEET 18.
  - 21 NEW CANOPY PER SEPARATE PLAN AND PERMIT.
  - 22 NEW TRASH ENCLOSURE (DOUBLE CONTAINER). FULLY ENCLOSED WITH SELF CLOSING GATE. SEE DETAIL H, SHEET 18. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
  - 26 NEW AMENITY PER LANDSCAPE PLANS.
  - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
  - 28 NEW SEAT WALL PER HARDSCAPE PLANS.
  - 31 NEW WALL OPENING. SEE DETAIL I, SHEET 18.
  - 32 NEW EDGE OF EXISTING CONCRETE, FOLLOWING DEMOLITION.
  - 33 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH. SEE DETAIL J, SHEET 18.
  - 37 NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
  - 38 NEW RETAINING AND SITE WALL PER SEPARATE PLAN AND PERMIT. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
  - 39 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
  - 45 NEW 6" HIGH WEDGE CURB PER PAG DETAIL 209.
  - 46 NEW CURB TRANSITION (VERTICAL TO WEDGE) PER PAG DETAIL 210.
  - 47 NEW REMOVABLE POST BARRICADE (TYPE A) PER PAG DETAIL 107.
  - 49 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
  - 50 NEW PATIO WALL PER BUILDING PLANS (TYP.).
  - 51 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
  - 52 NEW 6" THICK ABC OVER COMPACTED SUBGRADE. COMPACT ABC TO 100% AND SUBGRADE TO 95%.
  - 53 EXISTING RETAINING WALL TO REMAIN.



ACCESSIBLE PARKING DETAIL  
SCALE: 1"=10'

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: N/A

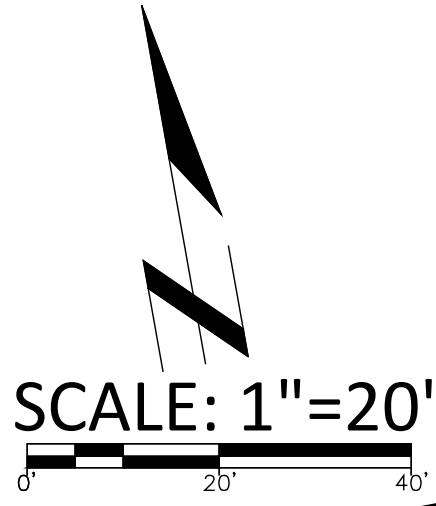
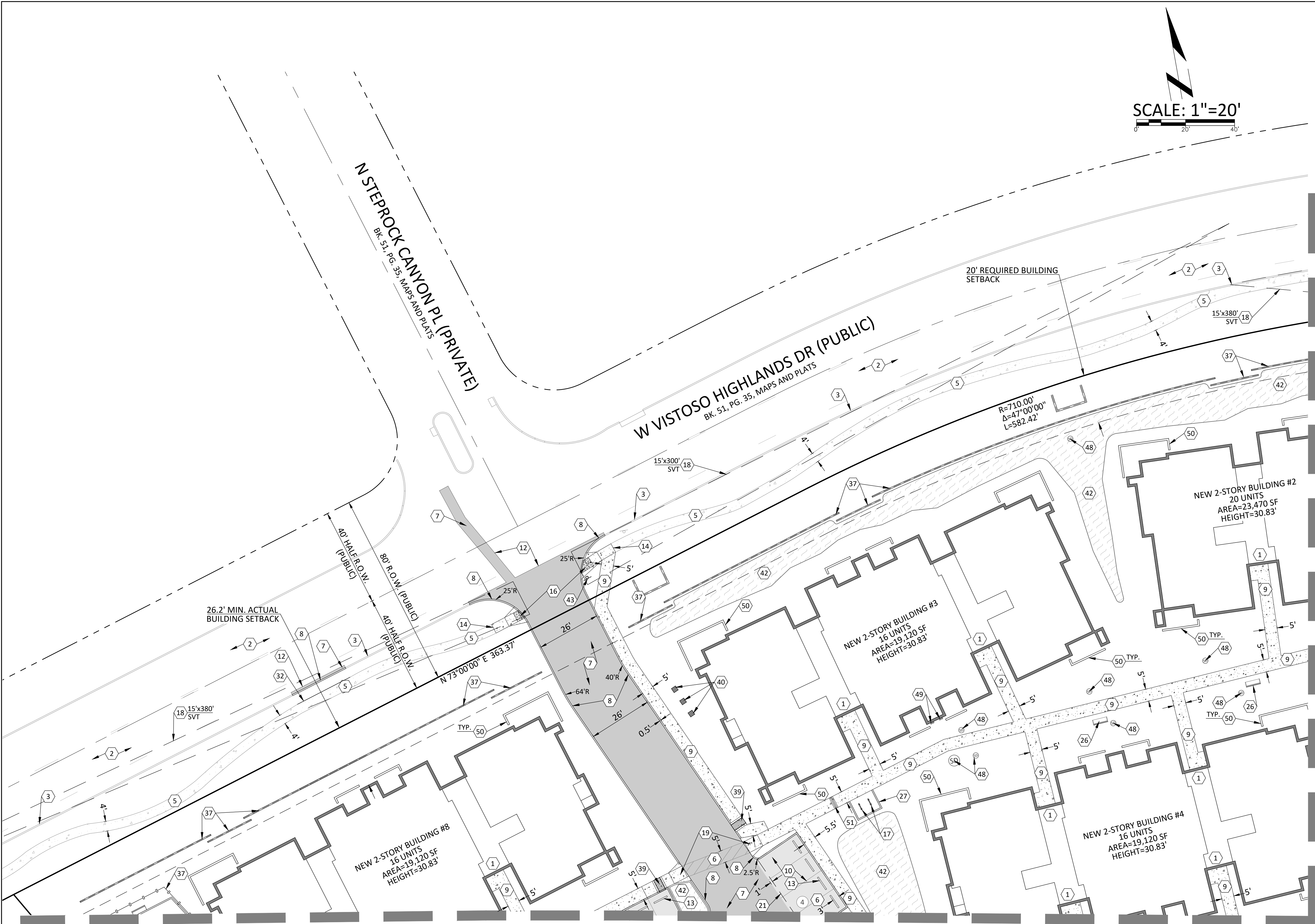
A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
site plan (sw)

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236

5  
OF  
19





- SITE KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
  - 2 EXISTING ASPHALT TO REMAIN.
  - 3 EXISTING CURB TO REMAIN.
  - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
  - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
  - 7 NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
  - 8 NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 9 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
  - 10 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
  - 12 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
  - 13 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
  - 14 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
  - 16 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PAG DETAIL 207.
  - 17 NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
  - 18 SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
  - 19 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
  - 21 NEW CANOPY PER SEPARATE PLAN AND PERMIT.
  - 26 NEW AMENITY PER LANDSCAPE PLANS.
  - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
  - 32 NEW EDGE OF EXISTING CONCRETE, FOLLOWING DEMOLITION.
  - 37 NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
  - 39 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
  - 40 NEW BUILDING COLUMN PER BUILDING PLAN.
  - 42 NEW WATER HARVESTING AREA, 4" MAX. DEPTH. SEE GRADING SHEETS FOR DETAIL.
  - 43 NEW STOP SIGN (MUTCD #R1-1).
  - 48 NEW STORM DRAIN AREA INLET OR MANHOLE. SEE GRADING SHEETS FOR DETAIL.
  - 49 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
  - 50 NEW PATIO WALL PER BUILDING PLANS (TYP.).
  - 51 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.

MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 5



DATE: 07/15/24
SCALE: 1"=20'
C.I.: N/A

NO.	DATE	REVISION DESCRIPTION	BY
<b>OWNER/DEVELOPER</b> OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com			
<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755			

CERTIFIED  
PROFESSIONAL ENGINEER  
No. 37824  
KEVIN M. HALL  
07/15/2024  
ARIZONA U.S.A.

**RICK**  
ENGINEERING COMPANY  
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

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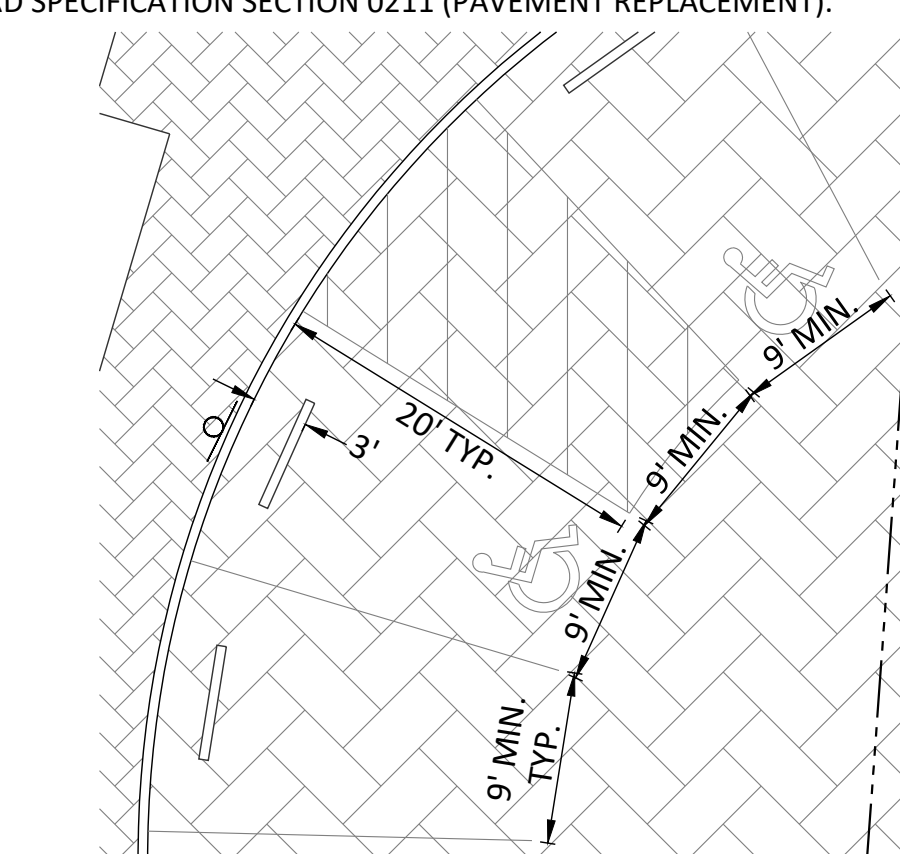
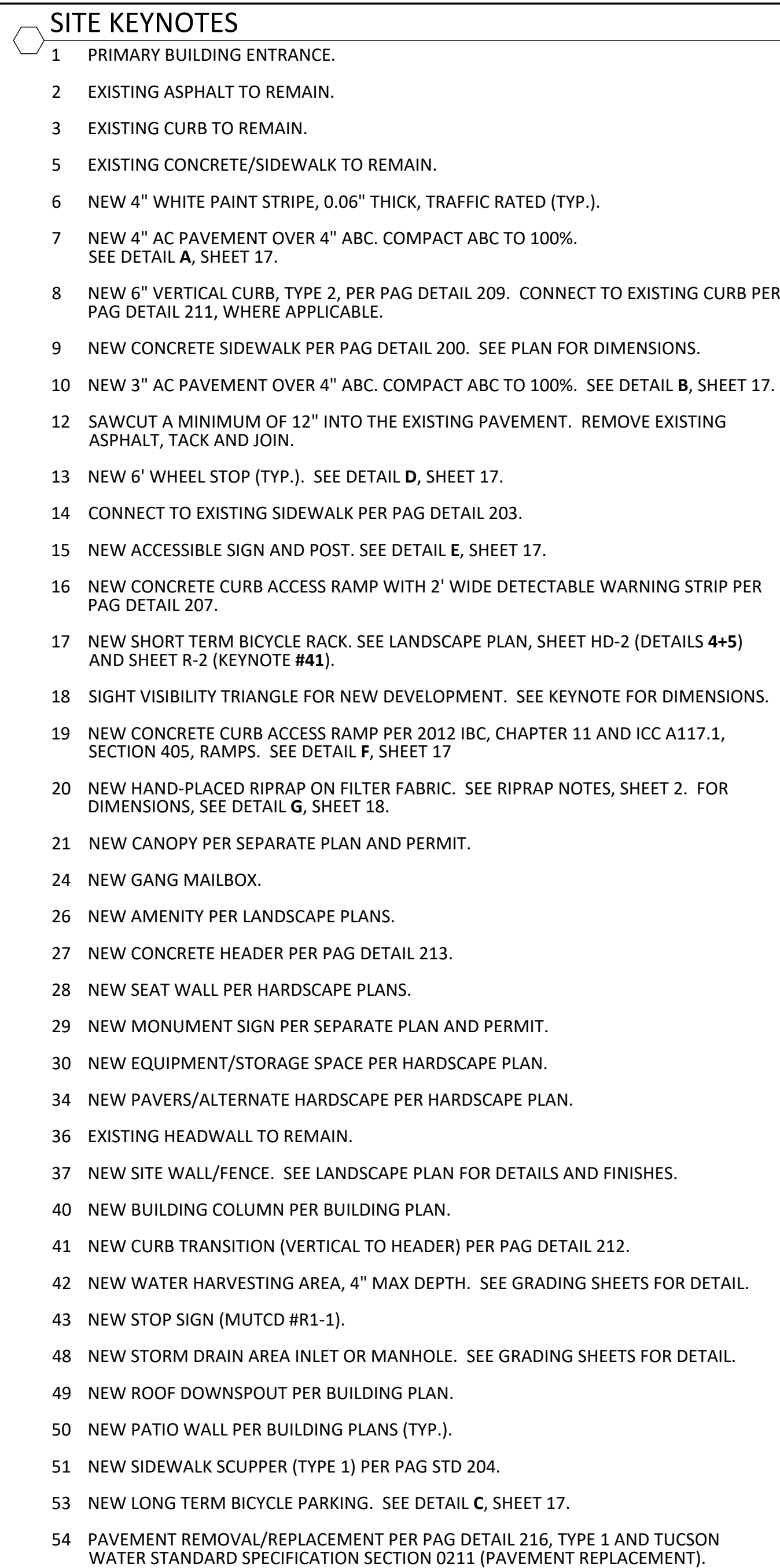
PROJECT NO: 22.061







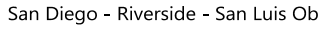

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
site plan (nw)**

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236  
6 OF 19

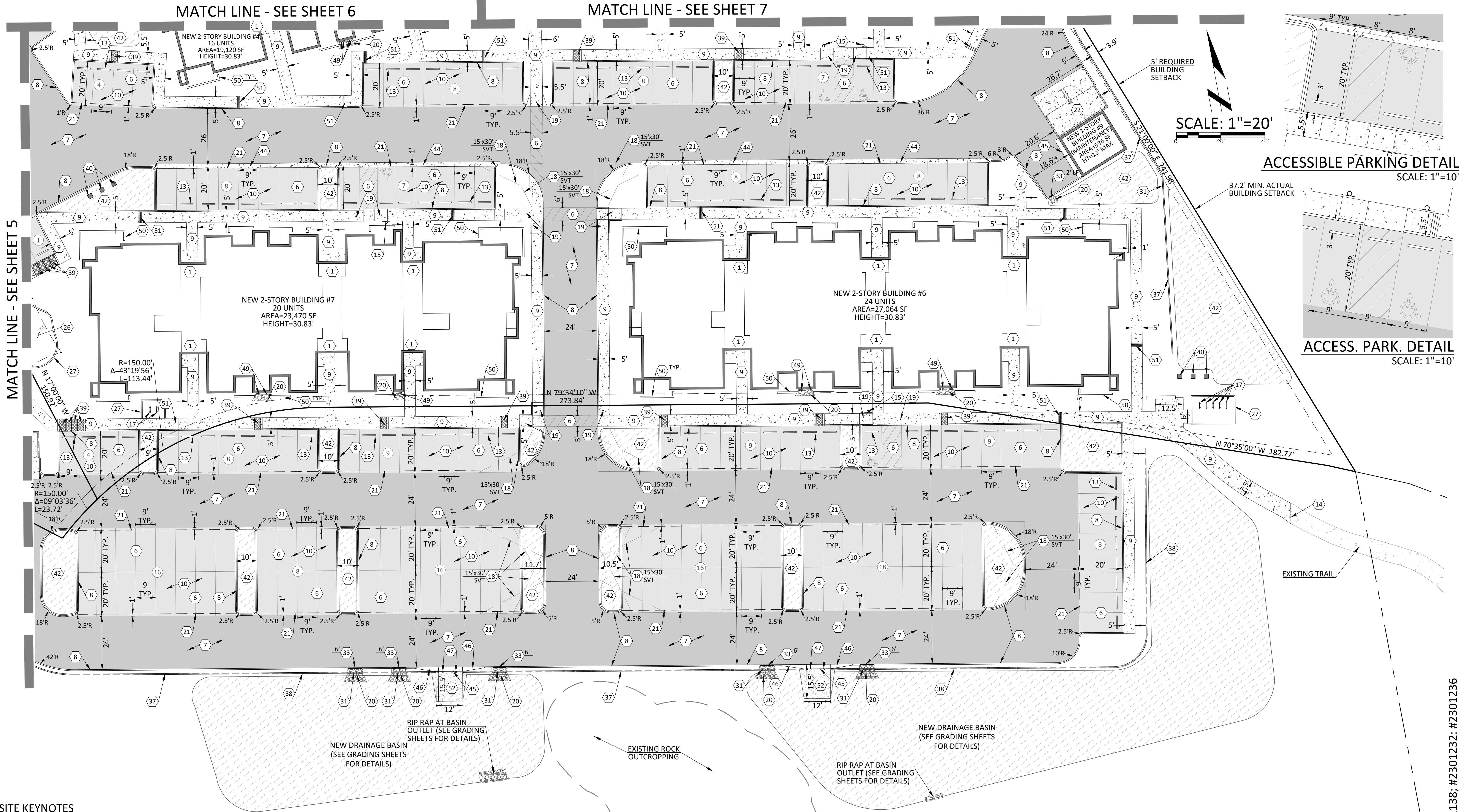




NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
		 <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div>		
		<div>  <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div> </div>		
		<div>  <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div> </div>		
		<div>  <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div> </div>		
		<div>  <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div> </div>		
		<div>  <div> 3945 E FORT LOWELL ROAD - STE #111  TUCSON, AZ 85712  520.795.1000  <a href="http://rickengineering.com">rickengineering.com</a> </div> </div>		

DATE: 07/15/24	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA	<p align="center"><b>CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE</b></p> <p align="center">site plan (ne)</p>
SCALE: 1"=20'		
C.I.: N/A		





SITE KEYNOTES

- 1

PRIMARY BUILDING ENTRANCE.
- 6

NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 7

NEW 4" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL A, SHEET 17.
- 8

NEW 6" VERTICAL CURB, TYPE 2, PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 9

NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 10

NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 17.
- 13

NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 17.
- 14

CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 15

NEW ACCESSIBLE SIGN AND POST. SEE DETAIL E, SHEET 17.
- 17

NEW SHORT TERM BICYCLE RACK. SEE LANDSCAPE PLAN, SHEET HD-2 (DETAILS 4+5) AND SHEET R-2 (KEYNOTE #41).
- 18

SIGHT VISIBILITY TRIANGLE FOR NEW DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 19

NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL F, SHEET 17.
- 20

NEW HAND-PLACED RIPRAP ON FILTER FABRIC. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL G, SHEET 18.
- 21

NEW CANOPY PER SEPARATE PLAN AND PERMIT.
- 22

NEW TRASH ENCLOSURE (DOUBLE CONTAINER). FULLY ENCLOSED WITH SELF CLOSING GATE. SEE DETAIL H, SHEET 18. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
- 26

NEW AMENITY PER LANDSCAPE PLANS.
- 27

NEW CONCRETE HEADER PER PAG DETAIL 213.
- 31

NEW WALL OPENING. SEE DETAIL I, SHEET 18.
- 33

NEW CURB OPENING. SEE KEYNOTE FOR WIDTH. SEE DETAIL J, SHEET 18.
- 37

NEW SITE WALL/FENCE. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
- 38

NEW RETAINING AND SITE WALL PER SEPARATE PLAN AND PERMIT. SEE LANDSCAPE PLAN FOR DETAILS AND FINISHES.
- 39

NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205.
- 40

NEW BUILDING COLUMN PER BUILDING PLAN.
- 42

NEW WATER HARVESTING AREA, 4" MAX DEPTH. SEE GRADING SHEETS FOR DETAIL.
- 44

NEW 2" WIDE CONCRETE FLOW GUTTER PER DETAIL K, SHEET 18.
- 45

NEW 6" HIGH WEDGE CURB PER PAG DETAIL 209.
- 46

NEW CURB TRANSITION (VERTICAL TO WEDGE) PER PAG DETAIL 210.
- 47

NEW REMOVABLE POST BARRICADE.
- 49

NEW ROOF DOWNSPOUT PER BUILDING PLAN.
- 50

NEW PATIO WALL PER BUILDING PLANS (TYP.).
- 51

NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204.
- 52

NEW 6" THICK ABC OVER COMPACTED SUBGRADE. COMPACT ABC TO 100% AND SUBGRADE TO 95%.

ACCESSIBLE PARKING DETAIL  
SCALE: 1"=10'

DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				SITE ADDRESS 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				PROJECT NO: 22.061
				CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE site plan (se)

Professional Engineer  
37624  
KEVIN M. HALL  
07/15/2024  
Arizona U.S.A.

**RICK**  
ENGINEERING COMPANY  
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

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CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236  
8 OF 19  
THE GATEWAY AT VISTOSO PRESERVE



W VISTOSO HIGHLANDS  
DR (PUBLIC)  
BK. 51, PG. 35, MAPS AND PLATS

MATCH LINE - SEE SHEET 10

SCALE: 1"=20'  
C.I.=1 FOOT

#### GRADING KEYNOTES

- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205. SEE KEYNOTE FOR QUANTITY.
- 3 EXISTING STORM DRAIN CULVERT TO REMAIN.
- 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204. SEE KEYNOTE FOR QUANTITY.
- 5 NEW WALL OPENING. SEE DETAIL K, SHEET 18.
- 9 NEW GRADED SWALE. SEE DETAIL 1, SHEET 11.
- 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.

#### WALL KEYNOTES

- 4 NEW 5' "THEME" WALL ON TOP OF RETAINING WALL. SEE DETAIL L, SHEET 18. ALSO REFER TO DETAIL 2 ON SHEET 19.
- 5 NEW 5' "THEME" WALL ON TOP OF RETAINING WALL AND SCOUR WALL. SEE DETAIL L, SHEET 18. ALSO REFER TO DETAIL 2 ON SHEET 19.
- 6 NEW 5' "SCREEN" WALL ON TOP OF RETAINING WALL. SEE DETAIL M, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.
- 7 NEW 5' "SCREEN" WALL ON TOP OF RETAINING WALL AND SCOUR WALL. SEE DETAIL M, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.
- 8 NEW 5' "SCREEN" WALL ON TOP OF SCOUR WALL. SEE DETAIL N, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.

MATCH LINE - SEE SHEET 12

WASH  
MAINTENANCE  
ACCESS

SEE SHEET 12 FOR  
CONTINUATION

PROPOSED 100  
YEAR FLOOD PLAIN  
LIMIT

PROPOSED  
EROSION HAZARD  
SETBACK

PROPOSED TOP  
OF BANK

PROPOSED 100 YEAR  
WATER SURFACE  
ELEVATION (TYP.)

PROPOSED TOP  
OF BANK

WASH  
CENTERLINE

GRADING LIMITS  
(APPROX.)

VARIES, 30'-45'

VARIES, 10'-16'

**A** NEW CHANNEL  
SCALE: N.T.S.



DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

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PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION  
23, TOWNSHIP 11 SOUTH, RANGE 13  
EAST, G.&S.R.M., TOWN OF ORO VALLEY,  
PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
grading plan (sw)**

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236  
9  
OF  
19

THE GATEWAY AT VISTOSO PRESERVE





SCALE: 1"=20'  
C.I. = 1 FOOT

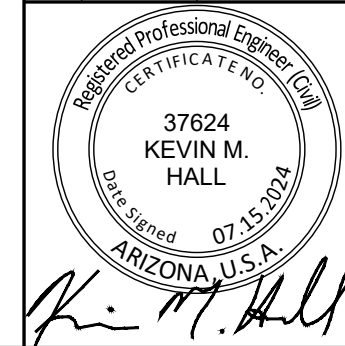
- GRADING KEYNOTES**
- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205. SEE KEYNOTE FOR QUANTITY.
  - 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204. SEE KEYNOTE FOR QUANTITY.
  - 6 NEW 18" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 7 NEW 8" NYOPLAST DRAIN BASIN, OR APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 8 NEW 24" NYOPLAST DRAIN BASIN, APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT.
  - 9 NEW GRADED SWALE. SEE DETAIL 1, SHEET 11.
  - 10 NEW 6" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 13 NEW 8" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.
  - 15 REMOVE EXISTING CONCRETE AS NEEDED TO ENSURE ADA COMPLIANCE.
  - 16 NEW INSERTA TEE LATERAL CONNECTION. INSTALL AT SPRINGLINE OR ABOVE. SEE KEYNOTE FOR INVERT OF MAIN.

MATCH LINE - SEE SHEET 11

MATCH LINE - SEE SHEET 9

- WALL KEYNOTES**
- 1 NEW 5" "THEME" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 2 ON SHEET 19.
  - 2 NEW 6" "ACCENT" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 3 ON SHEET 19.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

PROJECT NO: 22.061

DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

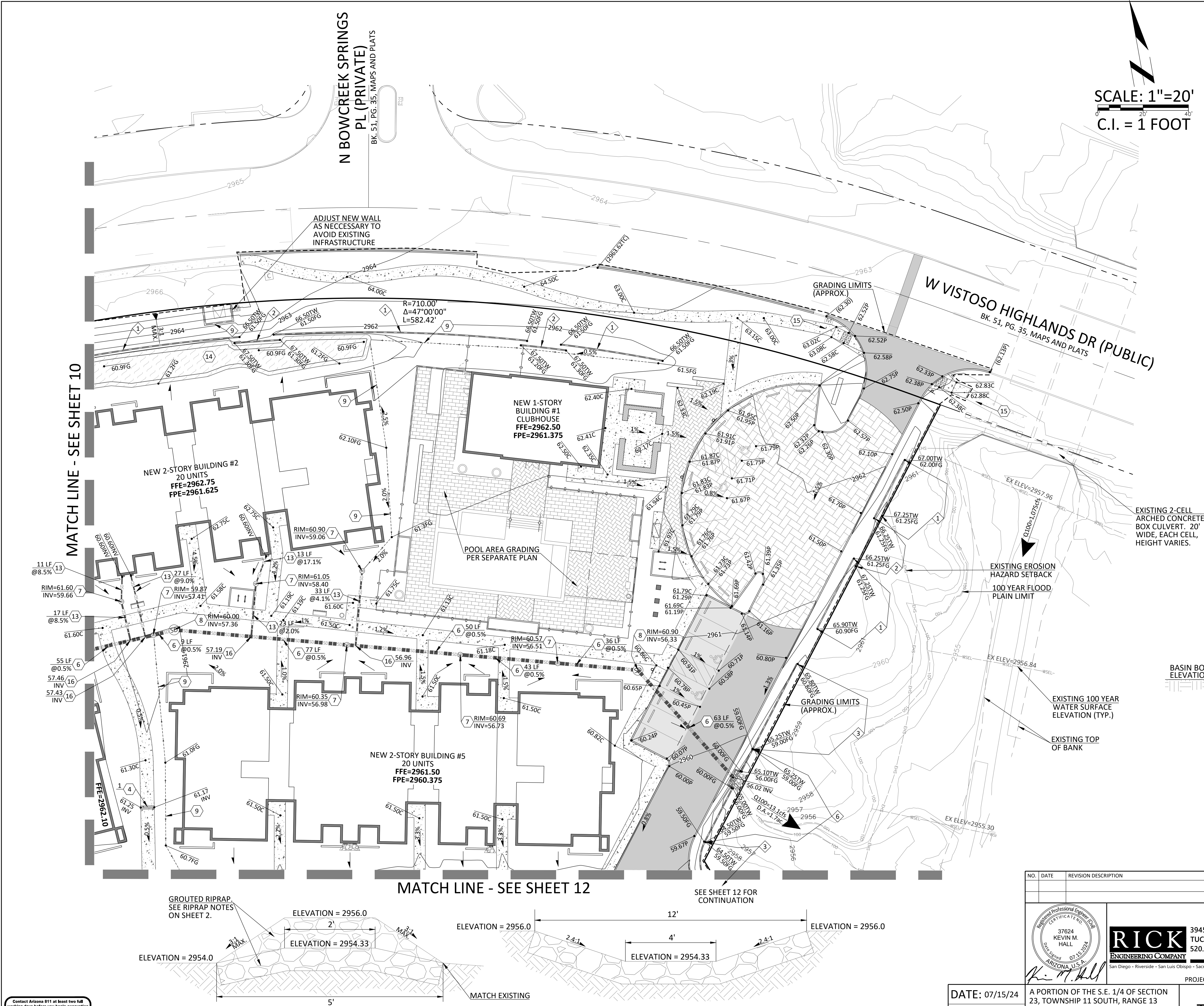
**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
grading plan (nw)**

CASE #2401047  
REF: #2203155; #2301138; #2301236

10  
OF  
19

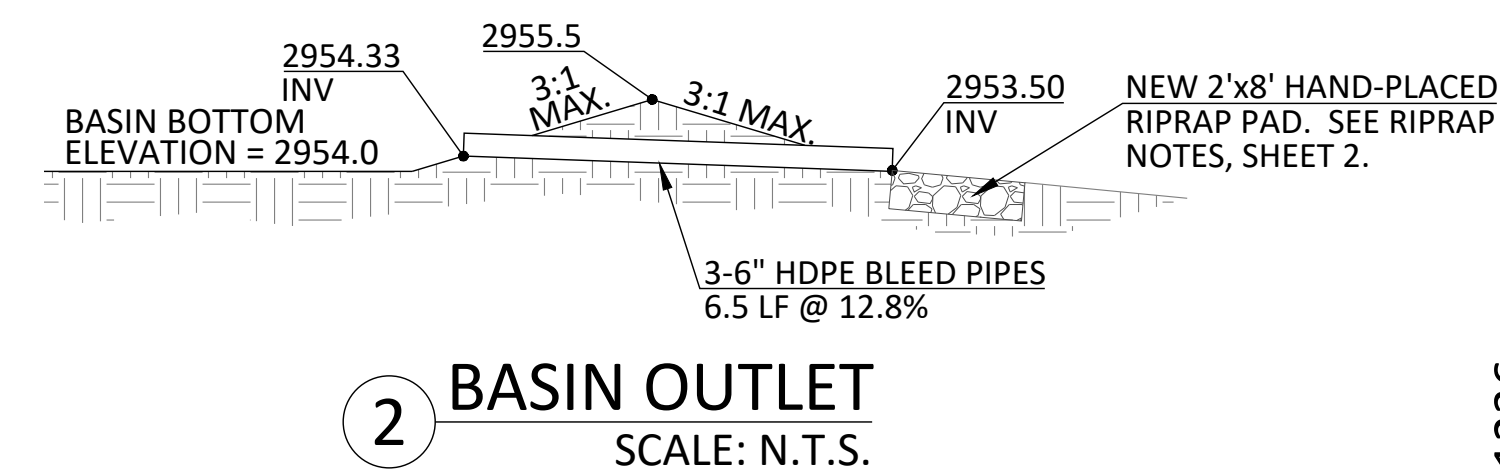
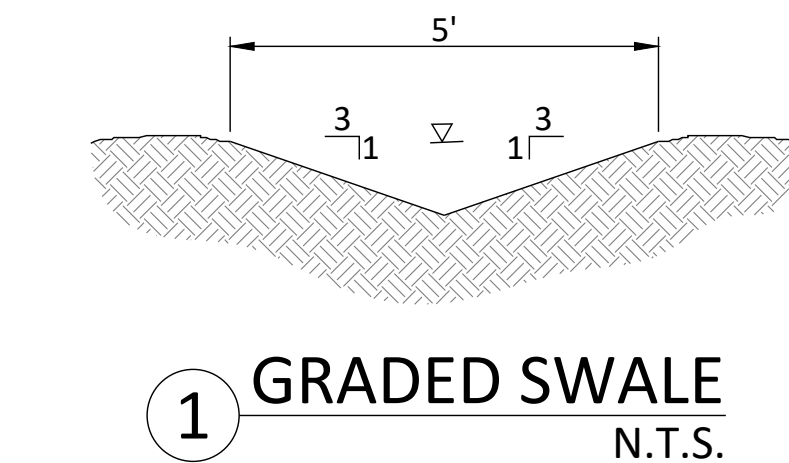






- GRADING/S.D. KEYNOTES**
- 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204. SEE KEYNOTE FOR QUANTITY.
  - 6 NEW 18" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 7 NEW 8" NYOPLAST DRAIN BASIN, OR APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 8 NEW 24" NYOPLAST DRAIN BASIN, APPROVED EQUAL. SEE KEYNOTE FOR RIM AND INVERT.
  - 9 NEW GRADED SWALE. SEE DETAIL 1, THIS SHEET.
  - 13 NEW 8" HDPE STORM DRAIN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.
  - 15 REMOVE EXISTING CONCRETE AS NEEDED TO ENSURE ADA COMPLIANCE.
  - 16 NEW INSERTA TEE LATERAL CONNECTION. INSTALL AT SPRINGLINE OR ABOVE. SEE KEYNOTE FOR INVERT OF MAIN.

- WALL KEYNOTES**
- 1 NEW 5' "THEME" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 2 ON SHEET 19.
  - 2 NEW 6' "ACCENT" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 3 ON SHEET 19.
  - 3 NEW 5' "SCREEN" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 1 ON SHEET 19.
  - 6 NEW 5' "SCREEN" WALL ON TOP OF RETAINING WALL. SEE DETAIL M, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.
  - 9 NEW MASONRY RETAINING WALL PER TUCSON ELECTRIC POWER SPECIFICATIONS. FINISHES TO BE DETERMINED BY OWNER/ARCHITECT.



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				<b>PROJECT NO:</b> 22.061



3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

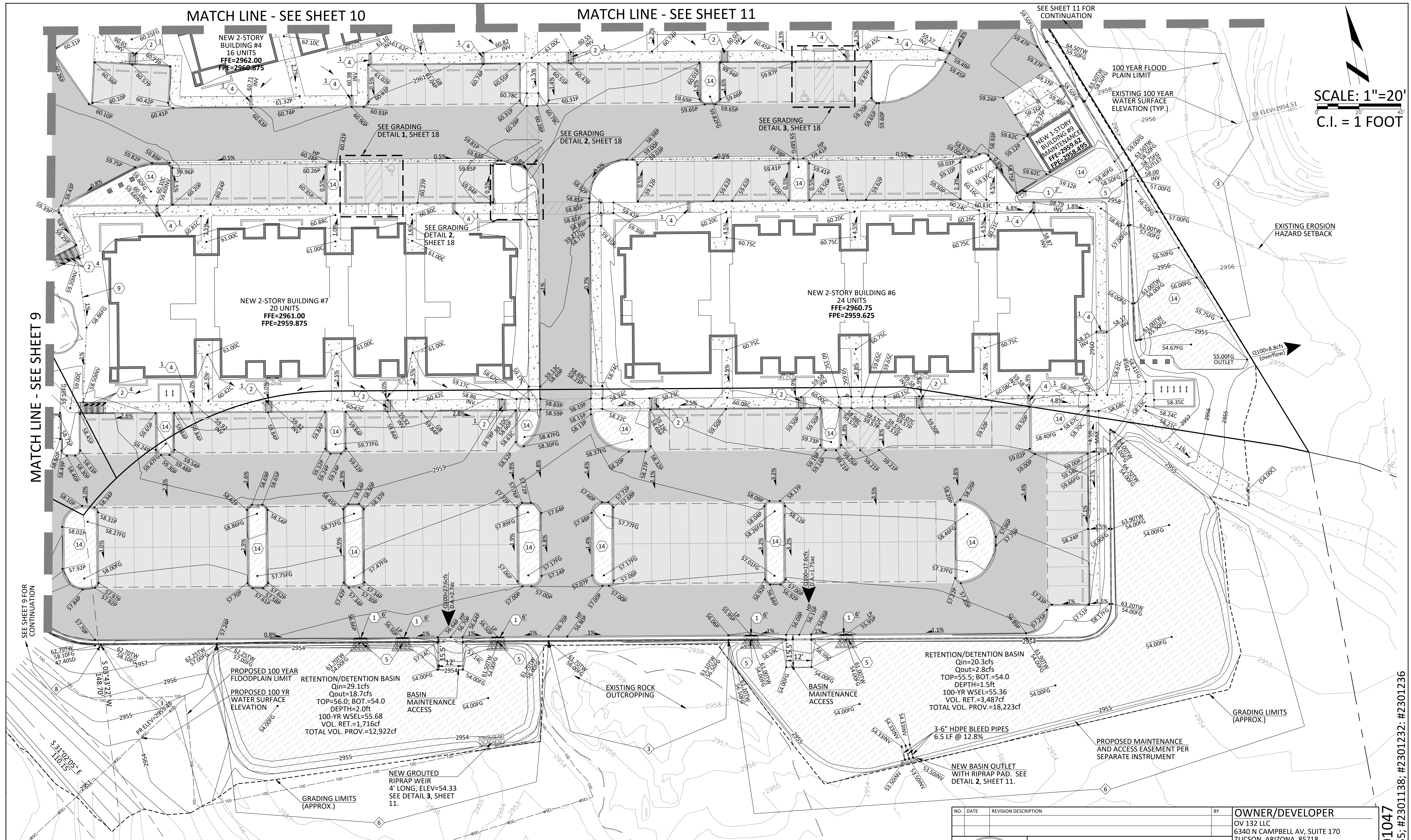
**CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE**  
grading plan (ne)

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236

11 OF 19

THE GATEWAY AT VISTOSO PRESERVE





**GRADING/S.D. KEYNOTES**

- 1 NEW CURB OPENING. SEE KEYNOTE FOR WIDTH.
- 2 NEW SIDEWALK SCUPPER (TYPE 2) PER PAG STD 205. SEE KEYNOTE FOR QUANTITY.
- 4 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204. SEE KEYNOTE FOR QUANTITY.
- 5 NEW WALL OPENING. SEE DETAIL I, SHEET 18.
- 9 NEW GRADED SWALE. SEE DETAIL 1, SHEET 11.
- 14 NEW 4" MAX. DEPRESSED WATER HARVESTING AREA.

**WALL KEYNOTES**

- 3 NEW 5' "SCREEN" WALL. SEE LANDSCAPE PLAN FOR DETAILS. ALSO REFER TO DETAIL 1 O SHEET 19.
- 6 NEW 5' "SCREEN" WALL ON TOP OF RETAINING WALL. SEE DETAIL M, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.
- 8 NEW 5' "SCREEN" WALL ON TOP OF SCOUR WALL. SEE DETAIL N, SHEET 18. ALSO REFER TO DETAIL 1 ON SHEET 19.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				<b>3945 E FORT LOWELL ROAD - STE #111</b> TUCSON, AZ 85712 520.795.1000 rickengineering.com
				PROJECT NO: 22.061

DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

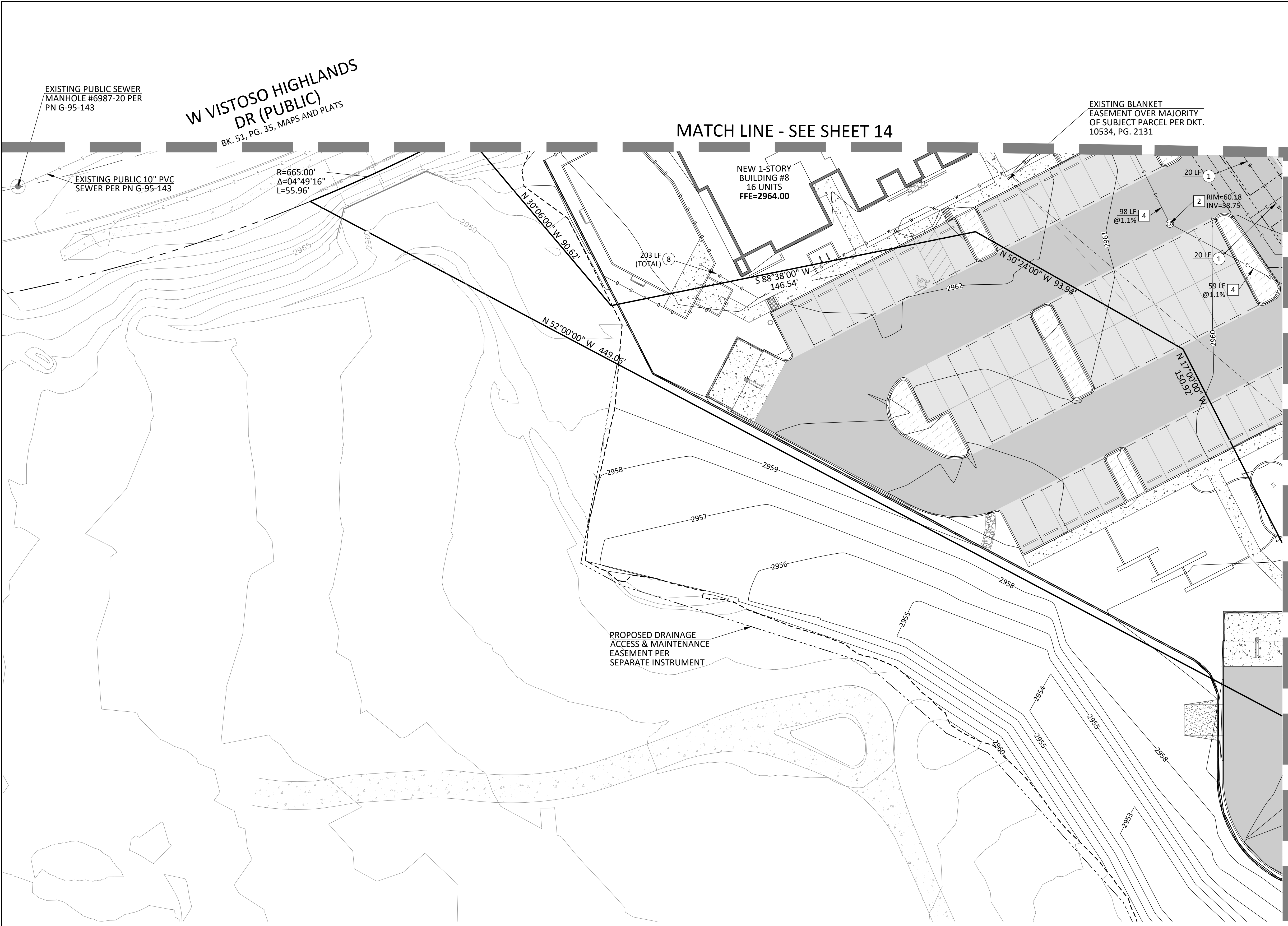


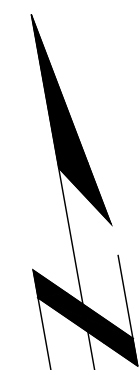
A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
grading plan (se)**

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236





  
**SCALE: 1"=20'**  
**C.I.=1 FOOT**


- SEWER KEYNOTES**
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
  - 8 NEW PRIVATE 1" WATER SERVICE TO DOG PARK. SEE KEYNOTE FOR LENGTH.

MATCH LINE - SEE SHEET 16



DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



**RICK**  
ENGINEERING COMPANY  
3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

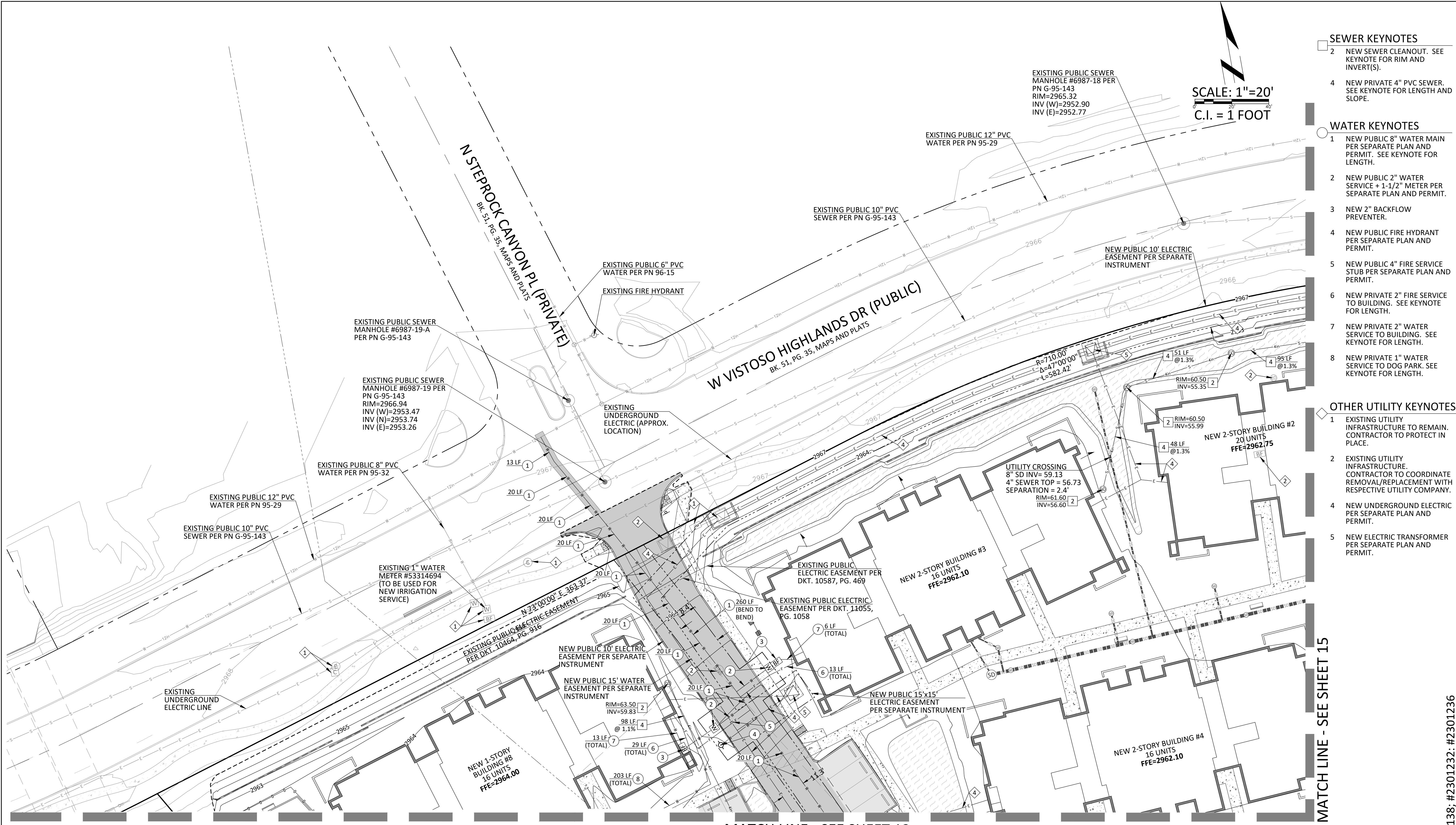
PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE**  
utility + easements plan (sw)

CASE #2401047  
REF: #2203155; #2301138; #2301236





- SEWER KEYNOTES**
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
  - 2 NEW PUBLIC 2" WATER SERVICE + 1-1/2" METER PER SEPARATE PLAN AND PERMIT.
  - 3 NEW 2" BACKFLOW PREVENTER.
  - 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
  - 5 NEW PUBLIC 4" FIRE SERVICE STUB PER SEPARATE PLAN AND PERMIT.
  - 6 NEW PRIVATE 2" FIRE SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
  - 7 NEW PRIVATE 2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
  - 8 NEW PRIVATE 1" WATER SERVICE TO DOG PARK. SEE KEYNOTE FOR LENGTH.

- OTHER UTILITY KEYNOTES**
- 1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
  - 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
  - 4 NEW UNDERGROUND ELECTRIC PER SEPARATE PLAN AND PERMIT.
  - 5 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN AND PERMIT.

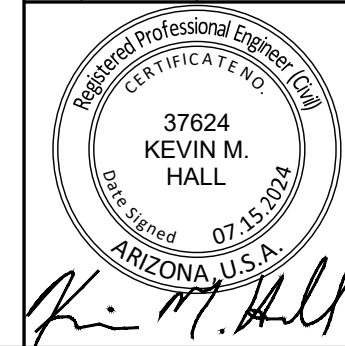
MATCH LINE - SEE SHEET 15

MATCH LINE - SEE SHEET 13



DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



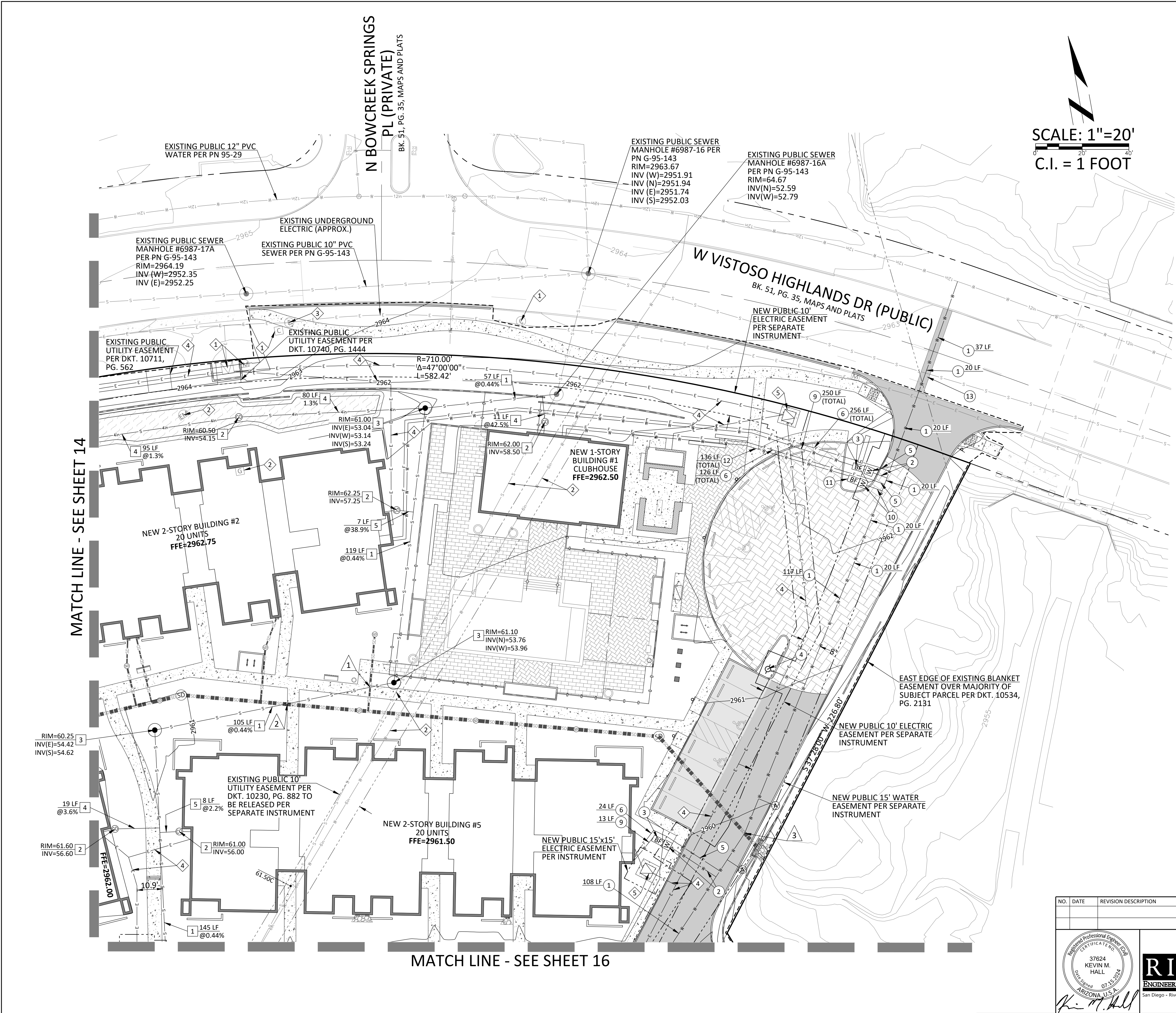
3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
utility + easements plan (nw)**

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236





- SEWER KEYNOTES**
- 1 NEW PRIVATE 8" SEWER MAIN PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 3 NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 5 NEW PRIVATE 6" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
  - 2 NEW PUBLIC 2" WATER SERVICE + 1-1/2" METER PER SEPARATE PLAN AND PERMIT.
  - 3 NEW 2" BACKFLOW PREVENTER.
  - 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
  - 5 NEW PUBLIC 4" FIRE SERVICE STUB PER SEPARATE PLAN AND PERMIT.
  - 6 NEW PRIVATE 2" FIRE SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
  - 9 NEW PRIVATE 2-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
  - 10 NEW PUBLIC 1" WATER SERVICE + 3/4" METER PER SEPARATE PLAN AND PERMIT.
  - 11 NEW 1-1/2" BACKFLOW PREVENTER.
  - 12 NEW PRIVATE 1-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
  - 13 PAVEMENT REMOVAL/REPLACEMENT PER PAG DETAIL 216, TYPE 1 AND TUCSON WATER STANDARD SPECIFICATION SECTION 0211 (PAVEMENT REPLACEMENT).

- OTHER UTILITY KEYNOTES**
- 1 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
  - 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
  - 3 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO ADJUST RIM/REBUILD TO MATCH NEW FINISH SURFACE.
  - 4 NEW UNDERGROUND ELECTRIC PER SEPARATE PLAN AND PERMIT.
  - 5 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN AND PERMIT.

- UTILITY CROSSINGS**
- 1 8" SD BOT=58.00  
8" SEW TOP=54.74  
SEPARATION=3.26'
  - 2 18" SD BOT=57.04  
8" SEW TOP=54.94  
SEPARATION=2.10'
  - 3 18" SD BOT=55.84  
8" WAT TOP=52.59  
SEPARATION=3.25'

SCALE: 1"=20'  
C.I. = 1 FOOT

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				<b>3945 E FORT LOWELL ROAD - STE #111</b> TUCSON, AZ 85712 520.795.1000 rickengineering.com
				PROJECT NO: 22.061

DATE: 07/15/24  
SCALE: 1"=20'  
C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
utility + easements plan (ne)**

CASE #2401047  
REF: #2203155; #2301138; #2301232; #2301236





MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 15

SCALE: 1"=20'  
C.I. = 1 FOOT

MATCH LINE - SEE SHEET 13

## SEWER KEYNOTES

- 1 NEW PRIVATE 8" SEWER MAIN PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
- 3 NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
- 4 NEW PRIVATE 4" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 5 NEW PRIVATE 6" PVC SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

## WATER KEYNOTES

- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
- 2 NEW PUBLIC 2" WATER SERVICE + 1-1/2" METER PER SEPARATE PLAN AND PERMIT.
- 3 NEW 2" BACKFLOW PREVENTER.
- 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
- 5 NEW PUBLIC 4" FIRE SERVICE STUB PER SEPARATE PLAN AND PERMIT.
- 6 NEW PRIVATE 4" FIRE SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
- 7 NEW PRIVATE 2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.

- 9 NEW PRIVATE 2-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.
- 10 NEW PUBLIC 1" WATER SERVICE + 3/4" METER PER SEPARATE PLAN AND PERMIT.
- 11 NEW 1-1/2" BACKFLOW PREVENTER.
- 12 NEW PRIVATE 1-1/2" WATER SERVICE TO BUILDING. SEE KEYNOTE FOR LENGTH.

## OTHER UTILITY KEYNOTES

- 2 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.
- 4 NEW UNDERGROUND ELECTRIC PER SEPARATE PLAN AND PERMIT.
- 5 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN AND PERMIT.

## UTILITY CROSSINGS

- 3 8" SEW BOT=55.23  
8" WAT TOP=52.00

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				<b>PROPOSED MAINTENANCE AND ACCESS EASEMENT PER SEPARATE INSTRUMENT</b>

**RICK**  
ENGINEERING COMPANY3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

PROJECT NO: 22.061

DATE: 07/15/24

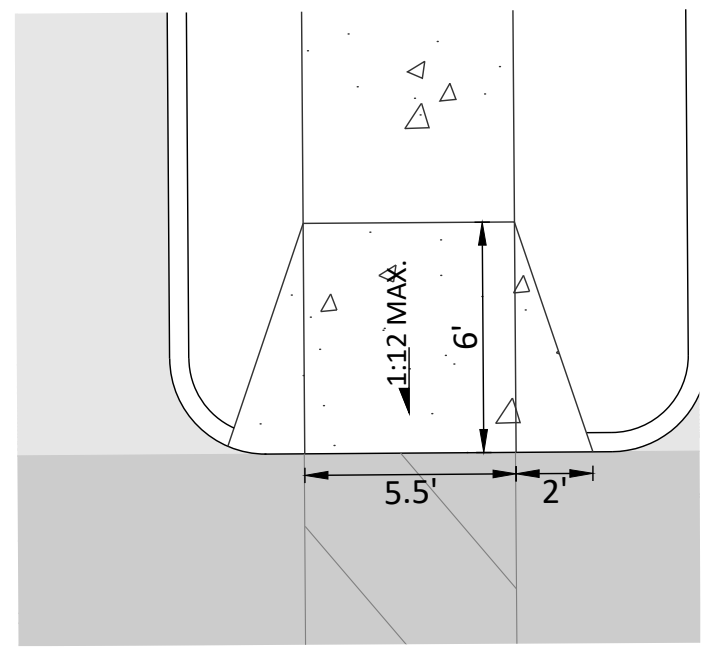
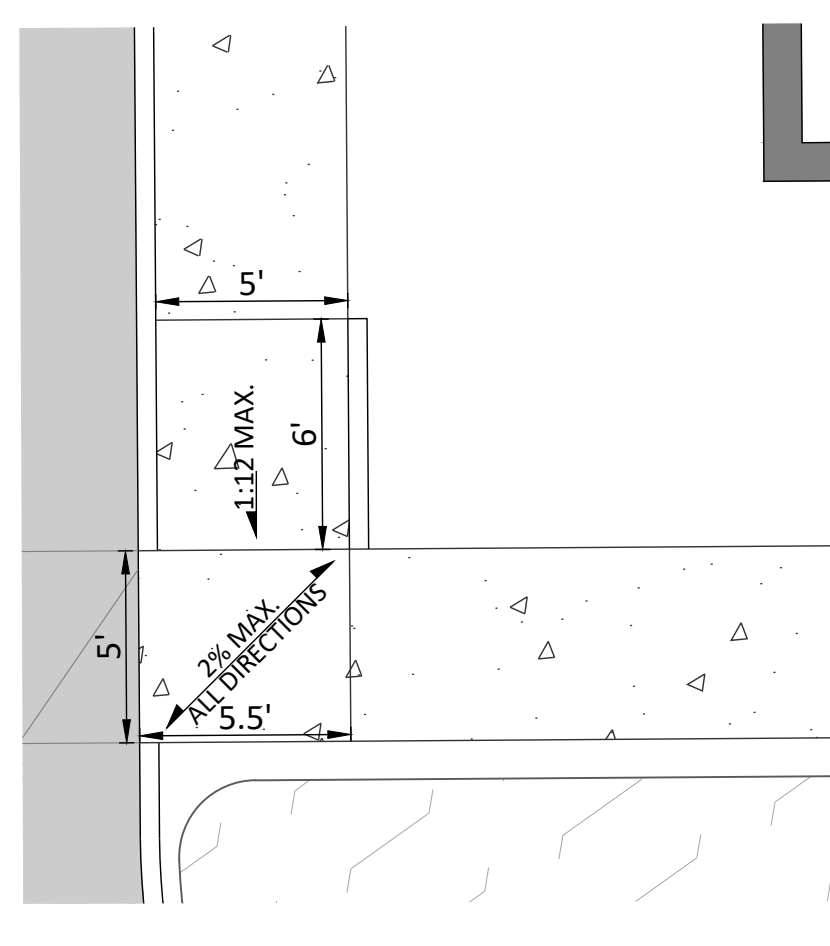
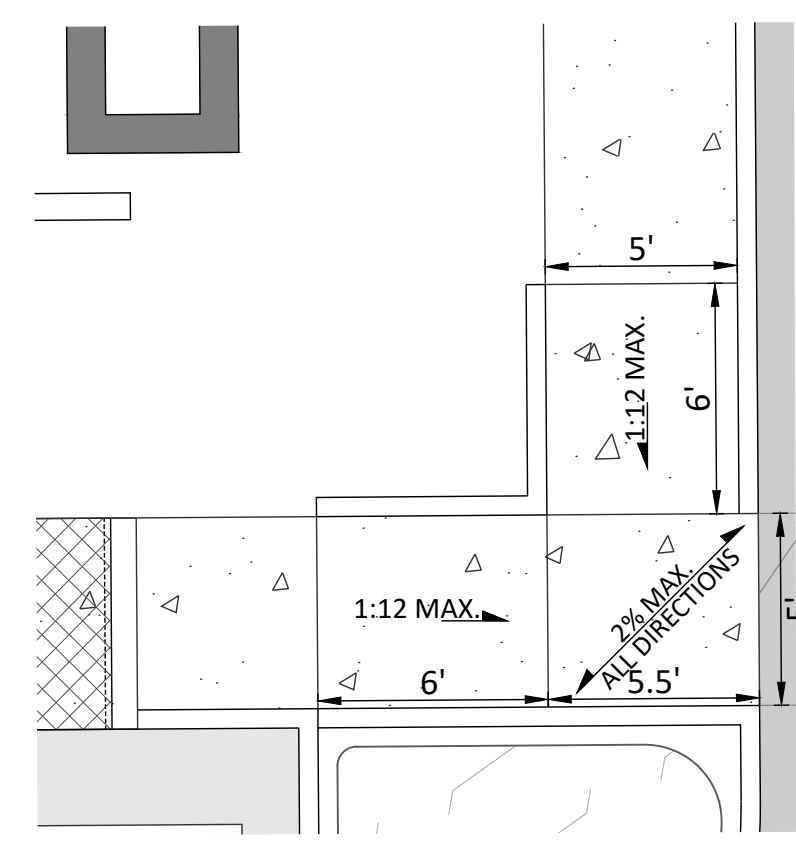
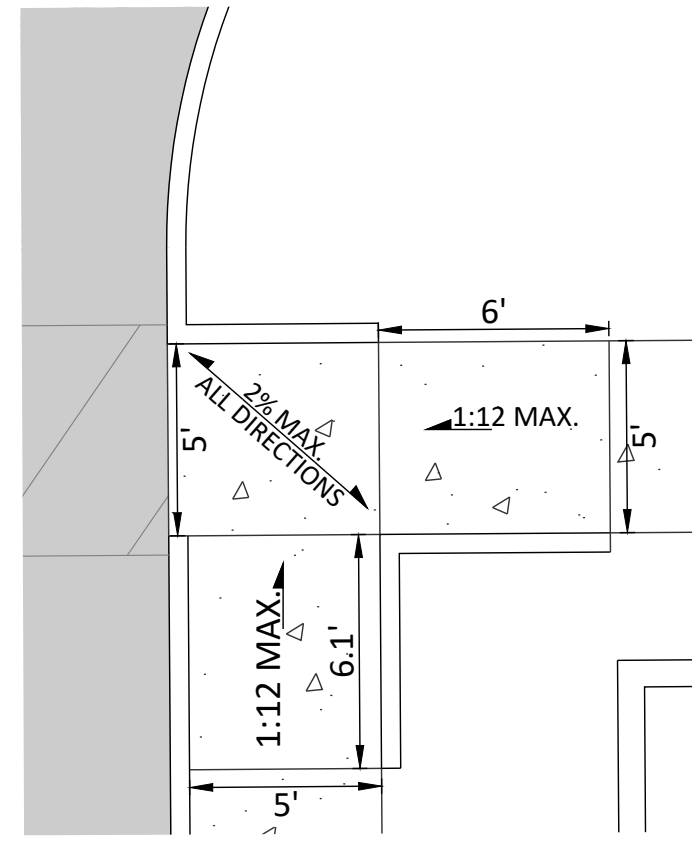
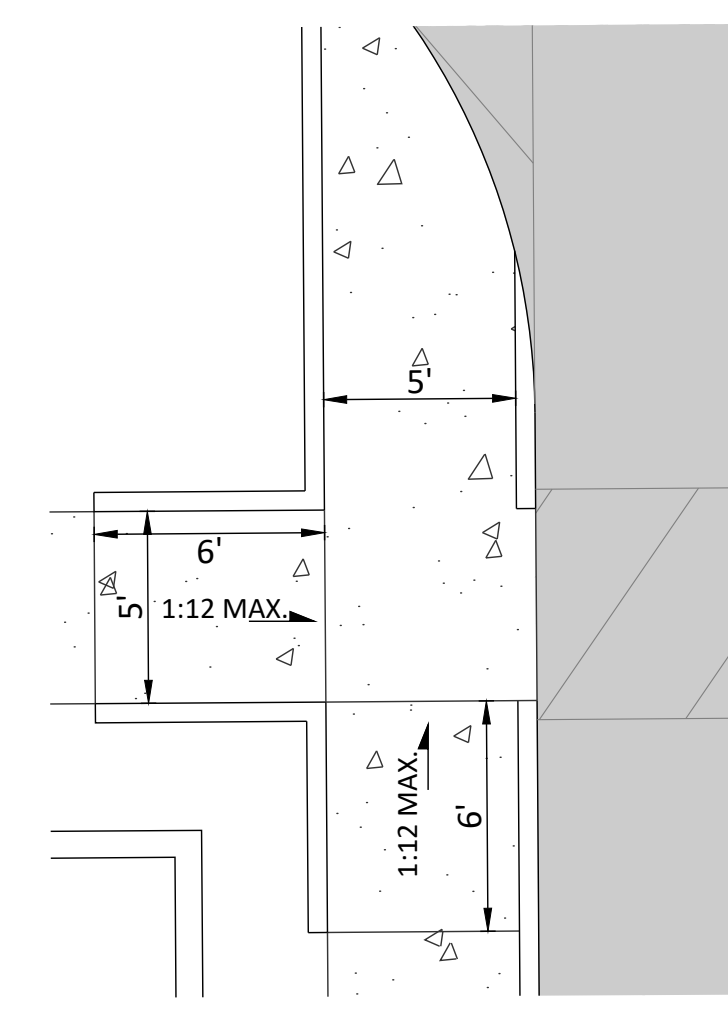
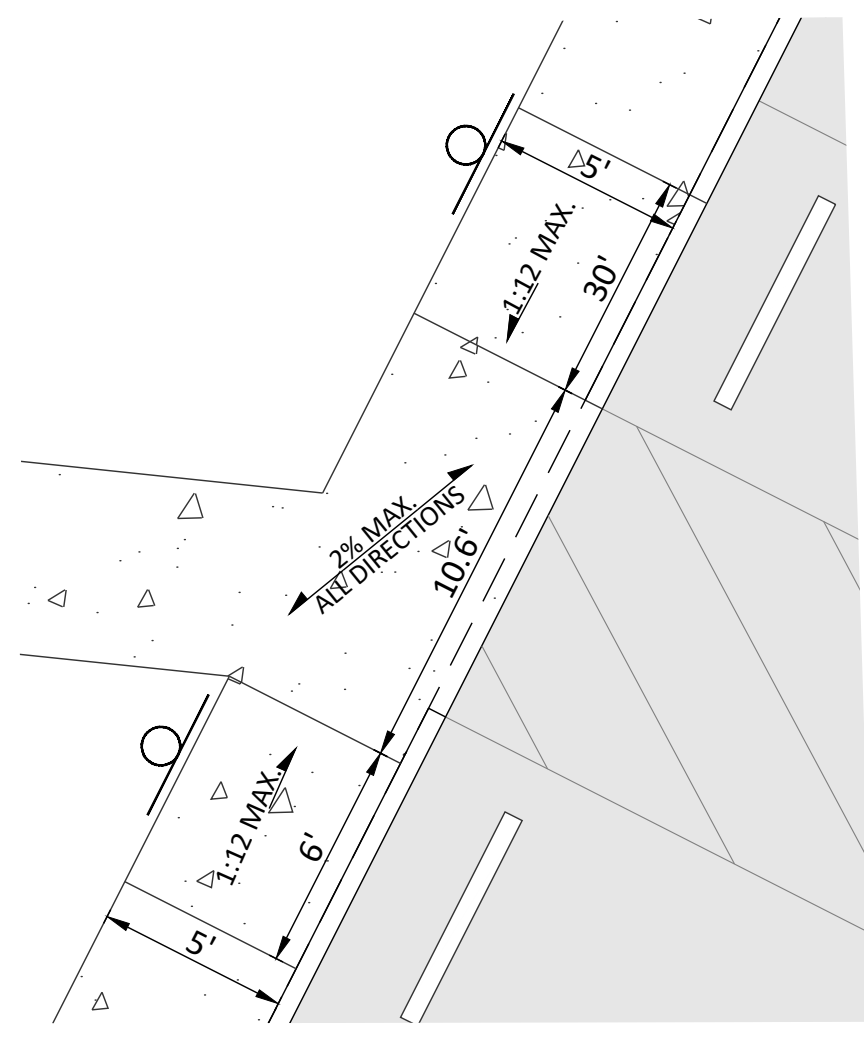
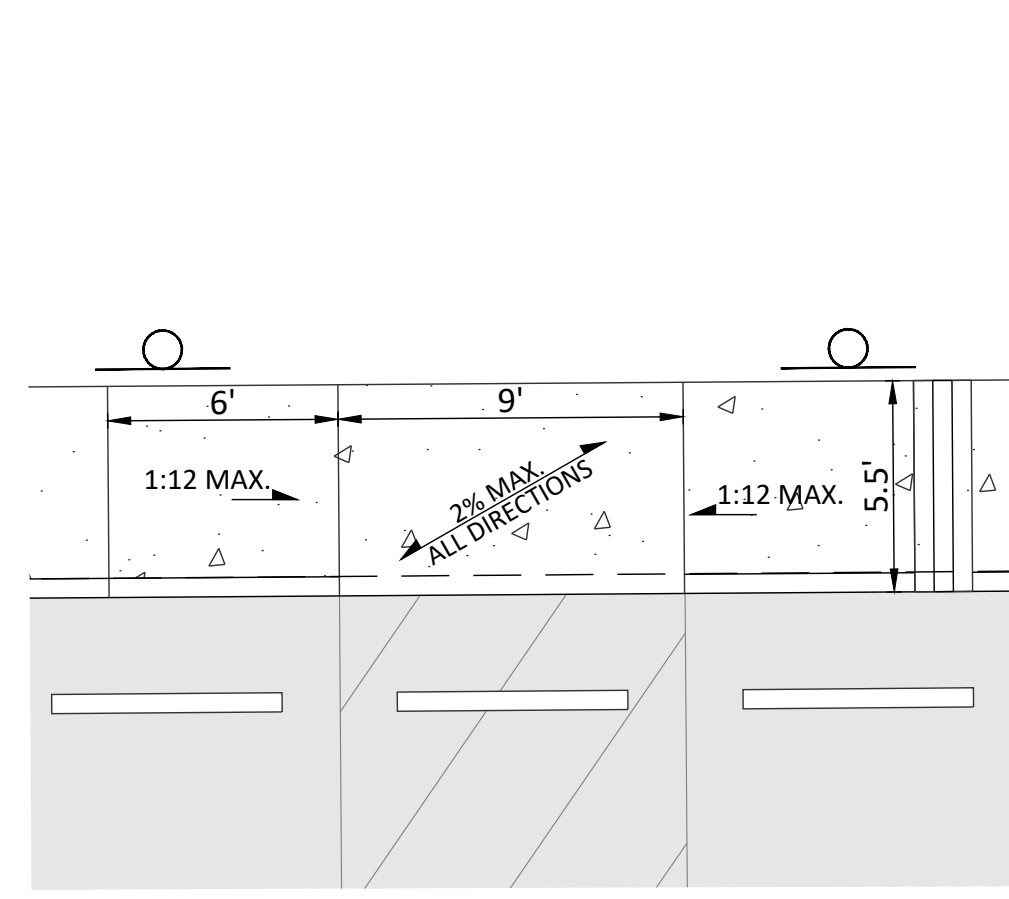
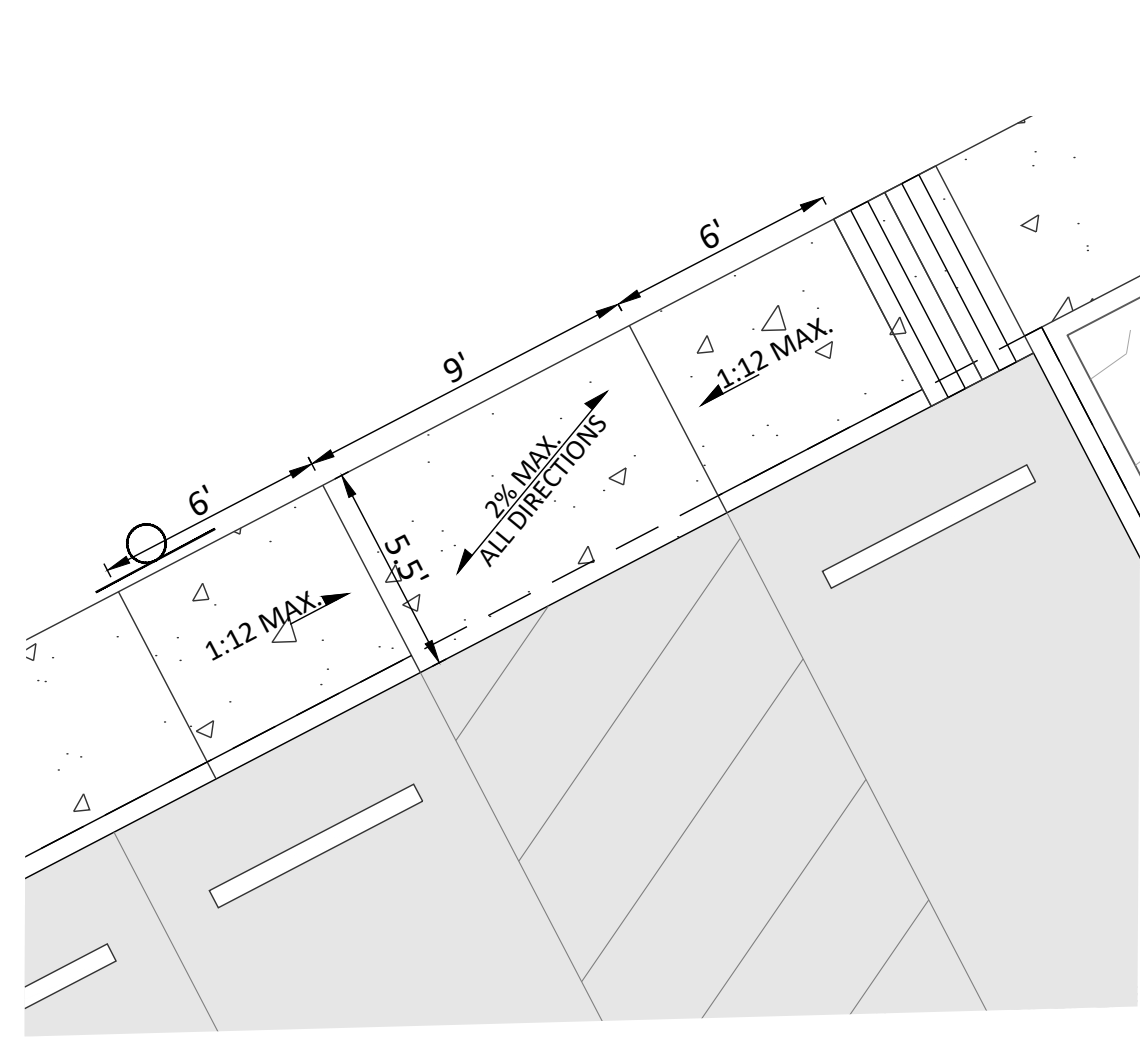
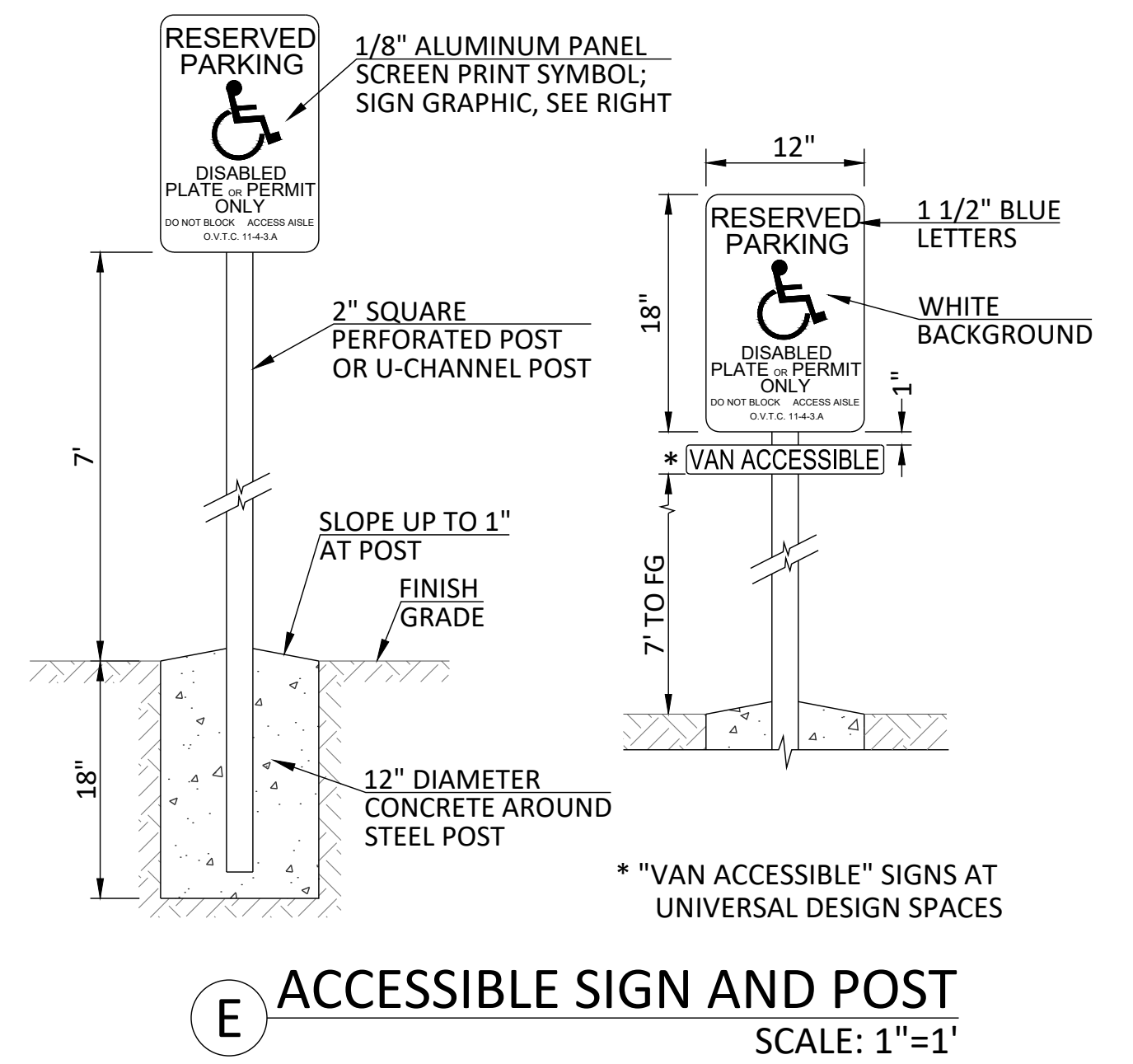
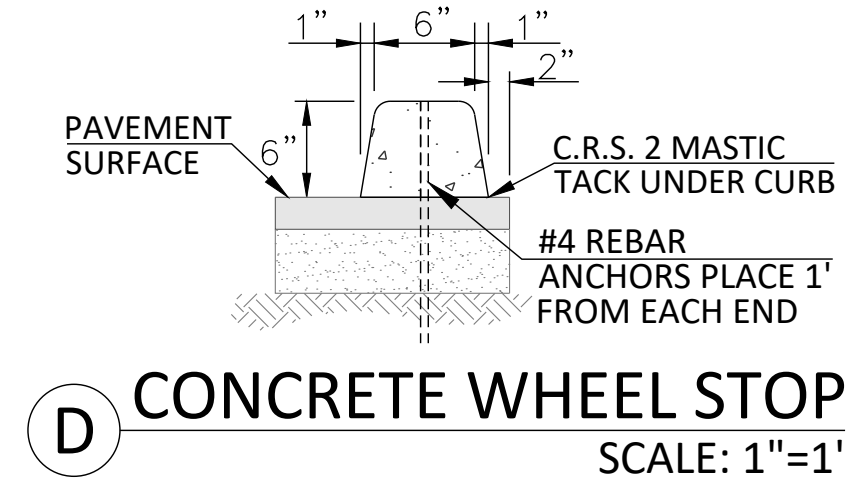
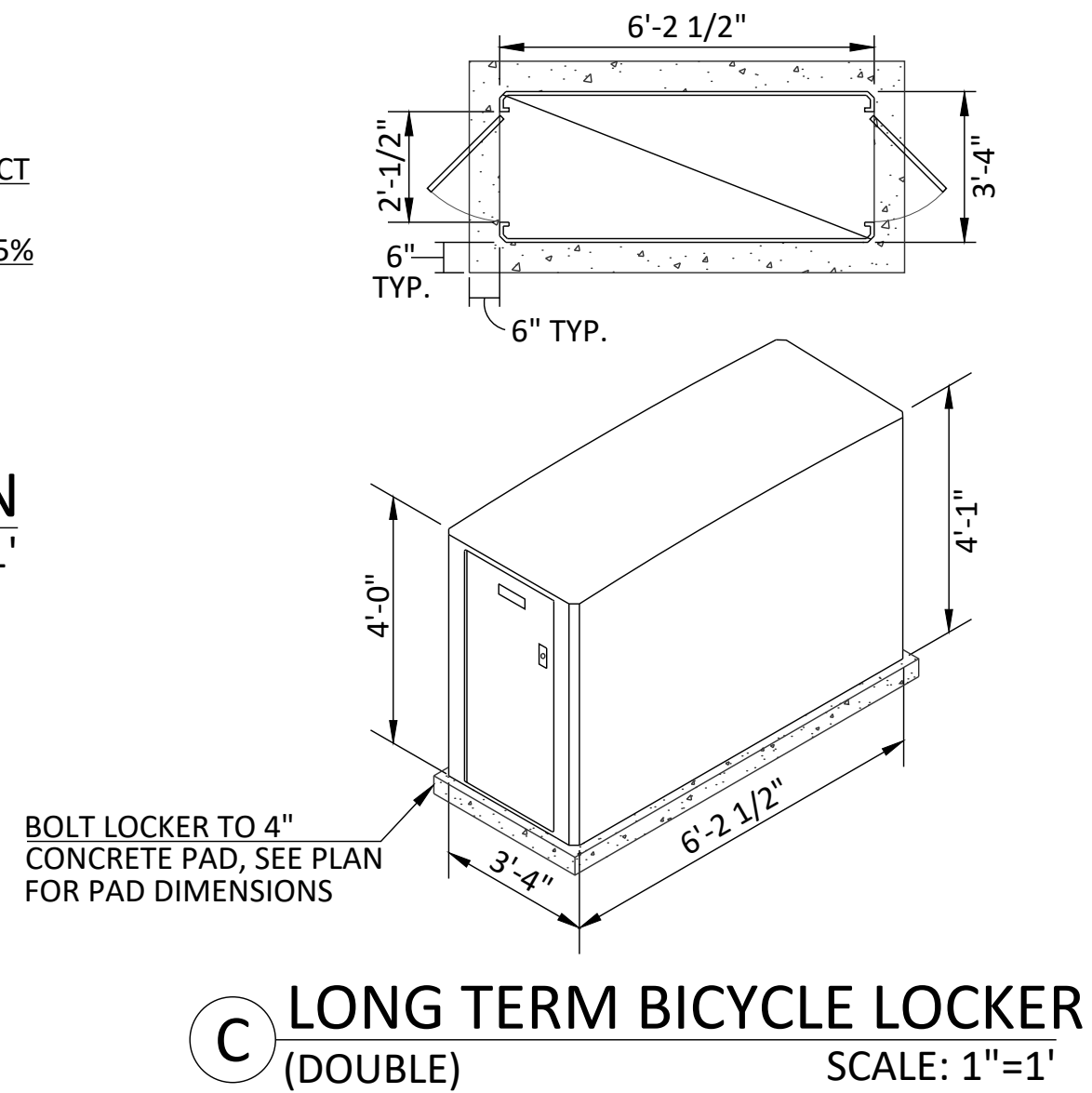
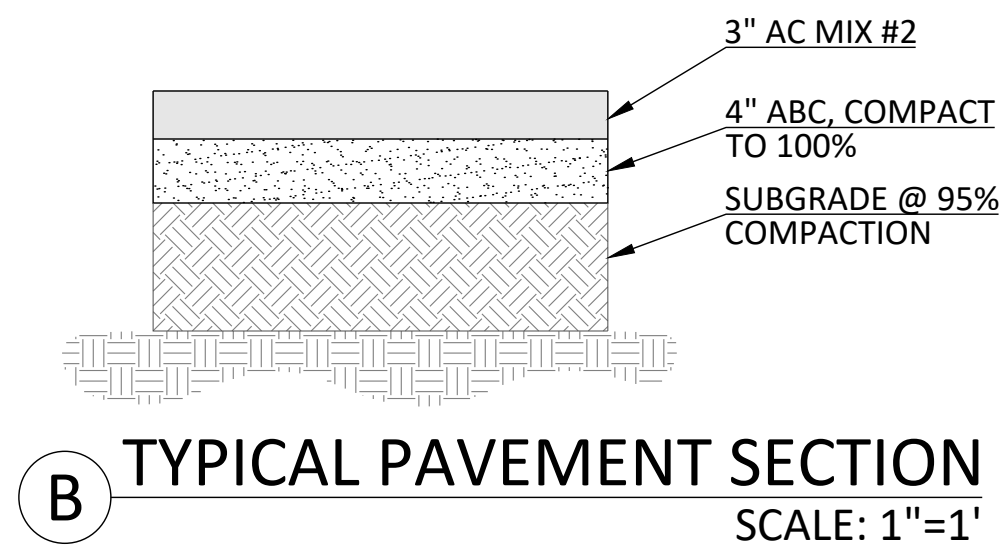
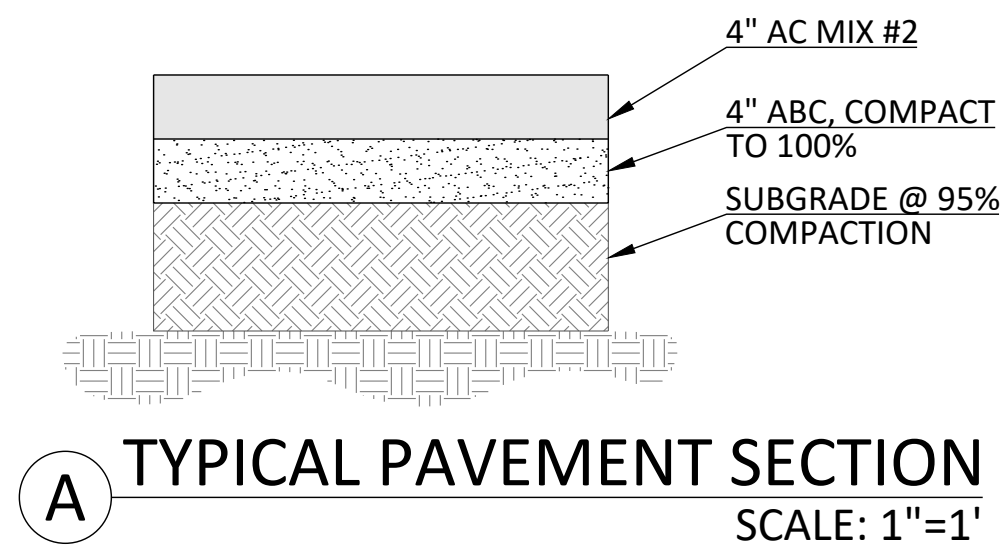
SCALE: 1"=20'

C.I.: 1 FOOT

A PORTION OF THE S.E. 1/4 OF SECTION  
23, TOWNSHIP 11 SOUTH, RANGE 13  
EAST, G.&S.R.M., TOWN OF ORO VALLEY,  
PIMA COUNTY, ARIZONA**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE**  
utility + easements plan (se)CASE #2401047  
REF: #2203155; #2301138; #2301232; #230123616  
OF  
19

THE GATEWAY AT VISTOSO PRESERVE



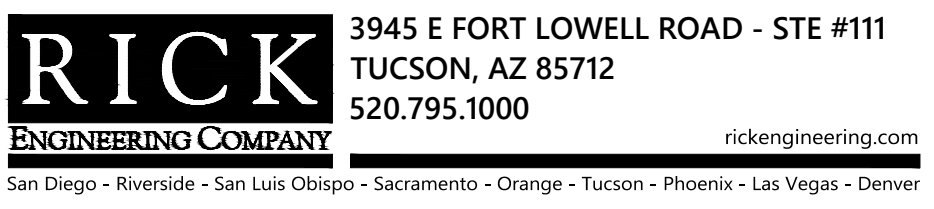


**F ACCESS RAMPS DETAILS**  
SCALE: 1"=5'



DATE: 07/15/24  
SCALE: VARIES  
C.I.: N/A

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755
				<b>CIVIL IMPROVEMENT PLAN for THE GATEWAY AT VISTOSO PRESERVE details</b>



PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

CASE #2401047  
REF: #2203155; #2301138; #2301236  
17 OF 19



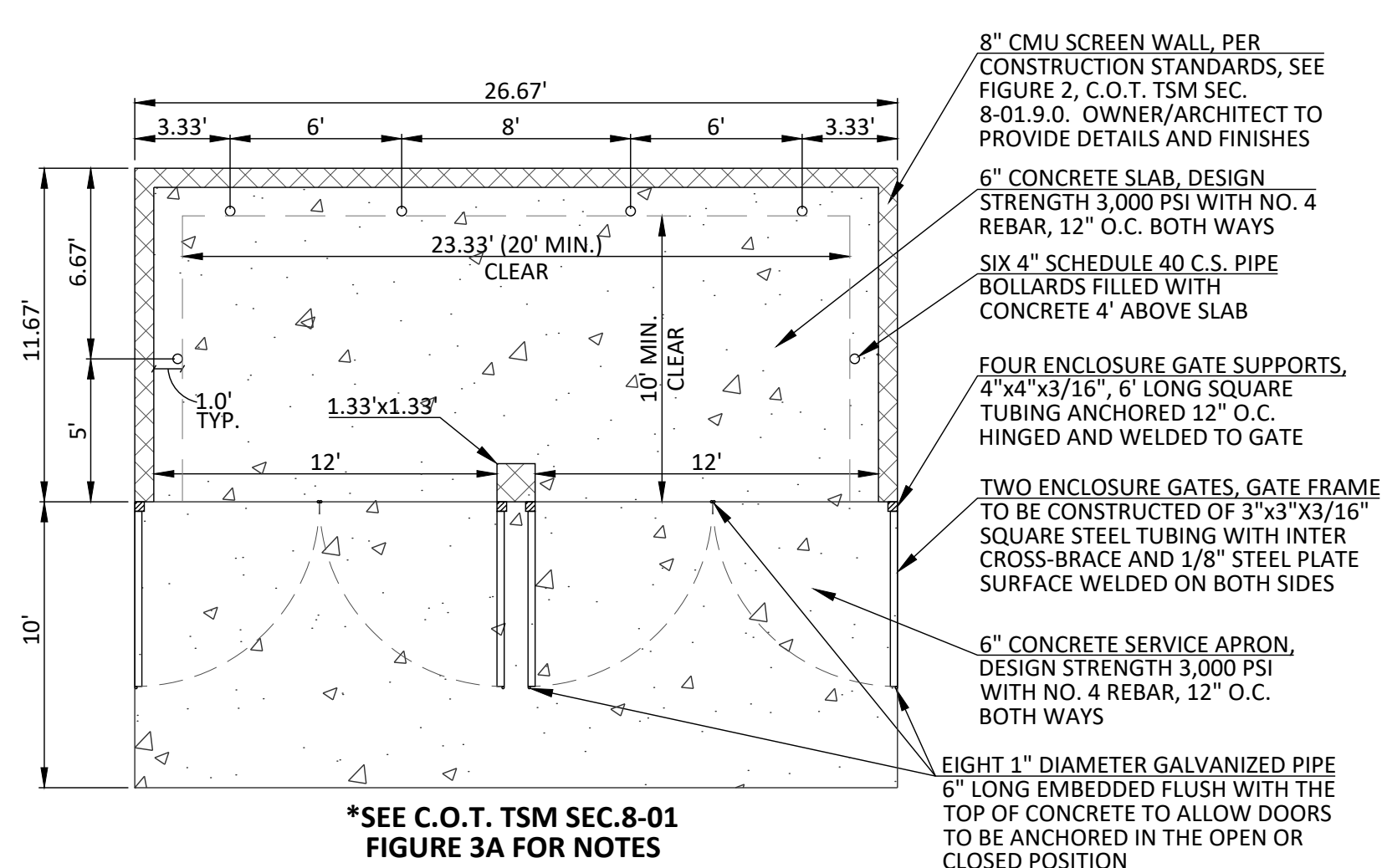
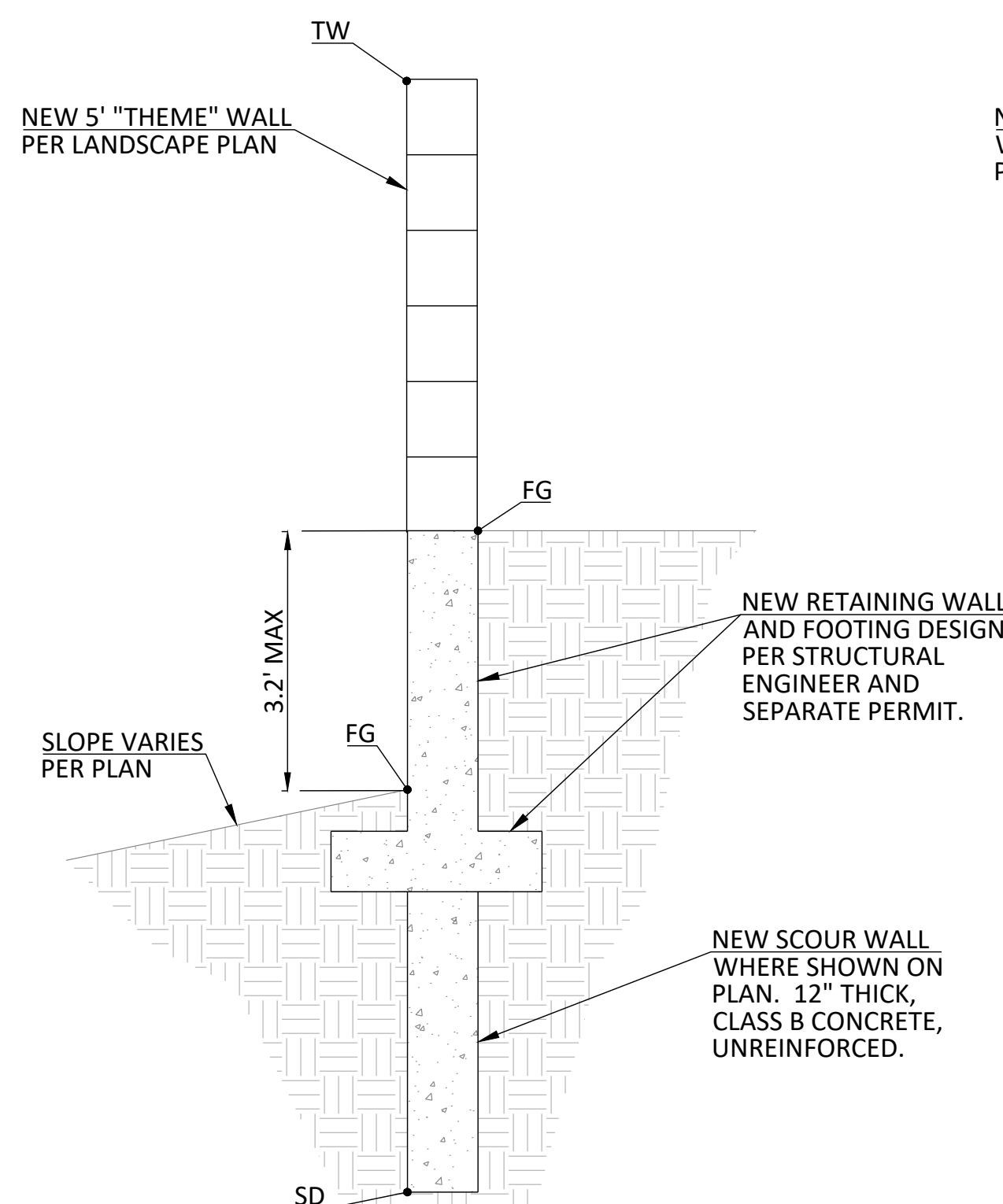


Diagram illustrating a new site wall construction. The wall is shown in cross-section, with a horizontal line indicating the ground level. The wall is constructed using concrete masonry units (CMUs). A section of the wall is labeled "NEW SITE WALL PER SEPARATE PLAN AND PERMIT". Below this section, a horizontal dimension line indicates a width of "80\"". Within this 80-inch section, five CMUs are shown oriented vertically, labeled "FIVE CMUs TURNED ON THEIR SIDE".

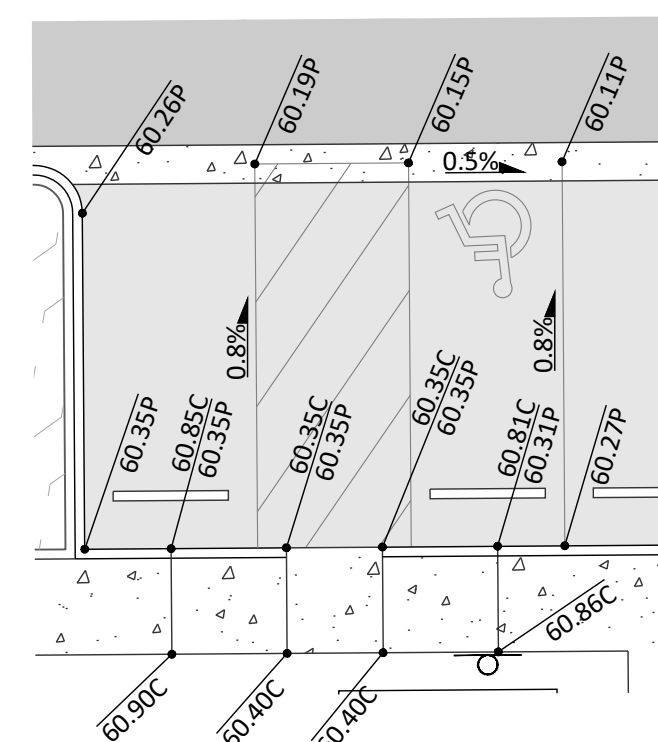
Diagram illustrating the cross-section of a vertical curb. The curb is shown with a 1:1 MAX. SLOPE on the left side. The width of the curb is labeled as VARIES. The height of the curb is indicated as 8". The top surface is labeled PAVEMENT SURFACE. The curb is shown with a VERTICAL CURB on the right side.

Diagram illustrating the cross-section of a concrete curb and gutter. The curb is 2' wide and 1' high. The gutter depth is 0.95'. The curb is labeled 'CLASS 5 CONCRETE'. The area to the right is labeled 'PARKING SPACE SIDE'.

\*NOTE: AT ADA PARKING SPACES,  
SLOPE OF GUTTER ON PARKING  
SPACE SIDE SHALL MATCH SLOPE  
OF PARKING SPACE.



**NOTES FOR ALL WALL DETAILS:**  
 TW = TOP OF WALL ELEVATION AS SHOWN ON PLAN  
 FG = FINISH GRADE ELEVATION AS SHOWN ON PLAN  
 SD = SCOUR DEPTH ELEVATION AS SHOWN ON PLAN

[illegible]

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN:ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
		<div> <div>  </div> <div> <p>3945 E FORT LOWELL ROAD - STE #111            TUCSON, AZ 85712            520.795.1000</p> <p>rickengineering.com</p> </div> </div>		
		<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755		

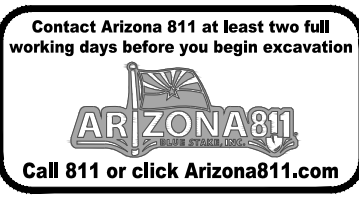
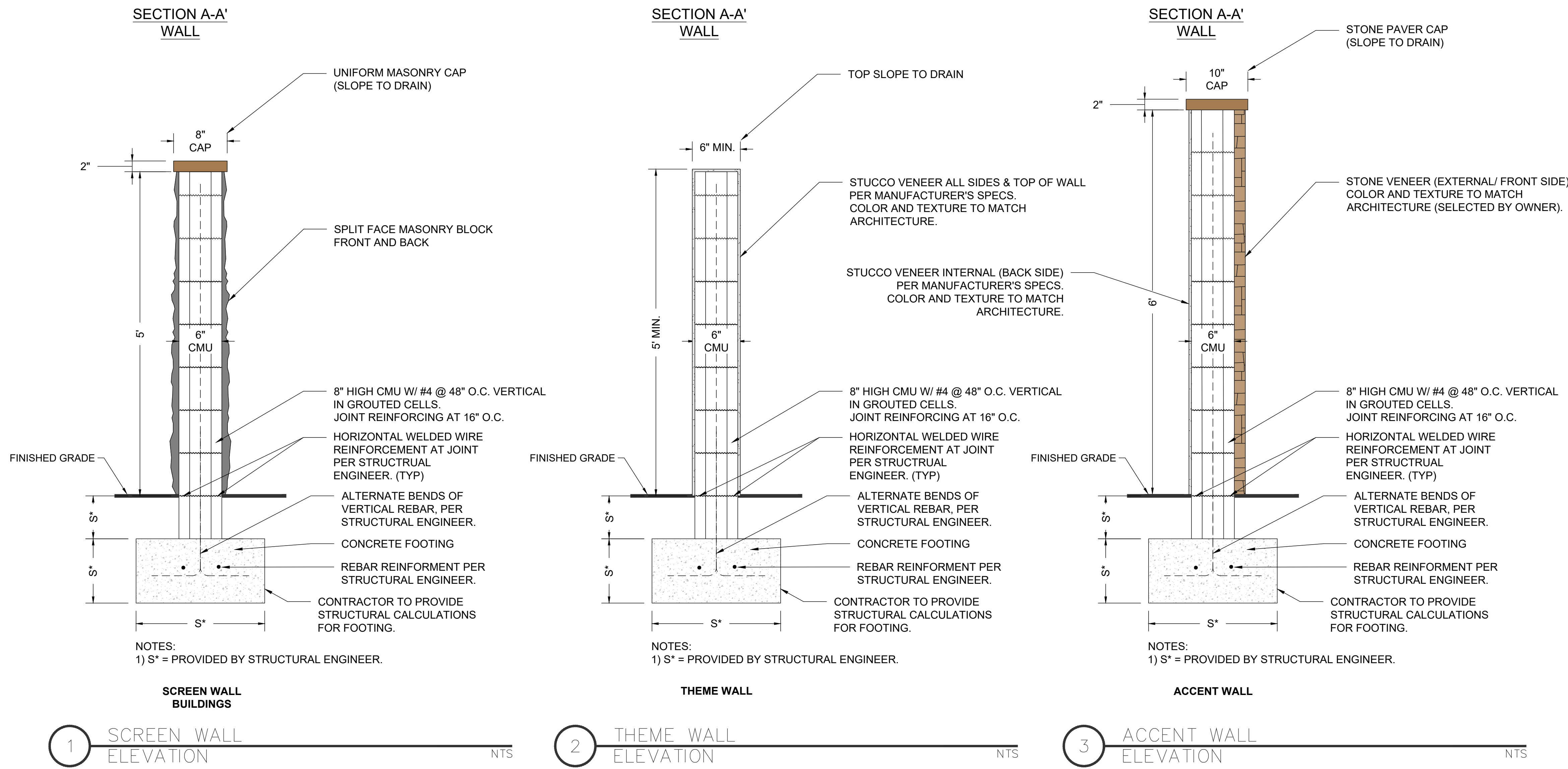
4	A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
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18  
OF  
19



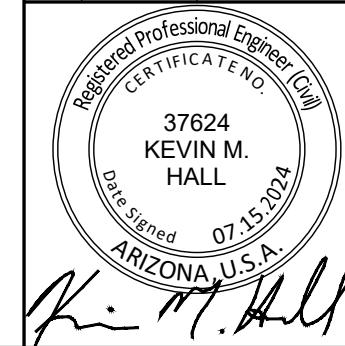
WALL DETAILS FROM LANDSCAPE PLANS PROVIDE HERE FOR REFERENCE ONLY

NOTE:  
STRUCTURAL ENGINEER SHALL PROVIDE THE REQUIRED PERMIT,  
DETAILS, & CALCULATIONS OF STRUCTURAL PLAN ELEMENTS.



DATE: 07/15/24  
SCALE: N.T.S.  
C.I.: N/A

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				OV 132 LLC 6340 N CAMPBELL AV, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 850-9300 E: rossrulney@gmail.com
				<b>SITE ADDRESS</b> 945 & 955 WEST VISTOSO HIGHLANDS DRIVE ORO VALLEY, ARIZONA 85755



3945 E FORT LOWELL ROAD - STE #111  
TUCSON, AZ 85712  
520.795.1000  
rickengineering.com

PROJECT NO: 22.061

A PORTION OF THE S.E. 1/4 OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

**CIVIL IMPROVEMENT PLAN for  
THE GATEWAY AT VISTOSO PRESERVE  
wall details from landscape plan**